

Cornerstone Inspection

Property Inspection Report



689 Woodland Dr, Arroyo Grande, CA 93420

Inspection prepared for: Nancy Lacsamana

Real Estate Agent: Shannon Bowdey - Keller Williams

Date of Inspection: 10/31/2025 Time: 9:00 AM

Age of Home: 1976 Size: 2074

Inspector: Greg Hines

Order ID: 12822

CREIA #166634

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

On this page you will find, in **RED**, a brief summary of any critical concerns of the inspection, as they relate to Health & Safety, or could be costly to repair. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommended upgrade items will be in **BLUE**.

Informational comments will be in typical black lettering. Be sure to read your entire report.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the home has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** systems or safety concerns with this property at the time of inspection.

Exterior

Page 12 Item: 6	Electrical Components	6.3. Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this modern safety feature.
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Plumbing Components

Page 33 Item: 5	Tankless Water Heater	5.9. The pressure relief valve pipe has not been installed correctly. It must terminate no more than twenty-four inches above grade and no closer than six inches to it and be directed down towards the ground. 5.10. The closet TPR valve discharge pipe is PVC which is not approved for this purpose and should be replaced with metal or CPVC. 5.11. One vent pipe terminates in a closet which should be evaluated and serviced by a licensed specialist.
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Electrical Service Panels

Page 38 Item: 4	Sub Panel #3 Observations	4.9. The neutral and ground wires are together on the same buss bar and should be separate. The ground wires should be bonded to the panel and the neutral wires should be separate and "floating" from the panel. We recommend that a licensed electrician evaluate and service the sub panel.
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Kitchen

Page 45 Item: 4	Electrical Components	4.2. Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.
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Page 46 Item: 10	Gas Range & Cook Top	10.3. The range anti-tip bracket which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child, is not connected and should be evaluated and serviced.
Kitchenette		
Page 48 Item: 10	Gas Range & Cook Top	10.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.
Bathrooms		
Page 49 Item: 1	Master Bathroom Observations	1.13. The toilet leaks at the connection between the tank and bowl, which should be repaired.
Laundry		
Page 55 Item: 2	Laundry Area	2.11. One or more outlet covers is missing and should be installed.
Heating & Air conditioning		
Page 56 Item: 1	Forced Air Furnace	1.9. The furnace is functional. However, it is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by an HVAC contractor prior to the close of the inspection period.
Attics		
Page 59 Item: 1	Attic	1.13. Electrical connections have been incorrectly made outside of junction boxes. All such connections should be made within junction boxes in order to contain any arcing or sparking that could occur, a task that should be completed by a licensed electrician.
Garages		
Page 61 Item: 1	Double-Car Garage	1.18. A heat register nullifies the firewall rating and should be repaired. 1.19. Some of the garage outlets do not have ground-fault protection and should be upgraded to include this important safety component. 1.20. Outlet covers are missing and should be installed. 1.21. The garage door opener and infra-red sensors are functional, but it does not auto-reverse with an obstruction and needs to be adjusted.

Site and Other Comments

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report may only illustrate an example of the issue being reported. More issues or defects may exist that will be discovered by a specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as "left" or "right" side, "front" or "rear" of the property are described from the perspective of facing the front door. Please use the photo, if one, on the cover page of this report to define the "front" of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

Site and Other Comments (continued)

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The residence is partially furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.3. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.5. The home has an intercom or speaker system that we do not have the expertise to evaluate.

1.6. We do not evaluate auxiliary structures, such as storage buildings as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.7. The home appears to have been recently painted. Because of this, stains, defects or other issues may be concealed from view. Please thoroughly review all disclosures; especially the seller's disclosure and question any issues that could be present but concealed.

1.8. We prefer to have our clients present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others

1.9. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately at (805) 619-5092 to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

Site and Other Comments (continued)

1.10. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.11. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

2. Environmental Comments

Observations:

2.1. The carbon-monoxide detectors are functional but should be checked periodically.

2.2. It is recommended that smoke alarms older than 10 years old be replaced for safety reasons as the sensors may no longer be effective.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. The landscaping includes pre-cast concrete accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked or balanced, components that can represent a safety hazard, particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

1.3. There is a BBQ on the property that we do not evaluate, unit should be demonstrated as functional by the sellers.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation, hard surfaces, area drains, and full or partial gutters. We did not observe any evidence of moisture threatening the living space. However, the area drains must be kept clean or moisture intrusion could result.

2.3. The property does not have hard surfaces in some of the side yards to facilitate drainage. Water will percolate and pond adjacent to the residence which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, swales or area drains that direct water away from the residence.

2.4. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

2.5. The property is served by area drains that appear to be in acceptable condition. However, because it is impossible to see inside them, the seller should verify that the drains are functional. Surface water carries minerals and silt that is deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a roofer service.

2.6. There are area drains in planter beds or yards that will be subject to contamination by dirt, which should be periodically monitored and kept free of dirt.

Exterior (continued)

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with stucco siding.

3.2. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.

3.3. The soil is too high against the home at various areas around the home which should serviced.

3.4. There are typical cracks in the stucco, which you should view for yourself. Most cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. You may wish to have this confirmed by a specialist.

3.5. Portions of the stucco extends down to the soil without the benefit of a weep-screed. Weep screed is a horizontal strip of metal that isolates the stuccoed house walls from the foundation and allows them to move independent of the foundation. This not only prevents horizontal cosmetic cracks that are commonly seen at the base of many stuccoed walls but also isolates the stucco from the soil and inhibits the wicking effect of moisture being drawn up into the stucco which in turn creates the flaking and peeling that is common on such surfaces.

3.6. There are stucco patches or repairs that should be explained by the sellers.



The soil is too high against the home at various areas around the home which should serviced.



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Exterior (continued)



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4. Hard Surfaces

Observations:

- 4.1. The driveway is in acceptable condition.
- 4.2. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.3. There is one or more offsets in the driveway that could prove to be trip-hazards.
- 4.4. The walkways are in acceptable condition.
- 4.5. The patio surface is in acceptable condition.
- 4.6. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. The cracks could be caused by the lack of expansion joint, or a tree that is too close to the concrete decking.
- 4.7. There are several offsets in the walkways that could prove to be trip-hazards.
- 4.8. The paver patio or walkway has multiple offsets. This may be due to unsuitable soil below the pavers.

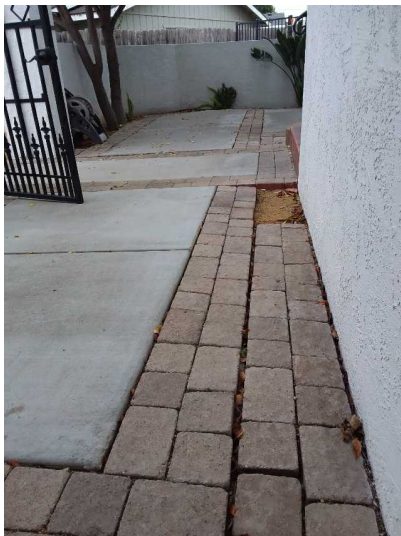
Exterior (continued)



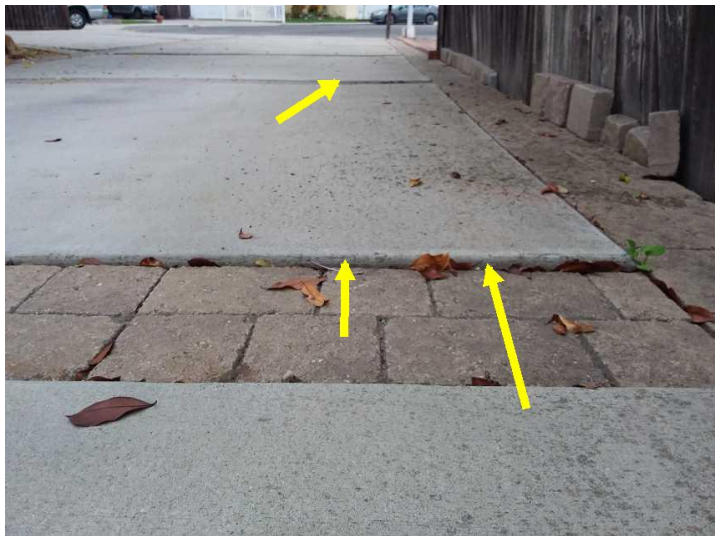
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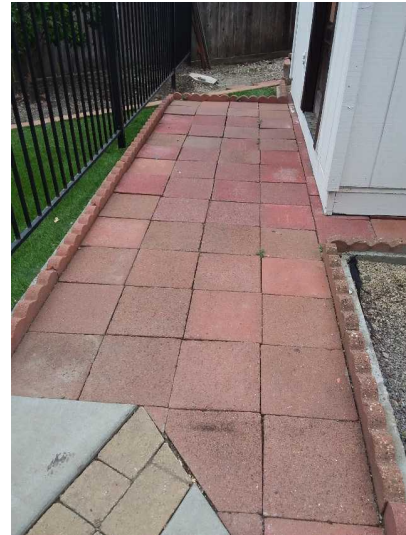


There is one or more offsets in the driveway that could prove to be trip-hazards.

Exterior (continued)



There are several offsets in the walkways that could prove to be trip-hazards.



The paver patio or walkway has multiple offsets. This may be due to unsuitable soil below the pavers.

5. Wood Trim, Facia and Eave

Observations:

5.1. Most of the fascia board and trim has been recently painted, and are in acceptable condition.

5.2. There is damage to the wood trim that should be evaluated by a termite inspector.

5.3. There is moisture damage or dry rot to the wood trim and or fascia on the upper roof area, which is typically not inspected by the pest inspector. The pest control company should be alerted so as to inspect and include these repairs in their estimate.



There is damage to the wood trim that should be evaluated by a termite inspector.



There is damage to the wood trim that should be evaluated by a termite inspector.

Exterior (continued)



There is moisture damage or dry rot to the wood trim and or fascia on the upper roof area, which is typically not inspected by the pest inspector. The pest control company should be alerted so as to inspect and include these repairs in their estimate.

6. Electrical Components

Observations:

6.1. Some outlets are functional and include ground-fault protection.

6.2. We were not able to activate some of the exterior lights which may be operated on a timer, sensors, or a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

6.3. Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this modern safety feature.



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Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this modern safety feature.

Exterior (continued)

7. Sliding Glass Doors and Screens

Observations:

7.1. The sliding glass doors are tempered and in acceptable condition.

7.2. The lock on the patio room sliding glass door is missing or does not engage and should be repaired.

7.3. The sliding glass door or doors are mounted on the outside, which is not as secure as being mounted on the inside.

7.4. Slider screens are missing, and you may wish to have them replaced.



The sliding glass door or doors are mounted on the outside, which is not as secure as being mounted on the inside.



The sliding glass door or doors are mounted on the outside, which is not as secure as being mounted on the inside.

Exterior (continued)

8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

8.3. Most of the windows appear to be the same age as the home and will not necessarily function or operate as smoothly as modern windows. However we do test every unrestricted window in every bedroom to ensure that they facilitate an emergency exit.

8.4. The single pane window tracks will need to be cleaned and kept clean to prevent mildew or mold from growing.

8.5. This home has one or more Garden windows. These windows can be problematic if not monitored. Leaks are common due to design factors and we advise that it be monitored regularly to prevent moisture intrusion.

8.6. There is at least one, but there could be more windows with a broken hermetic seal identified within the report which should be replaced. Hermetic seal failure is often difficult to identify. We recommend that an experienced window specialist evaluate all the windows, who may very well identify other defective windows.

9. Stairs and Handrails

Observations:

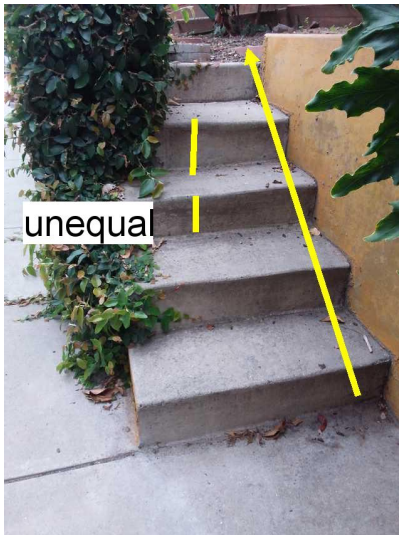
9.1. The wood stairs need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.

9.2. Some of the steps around the property have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.

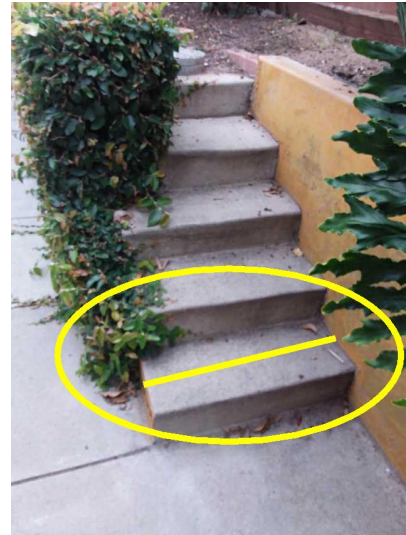
9.3. Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.

9.4. The width of the stairs is less than 36 inches, which does not meet current standards.

Exterior (continued)



Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.



The width of the stairs is less than 36 inches, which does not meet current standards.



Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.

Exterior (continued)

10. Fences and Gates

Observations:

10.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

10.2. The fences and gates have damage that is commensurate with their age such as loose or missing boards, weathered boards, and or posts which could be repaired but is not essential.

10.3. It should be disclosed who is responsible for the fences that are located at this property.

10.4. The gate on right needs maintenance-type service to open, close, or latch easily.

11. Yard and Retaining Walls

Observations:

11.1. The yard walls may have some cosmetic damage but are functional.

11.2. Some of the planter block-caps are loose or missing and should be serviced.

11.3. There are typical stress fractures or grout joint separations in the cinder block yard walls, but they are reasonably firm and not in any danger of falling.

11.4. The wooden planks at the rear of the property have no structural value, and are intended to inhibit surface soil movement, and should be periodically monitored for damage or stability.



The wooden planks at the rear of the property have no structural value, and are intended to inhibit surface soil movement, and should be periodically monitored for damage or stability.



The wooden planks at the rear of the property have no structural value, and are intended to inhibit surface soil movement, and should be periodically monitored for damage or stability.

Exterior (continued)



Some of the planter block-caps are loose or missing and should be serviced.

12. Landscaping

Observations:

12.1. There are trees on this property that we do not have the expertise to evaluate, but which you may wish to have them examined by an arborist.

12.2. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.

13. Balconies

Observations:

13.1. The balcony is in acceptable condition.

13.2. We cannot guarantee that balcony surfaces will not leak, because their waterproof membrane is concealed and cannot be examined. Therefore, you may wish to ask the sellers if the balcony surface has ever leaked.

13.3. The balcony guardrail is an adequate height and in acceptable condition. However, standards for guardrails are not uniform. Nonetheless, common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade.

13.4. The balcony soffit is not vented as current standard require. We recommend ventilation be added or have it evaluated.

Exterior (continued)



The balcony guardrail is an adequate height and in acceptable condition. However, standards for guardrails are not uniform. Nonetheless, common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade.

14. Decks

Observations:

14.1. The decks need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the deck.

14.2. We were unable to inspect the sub-framing area of the deck as it was too close to the grade for access.

15. Guardrails

Observations:

15.1. If small children occupy or visit this residence, suitable precautions should be taken to safeguard them.

15.2. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.

Exterior (continued)



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.

16. Patio Room

Observations:

16.1. The Patio room is located adjacent to the living room.

16.2. The patio room appears to have been remodeled or part of an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

16.3. One outlet is functional and includes ground-fault protection.

16.4. A light is missing its globe or cover and should be serviced.

16.5. One or more of the window screens are missing, which you may wish to have replaced.

16.6. The walls in the patio room have cosmetic damage that you should view for yourself.

16.7. There is a moisture stain on the wall that should be explained or explored further.

16.8. The floor is worn or cosmetically damaged, which you should view for yourself.

Exterior (continued)



A light is missing its globe or cover and should be serviced.



There is a moisture stain on the wall that should be explained or explored further.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than $\frac{1}{4}$ " and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

1.3. One crawlspace access is located at the rear exterior.

1.4. One crawlspace can be accessed within the bedroom 2 or 3 closet.

1.5. The crawlspace are accessible and in acceptable condition.

1.6. Moisture has entered the crawlspace, as is evident by salt crystal formations around the base of the stem walls. However, this is a common phenomenon that does not necessarily indicate a chronic or serious problem. The soils are currently dry, but it would be prudent to monitor this area.

1.7. There are stains or moisture damage to the sub-floor beneath a bathroom. The termite inspector is responsible for pressure testing shower pans, and will evaluate and comment on the condition of the shower pan and any resulting damage to the intermediate floor framing.

1.8. The foundation is raised, bolted and built to the standards of the year in which it was constructed, which may well be adequate but which would not meet current structural or seismic standards.

1.9. The intermediate floor framing is in acceptable condition. There may be some deviations from plumb, level, etc, but none that would have any serious structural significance.

1.10. The cripple walls do not include shear panel and will remain seismically vulnerable, and therefore should be upgraded.

Foundation Comments (continued)

1.11. The electrical components that are visible within the crawlspace appear to be in acceptable condition.

1.12. The visible portions of the water pipes are in acceptable condition but should be monitored because of their location. Leaks from pipes that pass through a crawlspace can be difficult to detect until significant damage is evident elsewhere.

1.13. Some of the water supply lines are insufficiently supported and should be serviced.

1.14. Ventilation of the foundation crawlspace is conventional and should be adequate.

1.15. The floor insulation in addition is in acceptable condition.

1.16. There is no floor insulation in main house which would not have been required when this residence was constructed.



There are stains or moisture damage to the sub-floor beneath a bathroom. The termite inspector is responsible for pressure testing shower pans, and will evaluate and comment on the condition of the shower pan and any resulting damage to the intermediate floor framing.



Moisture has entered the crawlspace, as is evident by salt crystal formations around the base of the stem walls. However, this is a common phenomenon that does not necessarily indicate a chronic or serious problem. The soils are currently dry, but it would be prudent to monitor this area.

Foundation Comments (continued)



There are stains or moisture damage to the sub-floor beneath a bathroom. The termite inspector is responsible for pressure testing shower pans, and will evaluate and comment on the condition of the shower pan and any resulting damage to the intermediate floor framing.

Roofing

1. Roof Gutters

Observations:

1.1. The roof gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they should function as they were intended.

1.2. Some of the gutters need to be cleaned to drain properly.

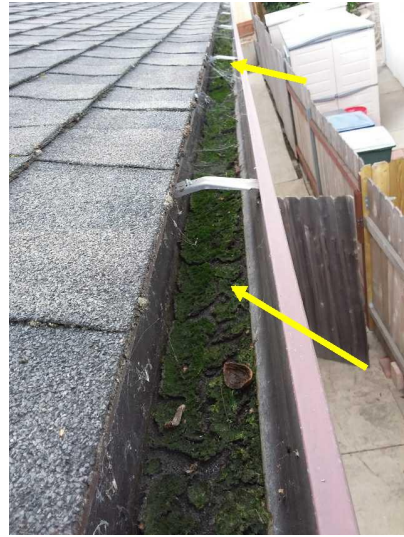
1.3. It would be prudent to have splash blocks installed at the bottom of the downspouts, to divert water away from the house and its foundation.

1.4. We have noted that the downspouts enter into underground drains, but we cannot confirm their termination points. It should be verified that they are clear, and the termination points be verified.

Roofing (continued)



Some of the gutters need to be cleaned to drain properly.



Some of the gutters need to be cleaned to drain properly.

Roofing (continued)

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The field shingles are losing granules, or in the primary stages of decomposition, which means that the roof will be more susceptible to leakage and must be monitored, but you may wish to have a specialist evaluate it.

2.4. The shingles are losing granules but would not need to be replaced at this time.

2.5. Some of the roof flashing need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashing on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks.

2.6. The roof includes one or more skylights, which are notoriously problematic and a common point of leaks. There are different methods of installing them and, although opinions will vary, some methods are better than others. Therefore, it will be important to keep the area around them clean and to monitor them for evidence of leaks.

Roofing (continued)



The field shingles are loosing granules, or in the primary stages of decomposition, which means that the roof will be more susceptible to leakage and must be monitored, but you may wish to have a specialist evaluate it.



Some of the roof flashing need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashing on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks.



The field shingles are loosing granules, or in the primary stages of decomposition, which means that the roof will be more susceptible to leakage and must be monitored, but you may wish to have a specialist evaluate it.

Fireplace

1. Family Room Fireplace

Observations:

1.1. The chimney is a lined masonry type, which is the most dependable because the flue liner not only provides a smooth transition for the bi-products of combustion to be vented beyond the residence but provides an approved thermal barrier as well.

1.2. The fireplace has been modified with an insert that we do not have the expertise to evaluate. We recommend you consult with the sellers if the insert was professionally installed, or if a permit was acquired.

1.3. The ornamental gas log fire does not respond and should be serviced however this unit may be controlled by a remote which we did not locate. We recommend asking the sellers about this condition.

1.4. We were unable to view any part of the flue because of an installed insert.

1.5. The fireplace glass is functional, however does not have a protective screen, which is required by current standards and should be installed for optimal safety.

1.6. The fireplace hearth is in acceptable condition.

1.7. The fireplace mantle is in acceptable condition.

1.8. The crown which is designed to seal the space between the flue liner and the chimney wall and shed rainwater, is in acceptable condition.

1.9. The chimney walls appear to be in acceptable condition.

1.10. The chimney flashings are in acceptable condition.

2. Bedroom Fireplace

Observations:

2.1. The fireplace is a thermostatically controlled heat rated appliance. The fireplace is the heat source for the residence. It is controlled by a remote control or manual controls at the bottom of the fireplace

2.2. The firebox is in acceptable condition.

2.3. The ornamental gas log fire does not respond and should be serviced or demonstrated as functional.

2.4. The fireplace glass is functional, however does not have a protective screen, which is required by current standards and should be installed for optimal safety.

2.5. The chimney flashings are in acceptable condition.

Fireplace (continued)

3. Den Comments

Observations:

3.1. The fireplace is a thermostatically controlled heat rated appliance. The fireplace is the heat source for the residence. It is controlled by a remote control or manual controls at the bottom of the fireplace

3.2. The firebox is in acceptable condition.

3.3. The ornamental gas log fire does not respond and should be serviced or demonstrated as functional.

3.4. The fireplace glass is functional, however does not have a protective screen, which is required by current standards and should be installed for optimal safety.

3.5. The chimney flashings are in acceptable condition.



The fireplace glass is functional, however does not have a protective screen, which is required by current standards and should be installed for optimal safety.

Plumbing Components

1. General Plumbing Comments

Observations:

1.1. A water softener is present that we do not have the expertise to evaluate except for visible leaks. We recommend you ask the sellers if the unit was professionally installed and its service history.

Plumbing Components (continued)



A water softener is present that we do not have the expertise to evaluate except for visible leaks. We recommend you ask the sellers if the unit was professionally installed and its service history.

2. Water Supply Comments

Observations:

2.1. The main water shut-off valve is located at the right side of the house.

2.2. An expansion tank is required on the plumbing system when there is a pressure regulator installed, which should be evaluated and serviced by a licensed specialist.

2.3. A functional pressure regulator is in place on the plumbing system.

2.4. The visible copper water pipes are in acceptable condition and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls and we can only view the pipes as they exit walls.

2.5. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are inside walls which we can only view the pipes as they exit walls.

2.6. Sections of the residence are served by Cross-Linked Polyethylene, also known as PEX. The visible potable water pipes are in satisfactory condition.

Plumbing Components (continued)



The main water shut-off valve is located at the right side of the house.



A functional pressure regulator is in place on the plumbing system.

3. Gas Service Information

Observations:

3.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

3.2. The gas main shut-off is located on right side of the home, unit or building.

3.3. The visible portions of the gas pipes appear to be in acceptable condition.

3.4. We recommend that a wrench, designed to fit the gas shut off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.

Plumbing Components (continued)



The gas main shut-off is located on right side of the home, unit or building.

4. Irrigation and Hose Bibb Information

Observations:

- 4.1. We do not evaluate sprinkler systems beyond the sprinkler valves, which should be demonstrated as functional by the sellers.
- 4.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property
- 4.3. A PVC hose bib pipe should be braced with a metal stake.
- 4.4. We have observed exposed PVC pipe on the exterior, which may become brittle when exposed to the sun's ultraviolet light. These pipes can become subject to breaking or leaking. We recommend painting the PVC pipes to block the UV rays and protect the pipe.
- 4.5. A hose bib on the rear is no longer functional or has been abandoned. However, we may not have located and tested each hose bib on the property.

Plumbing Components (continued)



We have observed exposed PVC pipe on the exterior, which may become brittle when exposed to the sun's ultraviolet light. This pipe can become subject to breaking or leaking. We recommend painting the PVC pipes to block the UV rays and protect the pipe.



A hose bib on the rear is no longer functional or has been abandoned. However, we may not have located and tested each hose bib on the property.

Plumbing Components (continued)

5. Tankless Water Heater

Observations:

5.1. Tankless or "On Demand" water heaters provide virtually endless hot water, if properly sized and provided proper fuel. They require little maintenance beyond periodic flushing to descale mineral deposits. Some manufactures recommend they be flushed yearly in hard water areas and as little as every 5 years with soft water. They should be monitored for leaks, which is to be anticipated with any water heater.

5.2. The residence is served by two tankless water heaters located on the exterior.

5.3. The water heaters are functional and there were no leaks at the time of our inspection.

5.4. The shut-off valves and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.

5.5. The gas control valves and its connectors at the water heaters are presumed to be functional.

5.6. The drain valve of the gas water heater is in place and presumed to be functional.

5.7. The water heater appears to have adequate combustion-air vents.

5.8. There is a moisture stain on the wall or ceiling that should be explained or explored further.

5.9. The pressure relief valve pipe has not been installed correctly. It must terminate no more than twenty-four inches above grade and no closer than six inches to it and be directed down towards the ground.

5.10. The closet TPR valve discharge pipe is PVC which is not approved for this purpose and should be replaced with metal or CPVC.

5.11. One vent pipe terminates in a closet which should be evaluated and serviced by a licensed specialist.

Plumbing Components (continued)



One vent pipe terminates in a closet which should be evaluated and serviced by a licensed specialist.



The closet TPR valve discharge pipe is PVC which is not approved for this purpose and should be replaced with metal or CPVC.



The pressure relief valve pipe has not been installed correctly. It must terminate no more than twenty-four inches above grade and no closer than six inches to it and be directed down towards the ground.

Plumbing Components (continued)

6. Waste and Drain Systems

Observations:

6.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

6.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

6.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 100 amp main electrical panel, located at the right side of the home or unit.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. Various circuits are not labeled, which is recommended.

1.6. The main conductor lines are underground, or contained in what is described as a lateral service entrance. This is characteristic of a modern electrical service but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of service.

1.7. The wiring in the main electrical panel has no visible deficiencies.

1.8. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.9. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.10. The panel is correctly grounded to a driven rod.



Various circuits are not labeled, which is recommended.

Electrical Service Panels (continued)

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located in the garage.

2.3. The electrical sub panel has no visible deficiencies.

2.4. The exterior cover for the electrical sub panel is in acceptable condition.

2.5. The interior cover for the electrical sub panel is in acceptable condition.

2.6. There are no visible deficiencies with the electrical wiring in the sub panel.

2.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

2.8. The circuit breakers have no visible deficiencies.

2.9. The grounding system in the sub panel is correct.

3. Sub Panel #2 Observations

Observations:

3.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

3.2. The sub panel is located within bedroom 5.

3.3. Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

3.4. The exterior cover for the electrical sub panel is in acceptable condition.

3.5. The interior cover for the electrical sub panel is in acceptable condition.

3.6. There are no visible deficiencies with the electrical wiring in the sub panel.

3.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

3.8. The circuit breakers have no visible deficiencies.

3.9. The grounding system in the sub panel is correct.

Electrical Service Panels (continued)



Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

4. Sub Panel #3 Observations

Observations:

4.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

4.2. The sub panel is located at the rear exterior of the home.

4.3. Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

4.4. The exterior cover for the electrical sub panel is in acceptable condition.

4.5. The interior cover for the electrical sub panel is in acceptable condition.

4.6. There are no visible deficiencies with the electrical wiring in the sub panel.

4.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

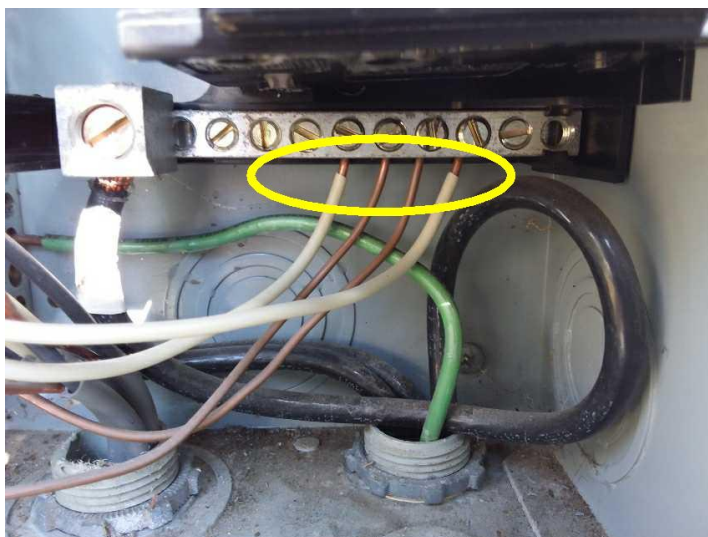
4.8. The circuit breakers have no visible deficiencies.

4.9. The neutral and ground wires are together on the same buss bar and should be separate. The ground wires should be bonded to the panel and the neutral wires should be separate and "floating" from the panel. We recommend that a licensed electrician evaluate and service the sub panel.

Electrical Service Panels (continued)



Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.



The neutral and ground wires are together on the same buss bar and should be separate. The ground wires should be bonded to the panel and the neutral wires should be separate and "floating" from the panel. We recommend that a licensed electrician evaluate and service the sub panel.

Interior Space

1. Main Entry

Observations:

- 1.1. The front door is functional.
- 1.2. The lights are functional.

2. Living Room

Observations:

- 2.1. The living room is located adjacent to the main entry.
- 2.2. There's one or more windows installed within 18 inches of the finished floor that current standards require such windows to be tempered or safety glass.

Interior Space (continued)



There's one or more windows installed within 18 inches of the finished floor that current standards require such windows to be tempered or safety glass.

3. Dining Room

Observations:

3.1. The Dining room is located adjacent to the living room.

3.2. The lights are functional.

3.3. There's one or more windows installed within 18 inches of the finished floor that current standards require such windows to be tempered or safety glass.

3.4. The combo smoke detector / carbon monoxide detector is functional but should be checked periodically.



There's one or more windows installed within 18 inches of the finished floor that current standards require such windows to be tempered or safety glass.

Interior Space (continued)

4. Family Room

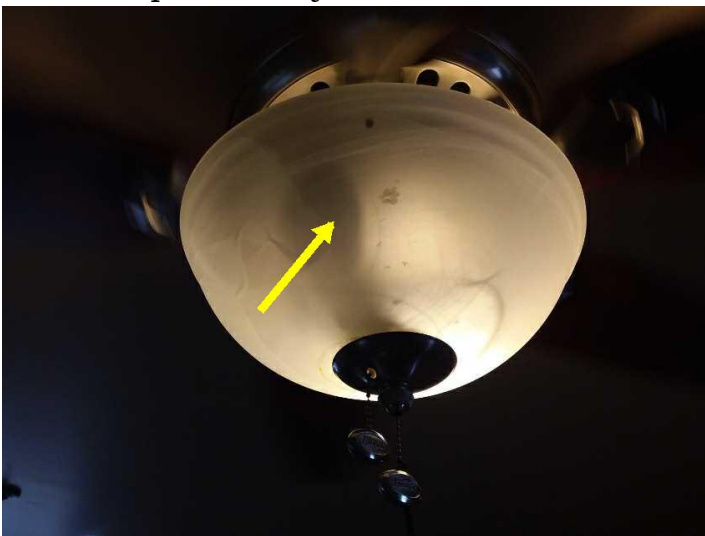
Observations:

- 4.1. The family room is located adjacent to the kitchen.
- 4.2. We have evaluated the family room, and found it to be in acceptable condition.
- 4.3. The combo smoke detector / carbon monoxide detector is functional but should be checked periodically.

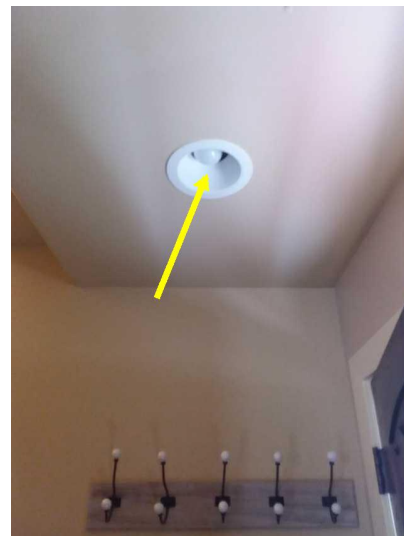
5. Den

Observations:

- 5.1. The Den is located adjacent to the kitchenette in the ADU.
- 5.2. The den appears to have been remodeled or part of an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.
- 5.3. A ceiling light bulb does not respond, and should be serviced.
- 5.4. A ceiling light did not respond and should be serviced.
- 5.5. The smoke detector responded to the test button, but should be checked periodically.
- 5.6. The combo smoke detector / carbon monoxide detector is functional but should be checked periodically.



A ceiling light bulb does not respond, and should be serviced.



A ceiling light did not respond and should be serviced.

Interior Space (continued)

6. Main Hallway

Observations:

6.1. This hallway leads to the bedrooms.

6.2. The combo smoke detector / carbon monoxide detector is functional but should be checked periodically.

6.3. The lights are functional.

6.4. It would be prudent to add a door stop at the door to protect the wall that it opens into.

7. Stairs

Observations:

7.1. We have evaluated the stairs and landing, and found them to be in acceptable condition.

7.2. The lights are functional.

Bedrooms

1. Master Bedroom Observations

Observations:

1.1. This bedroom is located at the end of the hallway.

1.2. The combination carbon-monoxide/smoke alarm is functional but should be monitored and tested regularly.

1.3. The ceiling fan is functional but rocks at high speeds and should be serviced so the fan operates smoothly.

Bedrooms (continued)



The ceiling fan is functional but rocks at high speeds and should be serviced so the fan operates smoothly.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the 1st bedroom door on the left going down the hallway.
- 2.2. We have evaluated the bedroom components, and found it to be in acceptable condition.
- 2.3. The combination carbon-monoxide/smoke alarm is functional but should be monitored and tested regularly.

3. Bedroom 3

Observations:

- 3.1. This bedroom is located at the 1st bedroom door on the right going down the hallway.
- 3.2. We have evaluated the bedroom components, and found it to be in acceptable condition.
- 3.3. The combination carbon-monoxide/smoke alarm is functional but should be monitored and tested regularly.

4. Bedroom 4

Observations:

- 4.1. This bedroom is located adjacent to the laundry room.
- 4.2. We have evaluated the bedroom components, and found it to be in acceptable condition.
- 4.3. The combination carbon-monoxide/smoke alarm is functional but should be monitored and tested regularly.

Bedrooms (continued)

5. Bedroom 5

Observations:

5.1. This bedroom is located up the stairs to the left in the ADU.

5.2. The smoke alarm responded to the test button, but should be checked and tested periodically.

5.3. The combination carbon-monoxide/smoke alarm is functional but should be monitored and tested regularly.

5.4. The sink in the bedroom is functional.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

1.2. The kitchen includes a reverse osmosis or water filtration system that we do not have the expertise to evaluate. We recommend the seller demonstrate its operation and maintenance history and procedures.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

3. Countertop

Observations:

3.1. A separation between the counter top and the backsplash should be sealed.

Kitchen (continued)



A separation between the counter top and the backsplash should be sealed.

4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.

5. Microwave Oven

Observations:

5.1. The built-in microwave is functional but we did not test it for leakage, which would require a specialized instrument.

6. Sink and Faucet

Observations:

6.1. The sink is functional.

6.2. The sink faucet is functional.

6.3. The valves and connector below the sink are functional.

6.4. The trap and drain are functional.

7. Garbage Disposal Comments

Observations:

7.1. The garbage disposal is functional.

Kitchen (continued)

8. Dishwasher Comments

Observations:

8.1. The dishwasher is functional.

8.2. The dishwasher is functional, but does not sit squarely within its opening and or has not been secured in its opening.

9. Exhaust Fan

Observations:

9.1. The exhaust fan or downdraft is functional.

9.2. The range hood exhaust-fan is closer than the recommended 24 inches and should be used with caution.

9.3. The downdraft exhaust fan light does not respond, and should be serviced.



The downdraft exhaust fan light does not respond, and should be serviced.



The range hood exhaust-fan is closer than the recommended 24 inches and should be used with caution.

10. Gas Range & Cook Top

Observations:

10.1. The gas range is functional, but was neither calibrated nor tested for its performance.

10.2. The gas cook top is functional.

10.3. The range anti-tip bracket which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child, is not connected and should be evaluated and serviced.

Kitchen (continued)

11. Walls/Ceilings/Windows & Doors

Observations:

11.1. A window(s) may have a broken hermetic seal which you may wish to have replaced. This is evident from fogging, or condensation forming between the panes of glass that confirm that the seal has failed.



A window(s) may have a broken hermetic seal which you may wish to have replaced. This is evident from fogging, or condensation forming between the panes of glass that confirm that the seal has failed.

Kitchenette

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The cabinets are functional, and do not have any significant damage.

3. Countertop

Observations:

3.1. The counter top is functional.

Kitchenette (continued)

4. Electrical Components

Observations:

- 4.1. The outlets that were tested are functional and include ground-fault protection.
- 4.2. The lights are functional.

5. Microwave Oven

Observations:

- 5.1. The built-in microwave is functional but we did not test it for leakage, which would require a specialized instrument.

6. Sink and Faucet

Observations:

- 6.1. The sink is functional.
- 6.2. The sink faucet is functional.
- 6.3. The valves and connector below the sink are functional.
- 6.4. The trap and drain are functional.

7. Garbage Disposal Comments

Observations:

- 7.1. The garbage disposal is frozen, and probably from inactivity. However, it is not uncommon for them to continue freeze up, in which case they must be replaced.

8. Dishwasher Comments

Observations:

- 8.1. The dishwasher is functional.

9. Exhaust Fan

Observations:

- 9.1. The exhaust fan or downdraft is functional.

10. Gas Range & Cook Top

Observations:

- 10.1. The gas range is functional, but was neither calibrated nor tested for its performance.
- 10.2. The gas cook top is functional.

10.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

1. Master Bathroom Observations

Observations:

- 1.1. This bathroom is a three-quarter and is located adjacent to the master bedroom.
- 1.2. The sink countertop is functional.
- 1.3. The sink is functional.
- 1.4. The mechanical sink stopper will need to be adjusted to engage.
- 1.5. The trap and drain are functional.
- 1.6. The outlets are functional and include ground-fault protection.
- 1.7. A ceiling light does not respond and should be serviced.
- 1.8. The exhaust fan is functional.
- 1.9. The toilet is identified as being a low-flush type. 1.6gpf
- 1.10. The stall shower is functional.
- 1.11. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.
- 1.12. The door is missing which you may wish to have installed.
- 1.13. The toilet leaks at the connection between the tank and bowl, which should be repaired.

Bathrooms (continued)



A ceiling light does not respond and should be serviced.



The toilet leaks at the connection between the tank and bowl, which should be repaired.



The toilet leaks at the connection between the tank and bowl, which should be repaired.

Bathrooms (continued)

2. Hallway Bathroom

Observations:

- 2.1. The hallway bathroom is a full and is located adjacent to the hallway.
- 2.2. The cabinets are in acceptable condition.
- 2.3. The sink countertop is functional.
- 2.4. The bathroom sinks are functional.
- 2.5. The sink faucets and their components are functional.
- 2.6. The trap and drain are functional.
- 2.7. The outlets are functional and include ground-fault protection.
- 2.8. The lights are functional.
- 2.9. The exhaust fan is functional.
- 2.10. The toilet is functional.
- 2.11. The toilet is identified as being a low-flush type. 1.6gpf
- 2.12. The tub-shower is functional.
- 2.13. The tub is functional.
- 2.14. The tub stopper is missing or incomplete, and should be repaired or replaced.
- 2.15. The ceiling heater is functional.

Bathrooms (continued)

3. 1st Guest Bathroom

Observations:

- 3.1. This bathroom is a full and is located adjacent to the bedroom 5.
- 3.2. The cabinets have typical, cosmetic damage.
- 3.3. The sink countertop is functional.
- 3.4. The sink is functional.
- 3.5. The sink faucet and its components are functional.
- 3.6. The trap and drain are functional.
- 3.7. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker at bedroom 5 bar sink.
- 3.8. The lights are functional.
- 3.9. The exhaust fan is functional.
- 3.10. The toilet is functional.
- 3.11. The toilet is identified as being a low-flush type.
- 3.12. The tub-shower is functional.
- 3.13. The tub is functional.

Bathrooms (continued)

4. Powder Room

Observations:

- 4.1. This bathroom is a half and is located adjacent to the kitchenette.
- 4.2. The sink countertop is functional.
- 4.3. The sink is functional.
- 4.4. A mechanical sink stopper is incomplete and should be serviced.
- 4.5. The trap and drain are functional.
- 4.6. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker in bedroom bar sink.
- 4.7. The lights are functional.
- 4.8. The exhaust fan is functional.
- 4.9. The toilet is functional.
- 4.10. The toilet is identified as being a low-flush type. 1.6gpf

Laundry

1. Laundry Room

Observations:

- 1.1. The laundry room is located adjacent to the garage.
- 1.2. The Laundry room appears to have been remodeled, or an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.
- 1.3. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 1.4. A dryer vent is provided and appears serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.
- 1.5. A gas supply valve is installed, but needs an approved connector that attaches the gas to the dryer. If not in use the gas valve should be capped.
- 1.6. There is no cap on the gas valve. The gas valve should be capped when not in use.
- 1.7. The outlets that were tested are functional.
- 1.8. There is no visible 220 outlet for electric dryers. One may be able to be installed and you should consult with a licensed electrician regarding this issue if a 220 outlet is needed.
- 1.9. The lights are functional.
- 1.10. The exhaust fan is functional.
- 1.11. It would be prudent to add a door stop at the door to protect the wall that it opens into.
- 1.12. The floor or baseboard is worn or cosmetically damaged, which you should view for yourself.

Laundry (continued)



There is no cap on the gas valve. The gas valve should be capped when not in use.

2. Laundry Area

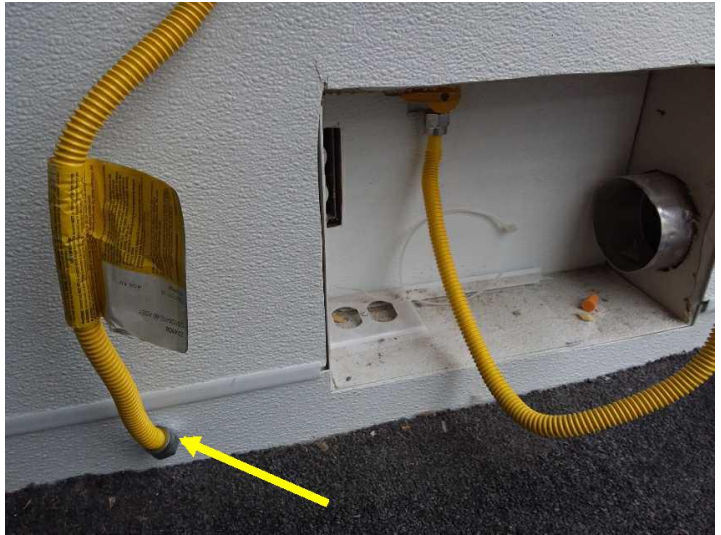
Observations:

- 2.1. The laundry areas are located within the patio room and in bedroom 5 in the ADU.
- 2.2. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 2.3. The dryer vents are provided and appear serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.
- 2.4. The gas control valve and its connector in bedroom 5 is presumed to be functional.
- 2.5. A gas supply valve is installed, but needs an approved connector that attaches the gas to the dryer. If not in use the gas valve should be capped.
- 2.6. There is no cap on the gas valve. The gas valve should be capped when not in use.
- 2.7. The outlets that were tested are functional.
- 2.8. There is no visible 220 outlet for electric dryers. One may be able to be installed and you should consult with a licensed electrician regarding this issue if a 220 outlet is needed.
- 2.9. The lights are functional.
- 2.10. Walls/ceilings have cosmetic damage that you should view for yourself.
- 2.11. One or more outlet covers is missing and should be installed.

Laundry (continued)



One or more outlet covers is missing and should be installed.



There is no cap on the gas valve. The gas valve should be capped when not in use.

Heating & Air conditioning

1. Forced Air Furnace

Observations:

1.1. Central heat is provided by a forced-air furnace that is located in the garage.

1.2. The vent pipe is functional.

1.3. The gas valve and connector are in acceptable condition.

1.4. The combustion-air vents for the gas furnace are functional.

1.5. The filter is dirty and should be changed soon and every two or three months. If filters are not changed regularly, the ducts can become contaminated.

1.6. The circulating fan is clean and functional.

1.7. The thermostat is functional.

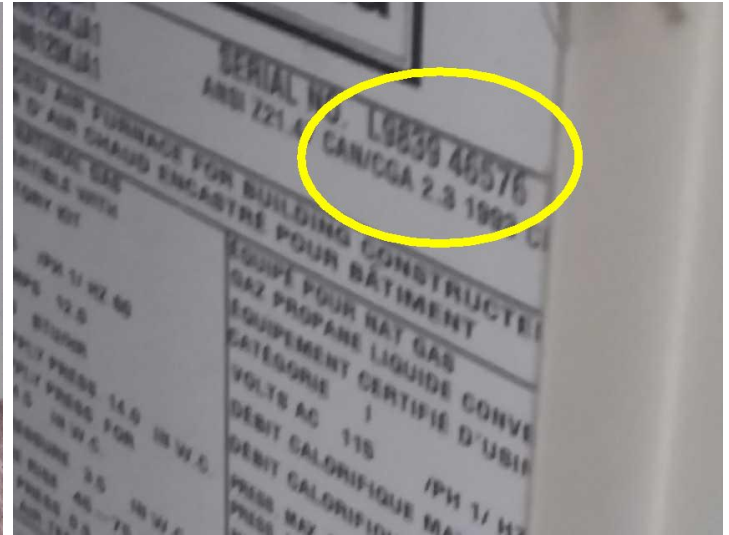
1.8. The registers are reasonably clean and functional.

1.9. The furnace is functional. However, it is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by an HVAC contractor prior to the close of the inspection period.

Heating & Air conditioning (continued)



Central heat is provided by a forced-air furnace that is located in the garage.



Serial number L983946576 - manufactured 1998

Attics

1. Attic

Observations:

1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1.2. The attic can be accessed through a hatch located in the hallway ceiling.

1.3. We evaluated the attic by direct access.

1.4. We were unable to access the entire attic due to conditions of clearance and obstructions. We were able to access approximately 80% of the attic.

1.5. There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.

1.6. The visible roof framing consists of a factory - built truss system that is in acceptable condition. It is comprised of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

1.7. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.

1.8. The visible portions of the exhaust ducts are functional.

1.9. The heat vents appear to be functional.

1.10. The visible portions of the water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.

1.11. The drainpipe vents that are fully visible are in acceptable condition.

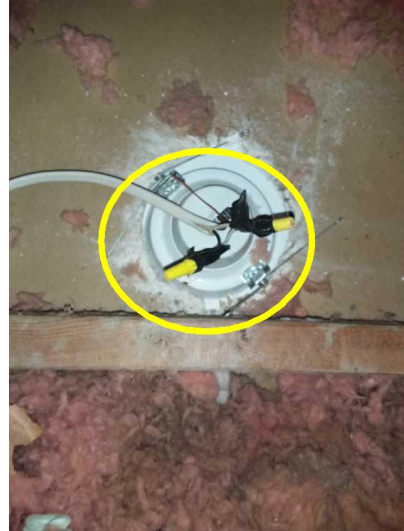
1.12. The attic is insulated, with approximately six-inches of blown-in cellulose, but current standards call for nine and even twelve inches. Some types of this insulation, which were manufactured and installed prior to 1979, consist of shredded paper and are flammable. However, we do not categorically recommend removing and replacing the insulation, because this is a personal decision that is best made by the owners or the occupants.

Attics (continued)

1.13. Electrical connections have been incorrectly made outside of junction boxes. All such connections should be made within junction boxes in order to contain any arcing or sparking that could occur, a task that should be completed by a licensed electrician.



There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.



Electrical connections have been incorrectly made outside of junction boxes. All such connections should be made within junction boxes in order to contain any arcing or sparking that could occur, a task that should be completed by a licensed electrician.

Garages

1. Double-Car Garage

Observations:

- 1.1. The house entry door is solid core, or fire-rated, and self-closes in conformance with fire-safety regulations.
- 1.2. The house entry door opens incorrectly over a step, and should open over a platform the width of the door.
- 1.3. The side door is functional.
- 1.4. The window panes are not tempered or safety glass which is required by current standards.
- 1.5. The slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence of expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.
- 1.6. One ventilation port in the wall has been blocked or covered. If they are not uncovered, vehicle engines and combustion appliances could produce noxious by-products, including deadly, carbon monoxide.
- 1.7. The storage space may have been added without the benefit of a permit, which could stress the roof framing. You may wish to verify this with the sellers. Regardless, you should limit the storage to lightweight items.
- 1.8. There has been a drywall/plaster repair that should be explained by the seller.
- 1.9. The walls are sheathed and in acceptable condition however they have cosmetic damage you should view for yourself.
- 1.10. One outlet that was tested is functional, and includes ground-fault protection.
- 1.11. A light is missing its globe or cover and should be serviced.
- 1.12. Light switch covers are damaged and should be replaced.
- 1.13. The garage door and its hardware are functional.
- 1.14. The garage door opener is functional.
- 1.15. A window screen is missing, which you may wish to have replaced.
- 1.16. The parking space has been restricted by the relocation of laundry facilities. You should determine that this was done with a permit, because we do not approve or tacitly endorse any work that was done without a permit.
- 1.17. A portion of the garage has been converted into living space, and we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects may exist.

Garages (continued)

1.18. A heat register nullifies the firewall rating and should be repaired.

1.19. Some of the garage outlets do not have ground-fault protection and should be upgraded to include this important safety component.

1.20. Outlet covers are missing and should be installed.

1.21. The garage door opener and infra-red sensors are functional, but it does not auto-reverse with an obstruction and needs to be adjusted.



The house entry door opens incorrectly over a step, and should open over a platform the width of the door.



The window panes are not tempered or safety glass which is required by current standards.



A heat register nullifies the firewall rating and should be repaired.



Outlet covers are missing and should be installed.

Garages (continued)



Light switch covers are damaged and should be replaced.



A light is missing its globe or cover and should be serviced.



One ventilation port in the wall has been blocked or covered. If they are not uncovered, vehicle engines and combustion appliances could produce noxious by-products, including deadly, carbon monoxide.



The storage space may have been added without the benefit of a permit, which could stress the roof framing. You may wish to verify this with the sellers. Regardless, you should limit the storage to lightweight items.