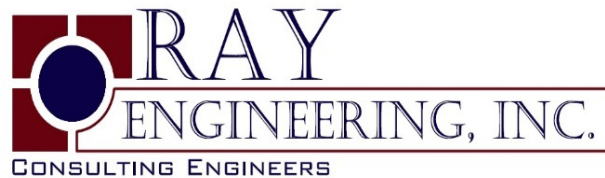

UPDATED CAPITAL RESERVE ANALYSIS
FOR
PARC VUE MIDTOWN
ATLANTA, GEORGIA



PREPARED FOR:

PARC VUE MIDTOWN CONDOMINIUM ASSOCIATION, INC.
C/O FIRST SERVICE RESIDENTIAL
3340 PEACHTREE ROAD NORTHEAST
ATLANTA, GEORGIA 30326

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JANUARY 2024
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I. CAPITAL RESERVE DETERMINATION

A. METHODOLOGY AND ASSUMPTIONS

A Capital Reserve Analysis is a report giving an estimate of the amount of money which must be put aside to replace or restore the common elements and building components that will require replacement before the community's use expires. Typically, the items included are limited to those with a useful life of 30 years or less.

The commonly accepted guidelines as established by governing statutes, the Community Associations Institute, and our engineering judgment and experience have been used as a basis for the reserve schedule in this report. The schedule, when implemented in conjunction with a well-planned preventive maintenance program, will provide adequate funds for the replacement of the community's common elements as they reach the end of their useful lives. In order to assure that this schedule remains current, a reassessment of the existing condition and replacement costs for each item is necessary at a regular interval as recommended within the report. Updating of the schedule, reduction of the useful lives, and inflation of the replacement costs may be executed with the benefit of re-inspection. The schedule must also be adjusted as common elements are added or modified.

It is important to note that a reserve item is a common element component which will require replacement on a recurring basis using a similar cost item. If an upgrade is necessitated due to a cost change or other extraordinary reason, the cost over and above the replacement cost is considered to be a capital improvement rather than a capital replacement. Capital improvements should not be funded from the reserves. After it has been upgraded, the item will then become part of the reserve schedule.

Method of Accounting

The Method used in the Capital Reserve Analysis is the "Cash Flow" Method and the funding plan utilized is the Baseline Funding. The goal of this funding method is to keep the reserve cash balance above zero. This means that while each individual component may not be fully funded, the reserve balance does not drop below zero during the projected period.

Level of Service

This reserve analysis was completed utilizing a Level II, Full-Service Study as defined under the National Reserve Standards that have been adopted by the Community Association Institute. The common component inventory was established based on information provided by the association's representative, field measurements and/or drawing take-offs. The Full-Service Study includes a review of the common property components and preparation of this report.

B. SUMMARY OF REPLACEMENT RESERVE NEEDS

1. TECHNICAL DEFINITIONS

This page is a summary of each of the different categories within the detailed schedule. It shows the total dollar amounts for each category and is based on the full funding of each item.

Following are descriptions of the different variables, which are shown on the reserve schedule in the order in which they appear.

Description

This column on the schedule lists all of the components for which we recommend that reserves be accumulated. The basis for the selection of these items includes:

- Review of the governing documents regarding the common and limited common elements.
- Review of all available maintenance contracts.
- The type of component and its anticipated full useful life and condition.
- A review of applicable statutes dealing with reserve requirements.

Quantity

The quantities which are used as a basis for this report are calculated from field measurements and drawings which have been supplied to Ray Engineering, Inc. Ray Engineering, Inc. has not made extensive as-built measurements, and the quantities used are based primarily on the reference materials provided.

Unit Cost

The construction and replacement costs used in this report are based primarily on the various publications written by the R.S. Means Company and construction related experience of Ray Engineering. The publications are listed in the Bibliography.

Reserve Requirements Present Dollars

This is calculated by multiplying the “quantity” by the “unit costs”.

Existing Reserve Fund

This is an allocation of the total existing reserve funds to the individual line items using a weighing factor which is based on the total “reserve requirement present dollars”, the “estimated remaining life”, and other factors. An existing balance was submitted to Ray Engineering, Inc. This balance was used in developing our Reserve Analysis.

Estimated Useful Life

The useful life values that are part of this report come from a variety of sources, some of which are listed in the Bibliography. In order to ensure that all items attain their anticipated useful lives, it is imperative that a well-planned maintenance schedule be adhered to. If an existing item is replaced with an upgraded product, the estimated remaining life has been listed for the new product.

Estimated Remaining Life

The estimated remaining life is based on both the age of the component and the results of the field inspections conducted in November 2023.

Annual Reserve Funding

The reserve requirement present value was converted to the future value for the time in which each replacement will occur. A 3% compounded inflation rate has been assumed. The future value was then converted to an annual reserve fund value. The arithmetic calculations and formulas are indicated later in this report.

C. EXECUTIVE SUMMARY

Parc Vue Midtown is a 14-story high-rise building consisting of 135 individual units, a four-story parking garage, and common elements. The property is located off 13th Street near its intersection with Piedmont Avenue. It is the Consultant's understanding that the property began development in 1991 and was converted into condominiums in 2005.

The building appears to consist of a superstructure constructed of post-tensioned floor slabs supported by reinforced concrete columns bearing on a deep foundation system. The building exterior finishes consist of pre-cast concrete, aluminum window/curtain wall, and stucco. The roof primarily consists of a Thermoplastic Polyolefin (TPO) roof and a section that consists of a moderately steep-sloped metal seam roof. The exposed exteriors of the parking garage are painted concrete. The main building entry is located at the front of the building elevation which faces 13th Street. The common areas include a lobby with a concierge desk, an office, an elevator lobby, residential corridors, a swimming pool, rooftop patio area, clubroom, fitness center, and a parking garage.

This reserve analysis was completed utilizing the "full" level of service, which included the property review and preparation of this report. This Reserve Analysis is prepared for the fiscal year starting January 1, 2024. It is our understanding that the reserve account for the community has a balance of approximately \$547,472.00 with an annual contribution of \$212,000.00 for 2024. Based on our analysis and review of the property, the current annual contribution has been found to be inadequate to provide for the future expenses as provided by this analysis. It is our recommendation that the annual contribution be increased to \$465,000.00 in 2026, \$495,000.00 in 2027 to account for large future expenses in the upcoming years per discussions with the Board of Directors and Property Management. We then recommend that the annual contribution be \$355,000.00 in 2028 and then increased by approximately 2% every year, for the remainder of the reserve analysis. For a review of the funding requirements for the next 30 years, please refer to the "Cost and Funding Recap" included as a part of this report.

D. REPLACEMENT RESERVE REQUIREMENTS

SCHEDULE I

Sitework

SCHEDULE II

Exterior/Interior Building Maintenance

SCHEDULE III

Electrical/Mechanical/Plumbing Maintenance

FULLY FUNDED BALANCE

COST AND FUNDING RECAP – RECOMMENDED FUNDING

COST AND FUNDING RECAP – GRAPH – RECOMMENDED FUNDING

COST AND FUNDING RECAP – EXISTING FUNDING

COST AND FUNDING RECAP – GRAPH – EXISTING FUNDING

ITEMIZED PROJECT COSTS BY YEAR



| | |
|---------------------------|------------------|
| PROJECT NAME | PARC VUE MIDTOWN |
| INFLATION RATE | 3.00% |
| YIELD ON RESERVE FUNDS | 2.00% |
| BEGINNING YEAR OF FUNDING | 2024 |
| PLANNING HORIZON | 30 yrs |

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2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 |
|----|--|-------|------------------|--------------|---------------|-----------------------------|--------------------------------|-------|------------|-----------|------|------------|------|------|------|------------|------------|------------|
| | SITEWORK ITEMS | | | | | | | | | | | | | | | | | |
| 1 | CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$3,500.00 | \$3,500.00 | 10 | 0 | 2 | \$3,500.0 | | | | | | | | | |
| 2 | LANDSCAPING - UPGRADE | ALLOW | 1 | \$40,000.00 | \$40,000.00 | 10 | 3 | 2 | | | | \$43,709.1 | | | | | | |
| 3 | METAL RAILINGS - CLEAN/REPAIR/PAINT | ALLOW | 1 | \$6,750.00 | \$6,750.00 | 7 | 7 | 3 | | | | | | | | \$8,301.6 | | |
| 4 | ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | ALLOW | 1 | \$11,500.00 | \$11,500.00 | 10 | 0 | 3 | \$11,500.0 | | | | | | | | | |
| 5 | DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | ALLOW | 1 | \$9,250.00 | \$9,250.00 | 8 | 1 | 4 | | \$9,527.5 | | | | | | | | \$12,069.2 |
| 6 | SWIMMING POOL SURFACE - RESURFACE/REP. TILES | ALLOW | 1 | \$40,000.00 | \$40,000.00 | 10 | 7 | 5 | | | | | | | | \$49,195.0 | | |
| 7 | SWIMMING POOL DECK - REPAIR/SEAL CRACKS | ALLOW | 1 | \$8,000.00 | \$8,000.00 | 6 | 1 | 5 | | \$8,240.0 | | | | | | \$9,839.0 | | |
| 8 | SWIMMING POOL DECK - PARTIAL REPLACEMENT | ALLOW | 1 | \$15,000.00 | \$15,000.00 | 15 | 8 | 5 | | | | | | | | | \$19,001.6 | |
| 9 | SWIMMING POOL FURNITURE - PARTIAL REPLACE | ALLOW | 1 | \$13,000.00 | \$13,000.00 | 5 | 3 | 5 | | | | \$14,205.5 | | | | | \$16,468.0 | |
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| | TOTAL SITEWORK COMPONENTS | | | | | | | | \$15,000 | \$17,768 | \$0 | \$57,915 | \$0 | \$0 | \$0 | \$67,336 | \$35,470 | \$12,069 |

2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2034 | 2035 | 2036 | 2037 | 2038 | 2039 | 2040 | 2041 | 2042 | 2043 | 2044 |
|----|--|-------|---------------|-------------|-------------|-----------------------|--------------------------|-------|------------|------|------|------------|------------|------|------|------------|------------|------------|------------|
| | SITEWORK ITEMS | | | | | | | | | | | | | | | | | | |
| 1 | CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$3,500.00 | \$3,500.00 | 10 | 0 | 2 | \$4,703.7 | | | | | | | | | | \$6,321.4 |
| 2 | LANDSCAPING - UPGRADE | ALLOW | 1 | \$40,000.00 | \$40,000.00 | 10 | 3 | 2 | | | | \$58,741.3 | | | | | | | |
| 3 | METAL RAILINGS - CLEAN/REPAIR/PAINT | ALLOW | 1 | \$6,750.00 | \$6,750.00 | 7 | 7 | 3 | | | | | \$10,210.0 | | | | | | |
| 4 | ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | ALLOW | 1 | \$11,500.00 | \$11,500.00 | 10 | 0 | 3 | \$15,455.0 | | | | | | | | | | \$20,770.3 |
| 5 | DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | ALLOW | 1 | \$9,250.00 | \$9,250.00 | 8 | 1 | 4 | | | | | | | | \$15,288.8 | | | |
| 6 | SWIMMING POOL SURFACE - RESURFACE/REP. TILES | ALLOW | 1 | \$40,000.00 | \$40,000.00 | 10 | 7 | 5 | | | | | | | | \$66,113.9 | | | |
| 7 | SWIMMING POOL DECK - REPAIR/SEAL CRACKS | ALLOW | 1 | \$8,000.00 | \$8,000.00 | 6 | 1 | 5 | | | | \$11,748.3 | | | | | | \$14,028.0 | |
| 8 | SWIMMING POOL DECK - PARTIAL REPLACEMENT | ALLOW | 1 | \$15,000.00 | \$15,000.00 | 15 | 8 | 5 | | | | | | | | | | | |
| 9 | SWIMMING POOL FURNITURE - PARTIAL REPLACE | ALLOW | 1 | \$13,000.00 | \$13,000.00 | 5 | 3 | 5 | | | | \$19,090.9 | | | | | \$22,131.6 | | |
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| | TOTAL SITEWORK COMPONENTS | | | | | | | | \$20,159 | \$0 | \$0 | \$89,581 | \$10,210 | \$0 | \$0 | \$81,403 | \$22,132 | \$14,028 | \$27,092 |

2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2045 | 2046 | 2047 | 2048 | 2049 | 2050 | 2051 | 2052 | 2053 | 30 YR TOTAL |
|----|--|-------|---------------|-------------|-------------|-----------------------|--------------------------|-------|------------|------|------------|------|------------|------|------------|------------|------|-------------|
| | SITEWORK ITEMS | | | | | | | | | | | | | | | | | |
| 1 | CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$3,500.00 | \$3,500.00 | 10 | 0 | 2 | | | | | | | | | | \$14,525 |
| 2 | LANDSCAPING - UPGRADE | ALLOW | 1 | \$40,000.00 | \$40,000.00 | 10 | 3 | 2 | | | \$78,943.5 | | | | | | | \$181,394 |
| 3 | METAL RAILINGS - CLEAN/REPAIR/PAINT | ALLOW | 1 | \$6,750.00 | \$6,750.00 | 7 | 7 | 3 | \$12,557.0 | | | | | | | \$15,443.5 | | \$46,512 |
| 4 | ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | ALLOW | 1 | \$11,500.00 | \$11,500.00 | 10 | 0 | 3 | | | | | | | | | | \$47,725 |
| 5 | DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | ALLOW | 1 | \$9,250.00 | \$9,250.00 | 8 | 1 | 4 | | | | | \$19,367.4 | | | | | \$56,253 |
| 6 | SWIMMING POOL SURFACE - RESURFACE/REP. TILES | ALLOW | 1 | \$40,000.00 | \$40,000.00 | 10 | 7 | 5 | | | | | | | \$88,851.6 | | | \$204,160 |
| 7 | SWIMMING POOL DECK - REPAIR/SEAL CRACKS | ALLOW | 1 | \$8,000.00 | \$8,000.00 | 6 | 1 | 5 | | | | | \$16,750.2 | | | | | \$60,606 |
| 8 | SWIMMING POOL DECK - PARTIAL REPLACEMENT | ALLOW | 1 | \$15,000.00 | \$15,000.00 | 15 | 8 | 5 | | | \$29,603.8 | | | | | | | \$48,605 |
| 9 | SWIMMING POOL FURNITURE - PARTIAL REPLACE | ALLOW | 1 | \$13,000.00 | \$13,000.00 | 5 | 3 | 5 | | | \$25,656.6 | | | | | \$29,743.1 | | \$127,296 |
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| | TOTAL SITEWORK COMPONENTS | | | | | | | | \$12,557 | \$0 | \$134,204 | \$0 | \$36,118 | \$0 | \$88,852 | \$45,187 | \$0 | \$787,076 |

2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 |
|----|--|--------|---------------|--------------|--------------|-----------------------|--------------------------|-------|-------------|-------------|-------------|-------------|-------------|-------------|------------|------------|------------|------------|
| | EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS | | | | | | | | | | | | | | | | | |
| 1 | BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 2 | 6 | | | \$199,449.2 | | | | | | | |
| 2 | BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 3 | 6 | | | | \$205,432.7 | | | | | | |
| 3 | BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 4 | 6 | | | | | \$211,595.7 | | | | | |
| 4 | EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$100,000.00 | \$100,000.00 | 10 | 1 | 6 | | \$103,000.0 | | | | | | | | |
| 5 | EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$188,000.00 | \$188,000.00 | 10 | 2 | 6 | | | \$199,449.2 | | | | | | | |
| 6 | EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$188,000.00 | \$188,000.00 | 10 | 3 | 6 | | | | \$205,432.7 | | | | | | |
| 7 | METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$33,100.00 | \$33,100.00 | 6 | 0 | 7 | \$33,100.0 | | | | | | \$39,523.1 | | | |
| 8 | TPO ROOF - REPLACE | S.F. | 10500 | \$40.00 | \$420,000.00 | 20 | 17 | 7 | | | | | | | | | | |
| 9 | TPO ROOF REPAIRS | S.F. | 10500 | \$2.25 | \$23,625.00 | 6 | 3 | 7 | | | | \$25,815.7 | | | | | | \$30,825.3 |
| 10 | METAL SEAM ROOF - REPAIR/SEAL/PAINT | S.Q. | 10 | \$1,500.00 | \$15,000.00 | 20 | 7 | 7 | | | | | | | | \$18,448.1 | | |
| 11 | TOP FLOOR PATIO - REPLACE TILE/TPO ROOF | S.F. | 1150 | \$70.00 | \$80,500.00 | 20 | 17 | 8 | | | | | | | | | | |
| 12 | TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | L.S. | 1 | \$7,500.00 | \$7,500.00 | 6 | 3 | 8 | | | | \$8,195.5 | | | | | | \$9,785.8 |
| 13 | TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 10 | 0 | 8 | \$5,750.0 | | | | | | | | | |
| 14 | EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 8 | 8 | 9 | | | | | | | | | \$15,834.6 | |
| 15 | PARKING GARAGE - RECAULK/REGROUT/SEAL | L.S. | 1 | \$28,750.00 | \$28,750.00 | 8 | 1 | 10 | | \$29,612.5 | | | | | | | | \$37,512.2 |
| 16 | PARKING GARAGE LEVELS - PAINTING/COATING | L.S. | 1 | \$12,500.00 | \$12,500.00 | 5 | 2 | 10 | | | \$13,261.3 | | | | | \$15,373.4 | | |
| 17 | CLUBROOM RENOVATE - RENOVATE | L.S. | 1 | \$63,250.00 | \$63,250.00 | 12 | 6 | 13 | | | | | | | \$75,523.8 | | | |
| 18 | CLUBROOM BATHROOMS - REMODEL | Ea. | 2 | \$9,200.00 | \$18,400.00 | 8 | 8 | 13 | | | | | | | | | \$23,308.6 | |
| 19 | CLUB ROOM PANTRY/KITCHEN APPLIANCES - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 9 | 13 | | | | | | | | | | \$7,502.4 |
| 20 | CLUB ROOM PANTRY/KITCHEN CABINETS - REPLACE | ALLOW | 1 | \$34,500.00 | \$34,500.00 | 25 | 0 | 13 | \$34,500.0 | | | | | | | | | |
| 21 | COMMON AREA DOORS & WINDOWS - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$13,800.00 | \$13,800.00 | 10 | 10 | 13 | | | | | | | | | | |
| 22 | CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | FLOORS | 14 | \$7,311.00 | \$102,354.00 | 10 | 5 | 13 | | | | | | \$118,656.3 | | | | |
| 23 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | L.S. | 1 | \$34,500.00 | \$34,500.00 | 10 | 2 | 13 | | | \$36,601.1 | | | | | | | |
| 24 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | L.S. | 1 | \$34,500.00 | \$34,500.00 | 10 | 3 | 13 | | | | \$37,699.1 | | | | | | |
| 25 | CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | L.S. | 1 | \$40,250.00 | \$40,250.00 | 7 | 1 | 13 | | \$41,457.5 | | | | | | | \$50,987.5 | |
| 26 | LOBBY - REMODEL | ALLOW | 1 | \$150,000.00 | \$150,000.00 | 20 | 0 | 13 | \$150,000.0 | | | | | | | | | |
| 27 | LOBBY TILE FINISHES - REPAIR/PARTIAL REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 13 | | | | | | | | | | |
| 28 | FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | ALLOW | 1 | \$5,000.00 | \$5,000.00 | 5 | 0 | 13 | \$5,000.0 | | | | | \$5,796.4 | | | | |
| 29 | FITNESS ROOM FLOOR(CARPET) - REPLACE FLOOR | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 10 | 10 | 13 | | | | | | | | | | |
| 30 | LOBBY DESK AND RECEPTION - REMODEL | L.S. | 1 | \$13,800.00 | \$13,800.00 | 15 | 15 | 13 | | | | | | | | | | |
| 31 | LOBBY/GALLERY FF&E - REPLACE | L.S. | 1 | \$17,250.00 | \$17,250.00 | 8 | 8 | 13 | | | | | | | | | \$21,851.8 | |
| 32 | MAILBOXES - REPLACE | L.S. | 1 | \$12,500.00 | \$12,500.00 | 30 | 10 | 13 | | | | | | | | | | |
| 33 | MAILROOM (LOBBY) - REMODEL | L.S. | 1 | \$1,500.00 | \$1,500.00 | 10 | 7 | 13 | | | | | | | | \$1,844.8 | | |
| 34 | OFFICE EQUIPMENT - REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 5 | 5 | 13 | | | | | | \$6,665.8 | | | | |
| 35 | INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | L.S. | 1 | \$12,500.00 | \$12,500.00 | 12 | 2 | 13 | | | \$13,261.3 | | | | | | | |
| 36 | UNIT SIGNAGE AND HARDWARE - REPLACE | L.S. | 1 | \$49,500.00 | \$49,500.00 | 30 | 1 | 13 | | \$50,985.0 | | | | | | | | |
| 37 | OUTDOOR LOGO CHANGE | L.S. | 1 | \$3,500.00 | \$3,500.00 | 20 | 1 | 13 | | \$3,605.0 | | | | | | | | |
| 38 | | | | | | | | | | | | | | | | | | |
| 39 | | | | | | | | | | | | | | | | | | |
| 40 | | | | | | | | | | | | | | | | | | |
| | TOTAL EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS | | | | | | | | \$228,350 | \$228,660 | \$462,022 | \$482,576 | \$211,596 | \$131,119 | \$115,047 | \$35,666 | \$111,982 | \$85,626 |

2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2034 | 2035 | 2036 | 2037 | 2038 | 2039 | 2040 | 2041 | 2042 | 2043 | 2044 |
|----|--|--------|---------------|--------------|--------------|-----------------------|--------------------------|-------|------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|------|-------------|
| | EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS | | | | | | | | | | | | | | | | | | |
| 1 | BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 2 | 6 | | | | | \$284,366.9 | | | | | | |
| 2 | BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 3 | 6 | | | | | | \$292,897.9 | | | | | |
| 3 | BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 4 | 6 | | | | | | | \$301,684.8 | | | | |
| 4 | EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$100,000.00 | \$100,000.00 | 10 | 1 | 6 | | \$138,423.4 | | | | | | | | | |
| 5 | EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$188,000.00 | \$188,000.00 | 10 | 2 | 6 | | | \$268,043.0 | | | | | | | | |
| 6 | EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$188,000.00 | \$188,000.00 | 10 | 3 | 6 | | | | \$276,084.3 | | | | | | | |
| 7 | METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$33,100.00 | \$33,100.00 | 6 | 0 | 7 | | | \$47,192.7 | | | | | | \$56,350.5 | | |
| 8 | TPO ROOF - REPLACE | S.F. | 10500 | \$40.00 | \$420,000.00 | 20 | 17 | 7 | | | | | | | | \$694,196.0 | | | |
| 9 | TPO ROOF REPAIRS | S.F. | 10500 | \$2.25 | \$23,625.00 | 6 | 3 | 7 | | | | | | \$36,807.0 | | | | | |
| 10 | METAL SEAM ROOF - REPAIR/SEAL/PAINT | S.Q. | 10 | \$1,500.00 | \$15,000.00 | 20 | 7 | 7 | | | | | | | | | | | |
| 11 | TOP FLOOR PATIO - REPLACE TILE/TPO ROOF | S.F. | 1150 | \$70.00 | \$80,500.00 | 20 | 17 | 8 | | | | | | | | \$133,054.2 | | | |
| 12 | TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | L.S. | 1 | \$7,500.00 | \$7,500.00 | 6 | 3 | 8 | | | | | | \$11,684.8 | | | | | |
| 13 | TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 10 | 0 | 8 | \$7,727.5 | | | | | | | | | | \$10,385.1 |
| 14 | EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 8 | 8 | 9 | | | | | | | \$20,058.8 | | | | |
| 15 | PARKING GARAGE - RECAULK/REGROUT/SEAL | L.S. | 1 | \$28,750.00 | \$28,750.00 | 8 | 1 | 10 | | | | | | | | \$47,519.4 | | | |
| 16 | PARKING GARAGE LEVELS - PAINTING/COATING | L.S. | 1 | \$12,500.00 | \$12,500.00 | 5 | 2 | 10 | | | \$17,822.0 | | | | | \$20,660.6 | | | |
| 17 | CLUBROOM RENOVATE - RENOVATE | L.S. | 1 | \$63,250.00 | \$63,250.00 | 12 | 6 | 13 | | | | | | | | | \$107,678.9 | | |
| 18 | CLUBROOM BATHROOMS - REMODEL | Ea. | 2 | \$9,200.00 | \$18,400.00 | 8 | 8 | 13 | | | | | | \$29,526.6 | | | | | |
| 19 | CLUB ROOM PANTRY/KITCHEN APPLIANCES - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 9 | 13 | | | | | | | | | | | |
| 20 | CLUB ROOM PANTRY/KITCHEN CABINETS - REPLACE | ALLOW | 1 | \$34,500.00 | \$34,500.00 | 25 | 0 | 13 | | | | | | | | | | | |
| 21 | COMMON AREA DOORS & WINDOWS - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$13,800.00 | \$13,800.00 | 10 | 10 | 13 | \$18,546.0 | | | | | | | | | | \$24,924.3 |
| 22 | CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | FLOORS | 14 | \$7,311.00 | \$102,354.00 | 10 | 5 | 13 | | | | | | \$159,464.2 | | | | | |
| 23 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | L.S. | 1 | \$34,500.00 | \$34,500.00 | 10 | 2 | 13 | | | \$49,188.8 | | | | | | | | |
| 24 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | L.S. | 1 | \$34,500.00 | \$34,500.00 | 10 | 3 | 13 | | | | \$50,664.4 | | | | | | | |
| 25 | CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | L.S. | 1 | \$40,250.00 | \$40,250.00 | 7 | 1 | 13 | | | | | | \$62,708.2 | | | | | |
| 26 | LOBBY - REMODEL | ALLOW | 1 | \$150,000.00 | \$150,000.00 | 20 | 0 | 13 | | | | | | | | | | | \$270,916.7 |
| 27 | LOBBY TILE FINISHES - REPAIR/PARTIAL REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 13 | | | | | | \$8,958.3 | | | | | |
| 28 | FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | ALLOW | 1 | \$5,000.00 | \$5,000.00 | 5 | 0 | 13 | \$6,719.6 | | | | | \$7,789.8 | | | | | \$9,030.6 |
| 29 | FITNESS ROOM FLOOR(CARPET) - REPLACE FLOOR | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 10 | 10 | 13 | \$7,727.5 | | | | | | | | | | \$10,385.1 |
| 30 | LOBBY DESK AND RECEPTION - REMODEL | L.S. | 1 | \$13,800.00 | \$13,800.00 | 15 | 15 | 13 | | | | | | \$21,500.0 | | | | | |
| 31 | LOBBY/GALLERY FF&E - REPLACE | L.S. | 1 | \$17,250.00 | \$17,250.00 | 8 | 8 | 13 | | | | | | | \$27,681.2 | | | | |
| 32 | MAILBOXES - REPLACE | L.S. | 1 | \$12,500.00 | \$12,500.00 | 30 | 10 | 13 | \$16,799.0 | | | | | | | | | | |
| 33 | MAILROOM (LOBBY) - REMODEL | L.S. | 1 | \$1,500.00 | \$1,500.00 | 10 | 7 | 13 | | | | | | | | \$2,479.3 | | | |
| 34 | OFFICE EQUIPMENT - REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 5 | 5 | 13 | \$7,727.5 | | | | | \$8,958.3 | | | | | \$10,385.1 |
| 35 | INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | L.S. | 1 | \$12,500.00 | \$12,500.00 | 12 | 2 | 13 | | | | | \$18,907.4 | | | | | | |
| 36 | UNIT SIGNAGE AND HARDWARE - REPLACE | L.S. | 1 | \$49,500.00 | \$49,500.00 | 30 | 1 | 13 | | | | | | | | | | | |
| 37 | OUTDOOR LOGO CHANGE | L.S. | 1 | \$3,500.00 | \$3,500.00 | 20 | 1 | 13 | | | | | | | | | | | |
| 38 | | | | | | | | | | | | | | | | | | | |
| 39 | | | | | | | | | | | | | | | | | | | |
| 40 | | | | | | | | | | | | | | | | | | | |
| | TOTAL EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS | | | | | | | | \$65,247 | \$138,423 | \$382,246 | \$326,749 | \$303,274 | \$610,768 | \$378,951 | \$897,909 | \$164,029 | \$0 | \$336,027 |

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RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2045 | 2046 | 2047 | 2048 | 2049 | 2050 | 2051 | 2052 | 2053 | 30 YR TOTAL |
|----|--|--------|---------------|--------------|--------------|-----------------------|--------------------------|-------|-------------|-------------|-------------|------------|-------------|-------------|-------------|-------------|------------|-------------|
| | EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS | | | | | | | | | | | | | | | | | |
| 1 | BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 2 | 6 | | | | | | \$405,439.2 | | | | \$889,255 |
| 2 | BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 3 | 6 | | | | | | | \$417,602.3 | | | \$915,933 |
| 3 | BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAL) | L.S. | 1 | \$188,000.00 | \$188,000.00 | 12 | 4 | 6 | | | | | | | | \$430,130.4 | | \$943,411 |
| 4 | EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$100,000.00 | \$100,000.00 | 10 | 1 | 6 | \$186,029.5 | | | | | | | | | \$427,453 |
| 5 | EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$188,000.00 | \$188,000.00 | 10 | 2 | 6 | | \$360,227.4 | | | | | | | | \$827,720 |
| 6 | EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | L.S. | 1 | \$188,000.00 | \$188,000.00 | 10 | 3 | 6 | | | \$371,034.3 | | | | | | | \$852,551 |
| 7 | METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$33,100.00 | \$33,100.00 | 6 | 0 | 7 | | | | \$67,285.5 | | | | | | \$243,452 |
| 8 | TPO ROOF - REPLACE | S.F. | 10500 | \$40.00 | \$420,000.00 | 20 | 17 | 7 | | | | | | | | | | \$694,196 |
| 9 | TPO ROOF REPAIRS | S.F. | 10500 | \$2.25 | \$23,625.00 | 6 | 3 | 7 | \$43,949.5 | | | | | | | \$52,478.0 | | \$189,875 |
| 10 | METAL SEAM ROOF - REPAIR/SEAL/PAINT | S.Q. | 10 | \$1,500.00 | \$15,000.00 | 20 | 7 | 7 | | | | | | | | \$33,319.3 | | \$51,767 |
| 11 | TOP FLOOR PATIO - REPLACE TILE/TPO ROOF | S.F. | 1150 | \$70.00 | \$80,500.00 | 20 | 17 | 8 | | | | | | | | | | \$133,054 |
| 12 | TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | L.S. | 1 | \$7,500.00 | \$7,500.00 | 6 | 3 | 8 | \$13,952.2 | | | | | | | \$16,659.7 | | \$60,278 |
| 13 | TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 10 | 0 | 8 | | | | | | | | | | \$23,863 |
| 14 | EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 8 | 8 | 9 | | | | \$25,409.9 | | | | | | \$61,303 |
| 15 | PARKING GARAGE - RECAULK/REGROUT/SEAL | L.S. | 1 | \$28,750.00 | \$28,750.00 | 8 | 1 | 10 | | | | | \$60,196.1 | | | | | \$174,840 |
| 16 | PARKING GARAGE LEVELS - PAINTING/COATING | L.S. | 1 | \$12,500.00 | \$12,500.00 | 5 | 2 | 10 | | \$23,951.3 | | | | | \$27,766.1 | | | \$118,835 |
| 17 | CLUBROOM RENOVATE - RENOVATE | L.S. | 1 | \$63,250.00 | \$63,250.00 | 12 | 6 | 13 | | | | | | | | | | \$183,203 |
| 18 | CLUBROOM BATHROOMS - REMODEL | Ea. | 2 | \$9,200.00 | \$18,400.00 | 8 | 8 | 13 | | | | \$37,403.4 | | | | | | \$90,239 |
| 19 | CLUB ROOM PANTRY/KITCHEN APPLIANCES - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 9 | 13 | | | | \$11,688.6 | | | | | | \$19,191 |
| 20 | CLUB ROOM PANTRY/KITCHEN CABINETS - REPLACE | ALLOW | 1 | \$34,500.00 | \$34,500.00 | 25 | 0 | 13 | | | | | \$72,235.3 | | | | | \$106,735 |
| 21 | COMMON AREA DOORS & WINDOWS - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$13,800.00 | \$13,800.00 | 10 | 10 | 13 | | | | | | | | | | \$43,470 |
| 22 | CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | FLOORS | 14 | \$7,311.00 | \$102,354.00 | 10 | 5 | 13 | | | | | \$214,306.5 | | | | | \$492,427 |
| 23 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | L.S. | 1 | \$34,500.00 | \$34,500.00 | 10 | 2 | 13 | | \$66,105.6 | | | | | | | | \$151,895 |
| 24 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | L.S. | 1 | \$34,500.00 | \$34,500.00 | 10 | 3 | 13 | | | \$68,088.7 | | | | | | | \$156,452 |
| 25 | CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | L.S. | 1 | \$40,250.00 | \$40,250.00 | 7 | 1 | 13 | | \$77,123.2 | | | | | | | \$94,851.8 | \$327,128 |
| 26 | LOBBY - REMODEL | ALLOW | 1 | \$150,000.00 | \$150,000.00 | 20 | 0 | 13 | | | | | | | | | | \$420,917 |
| 27 | LOBBY TILE FINISHES - REPAIR/PARTIAL REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 13 | | | | | | | | | | \$8,958 |
| 28 | FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | ALLOW | 1 | \$5,000.00 | \$5,000.00 | 5 | 0 | 13 | | | | | \$10,468.9 | | | | | \$44,805 |
| 29 | FITNESS ROOM FLOOR(CARPET) - REPLACE FLOOR | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 10 | 10 | 13 | | | | | | | | | | \$18,113 |
| 30 | LOBBY DESK AND RECEPTION - REMODEL | L.S. | 1 | \$13,800.00 | \$13,800.00 | 15 | 15 | 13 | | | | | | | | | | \$21,500 |
| 31 | LOBBY/GALLERY FF&E - REPLACE | L.S. | 1 | \$17,250.00 | \$17,250.00 | 8 | 8 | 13 | | | | \$35,065.7 | | | | | | \$84,599 |
| 32 | MAILBOXES - REPLACE | L.S. | 1 | \$12,500.00 | \$12,500.00 | 30 | 10 | 13 | | | | | | | | | | \$16,799 |
| 33 | MAILROOM (LOBBY) - REMODEL | L.S. | 1 | \$1,500.00 | \$1,500.00 | 10 | 7 | 13 | | | | | | | \$3,331.9 | | | \$7,656 |
| 34 | OFFICE EQUIPMENT - REPLACE | L.S. | 1 | \$5,750.00 | \$5,750.00 | 5 | 5 | 13 | | | | | \$12,039.2 | | | | | \$45,776 |
| 35 | INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | L.S. | 1 | \$12,500.00 | \$12,500.00 | 12 | 2 | 13 | | | | | | \$26,957.4 | | | | \$59,126 |
| 36 | UNIT SIGNAGE AND HARDWARE - REPLACE | L.S. | 1 | \$49,500.00 | \$49,500.00 | 30 | 1 | 13 | | | | | | | | | | \$50,985 |
| 37 | OUTDOOR LOGO CHANGE | L.S. | 1 | \$3,500.00 | \$3,500.00 | 20 | 1 | 13 | \$6,511.0 | | | | | | | | | \$10,116 |
| 38 | | | | | | | | | | | | | | | | | | |
| 39 | | | | | | | | | | | | | | | | | | |
| 40 | | | | | | | | | | | | | | | | | | |
| | TOTAL EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS | | | | | | | | \$250,442 | \$527,407 | \$439,123 | \$176,853 | \$369,246 | \$432,397 | \$551,157 | \$430,130 | \$94,852 | \$8,967,877 |

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RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 |
|----|--|-------|------------------|--------------|---------------|-----------------------------|--------------------------------|-------|------------|------------|-------------|------------|------|-------------|------|------------|------|------------|
| | ELECTRICAL/MECHANICAL/PLUMBING ITEMS | | | | | | | | | | | | | | | | | |
| 1 | ELECTRICAL PANELS - REPAIR | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 2 | 1 | 11 | | \$12,875.0 | | \$13,659.1 | | \$14,490.9 | | \$15,373.4 | | \$16,309.7 |
| 2 | ELECTRICAL PANELBOARDS AND SWITCHES - REPLACE | ALLOW | 1 | \$287,500.00 | \$287,500.00 | 25 | 5 | 11 | | | | | | \$333,291.3 | | | | |
| 3 | COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$17,250.00 | \$17,250.00 | 10 | 1 | 11 | | \$17,767.5 | | | | | | | | |
| 4 | COMMON INTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$30,000.00 | \$30,000.00 | 10 | 10 | 11 | | | | | | | | | | |
| 5 | SECURITY SYSTEM/CAMERAS - UPGRADE/REPLACE | L.S. | 1 | \$30,000.00 | \$30,000.00 | 10 | 10 | 11 | | | | | | | | | | |
| 6 | FIRE ALARM SYSTEM/PANELS - UPGRADE/REPLACE | L.S. | 1 | \$4,100.00 | \$4,100.00 | 15 | 0 | 11 | \$4,100.0 | | | | | | | | | |
| 7 | FIRE SPRINKLER REPAIRS | ALLOW | 1 | \$6,800.00 | \$6,800.00 | 10 | 10 | 11 | | | | | | | | | | |
| 8 | JOCKEY PUMP - REPLACE | ALLOW | 1 | \$2,300.00 | \$2,300.00 | 8 | 3 | 11 | | | | \$2,513.3 | | | | | | |
| 9 | FIRE PUMP - REPAIR | ALLOW | 1 | \$75,000.00 | \$75,000.00 | 22 | 12 | 11 | | | | | | | | | | |
| 10 | PLUMBING FIXTURES - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 15 | 1 | 11 | | \$12,875.0 | | | | | | | | |
| 11 | ROOFTOP HVAC SYSTEM #1 (15 TON) - REPLACE | ALLOW | 1 | \$41,613.41 | \$41,613.41 | 15 | 9 | 11 | | | | | | | | | | \$54,296.1 |
| 12 | ROOFTOP HVAC SYSTEM #2 (15 TON) - REPLACE | ALLOW | 1 | \$41,613.41 | \$41,613.41 | 15 | 3 | 11 | | | | \$45,472.1 | | | | | | |
| 13 | SPLIT SYSTEM HVAC (CLUB ROOM) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | | | | | |
| 14 | SPLIT SYSTEM HVAC (FITNESS CENTER) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | | | | | |
| 15 | SPLIT SYSTEM HVAC (LOBBY) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | | | | | |
| 16 | STAIR PRESURRIZATION FANS - REPLACE MOTORS | Ea. | 2 | \$5,750.00 | \$11,500.00 | 15 | 0 | 11 | \$11,500.0 | | | | | | | | | |
| 17 | CLUBROOM WATER HEATER (30 GALLON) - REPLACE | Ea. | 1 | \$3,000.00 | \$3,000.00 | 12 | 0 | 11 | \$3,000.0 | | | | | | | | | |
| 18 | WATER PIPING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 10 | 1 | 11 | | \$12,875.0 | | | | | | | | |
| 19 | UNDERGROUND SEWER LINES - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,650.00 | \$12,650.00 | 15 | 2 | 11 | | | \$13,420.4 | | | | | | | |
| 20 | WATER PIPES (UNDERGROUND) - REPAIR/PARTIAL REPLACE AS NEEDED | ALLOW | 1 | \$7,000.00 | \$7,000.00 | 20 | 1 | 11 | | \$7,210.0 | | | | | | | | |
| 21 | POOL PUMP - REPLACE | Ea. | 1 | \$1,400.00 | \$1,400.00 | 5 | 2 | 5 | | | \$1,485.3 | | | | | \$1,721.8 | | |
| 22 | SAND FILTERS - REPLACE | Ea. | 1 | \$2,300.00 | \$2,300.00 | 5 | 2 | 5 | | | \$2,440.1 | | | | | \$2,828.7 | | |
| 23 | POOL LIGHTING - REPLACE | ALLOW | 1 | \$6,000.00 | \$6,000.00 | 10 | 2 | 5 | | | \$6,365.4 | | | | | | | |
| 24 | ELEVATOR CABS - REMODEL | Ea. | 2 | \$13,000.00 | \$26,000.00 | 12 | 14 | 11 | | | | | | | | | | |
| 25 | ELEVATORS - UPGRADE/MODERNIZE | Ea. | 2 | \$136,500.00 | \$273,000.00 | 25 | 2 | 11 | | | \$289,625.7 | | | | | | | |
| 26 | EMERGENCY GENERATOR - REBUILD MOTOR/REPAIR | ALLOW | 1 | \$28,000.00 | \$28,000.00 | 20 | 1 | 11 | | \$28,840.0 | | | | | | | | |
| 27 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | ALLOW | 1 | \$3,000.00 | \$3,000.00 | 5 | 5 | 10 | | | | | | \$3,477.8 | | | | |
| 28 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 2 | Ea. | 2 | \$16,000.00 | \$32,000.00 | 20 | 9 | 10 | | | | | | | | | | \$41,752.7 |
| 29 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 1 | Ea. | 1 | \$16,000.00 | \$16,000.00 | 20 | 20 | 10 | | | | | | | | | | |
| 30 | TRASH COMPACTOR ROOM - PRESSURIZATION FAN | Ea. | 1 | \$6,440.00 | \$6,440.00 | 12 | 3 | 11 | | | | \$7,037.2 | | | | | | |
| 31 | TRASH COMPACTOR - REPLACE MOTOR | L.S. | 1 | \$2,875.00 | \$2,875.00 | 8 | 1 | 11 | | \$2,961.3 | | | | | | | | \$3,751.2 |
| 32 | | | | | | | | | | | | | | | | | | |
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| 40 | | | | | | | | | | | | | | | | | | |
| | TOTAL ELECTRICAL/MECHANICAL/PLUMBING ITEMS | | | | | | | | \$18,600 | \$95,404 | \$313,337 | \$68,682 | \$0 | \$351,260 | \$0 | \$19,924 | \$0 | \$116,110 |

2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2034 | 2035 | 2036 | 2037 | 2038 | 2039 | 2040 | 2041 | 2042 | 2043 | 2044 |
|----|--|-------|------------------|--------------|---------------|-----------------------------|--------------------------------|-------|------------|------------|-------------|------------|------------|------------|------------|------------|------------|------------|------------|
| | ELECTRICAL/MECHANICAL/PLUMBING ITEMS | | | | | | | | | | | | | | | | | | |
| 1 | ELECTRICAL PANELS - REPAIR | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 2 | 1 | 11 | | \$17,302.9 | | \$18,356.7 | | \$19,474.6 | | \$20,660.6 | | \$21,918.8 | |
| 2 | ELECTRICAL PANELBOARDS AND SWITCHES - REPLACE | ALLOW | 1 | \$287,500.00 | \$287,500.00 | 25 | 5 | 11 | | | | | | | | | | | |
| 3 | COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$17,250.00 | \$17,250.00 | 10 | 1 | 11 | | \$23,878.0 | | | | | | | | | |
| 4 | COMMON INTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$30,000.00 | \$30,000.00 | 10 | 10 | 11 | \$40,317.5 | | | | | | | | | | \$54,183.3 |
| 5 | SECURITY SYSTEM/CAMERAS - UPGRADE/REPLACE | L.S. | 1 | \$30,000.00 | \$30,000.00 | 10 | 10 | 11 | \$40,317.5 | | | | | | | | | | \$54,183.3 |
| 6 | FIRE ALARM SYSTEM/PANELS - UPGRADE/REPLACE | L.S. | 1 | \$4,100.00 | \$4,100.00 | 15 | 0 | 11 | | | | | | \$6,387.7 | | | | | |
| 7 | FIRE SPRINKLER REPAIRS | ALLOW | 1 | \$6,800.00 | \$6,800.00 | 10 | 10 | 11 | \$9,138.6 | | | | | | | | | | \$12,281.6 |
| 8 | JOCKEY PUMP - REPLACE | ALLOW | 1 | \$2,300.00 | \$2,300.00 | 8 | 3 | 11 | | \$3,183.7 | | | | | | | | \$4,033.1 | |
| 9 | FIRE PUMP - REPAIR | ALLOW | 1 | \$75,000.00 | \$75,000.00 | 22 | 12 | 11 | | | \$106,932.1 | | | | | | | | |
| 10 | PLUMBING FIXTURES - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 15 | 1 | 11 | | | | | | | \$20,058.8 | | | | |
| 11 | ROOFTOP HVAC SYSTEM #1 (15 TON) - REPLACE | ALLOW | 1 | \$41,613.41 | \$41,613.41 | 15 | 9 | 11 | | | | | | | | | | | |
| 12 | ROOFTOP HVAC SYSTEM #2 (15 TON) - REPLACE | ALLOW | 1 | \$41,613.41 | \$41,613.41 | 15 | 3 | 11 | | | | | | | | | \$70,844.0 | | |
| 13 | SPLIT SYSTEM HVAC (CLUB ROOM) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | \$8,958.3 | | | | | |
| 14 | SPLIT SYSTEM HVAC (FITNESS CENTER) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | \$8,958.3 | | | | | |
| 15 | SPLIT SYSTEM HVAC (LOBBY) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | \$8,958.3 | | | | | |
| 16 | STAIR PRESURRIZATION FANS - REPLACE MOTORS | Ea. | 2 | \$5,750.00 | \$11,500.00 | 15 | 0 | 11 | | | | | | \$17,916.6 | | | | | |
| 17 | CLUBROOM WATER HEATER (30 GALLON) - REPLACE | Ea. | 1 | \$3,000.00 | \$3,000.00 | 12 | 0 | 11 | | | \$4,277.3 | | | | | | | | |
| 18 | WATER PIPING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 10 | 1 | 11 | | \$17,302.9 | | | | | | | | | |
| 19 | UNDERGROUND SEWER LINES - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,650.00 | \$12,650.00 | 15 | 2 | 11 | | | | | | | | \$20,908.5 | | | |
| 20 | WATER PIPES (UNDERGROUND) - REPAIR/PARTIAL REPLACE AS NEEDED | ALLOW | 1 | \$7,000.00 | \$7,000.00 | 20 | 1 | 11 | | | | | | | | | | | |
| 21 | POOL PUMP - REPLACE | Ea. | 1 | \$1,400.00 | \$1,400.00 | 5 | 2 | 5 | | | \$1,996.1 | | | | | \$2,314.0 | | | |
| 22 | SAND FILTERS - REPLACE | Ea. | 1 | \$2,300.00 | \$2,300.00 | 5 | 2 | 5 | | | \$3,279.3 | | | | | \$3,801.5 | | | |
| 23 | POOL LIGHTING - REPLACE | ALLOW | 1 | \$6,000.00 | \$6,000.00 | 10 | 2 | 5 | | | \$8,554.6 | | | | | | | | |
| 24 | ELEVATOR CABS - REMODEL | Ea. | 2 | \$13,000.00 | \$26,000.00 | 12 | 14 | 11 | | | | | \$39,327.3 | | | | | | |
| 25 | ELEVATORS - UPGRADE/MODERNIZE | Ea. | 2 | \$136,500.00 | \$273,000.00 | 25 | 2 | 11 | | | | | | | | | | | |
| 26 | EMERGENCY GENERATOR - REBUILD MOTOR/REPAIR | ALLOW | 1 | \$28,000.00 | \$28,000.00 | 20 | 1 | 11 | | | | | | | | | | | |
| 27 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | ALLOW | 1 | \$3,000.00 | \$3,000.00 | 5 | 5 | 10 | \$4,031.7 | | | | | \$4,673.9 | | | | | \$5,418.3 |
| 28 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 2 | Ea. | 2 | \$16,000.00 | \$32,000.00 | 20 | 9 | 10 | | | | | | | | | | | |
| 29 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 1 | Ea. | 1 | \$16,000.00 | \$16,000.00 | 20 | 20 | 10 | | | | | | | | | | | \$28,897.8 |
| 30 | TRASH COMPACTOR ROOM - PRESSURIZATION FAN | Ea. | 1 | \$6,440.00 | \$6,440.00 | 12 | 3 | 11 | | | | | | \$10,033.3 | | | | | |
| 31 | TRASH COMPACTOR - REPLACE MOTOR | L.S. | 1 | \$2,875.00 | \$2,875.00 | 8 | 1 | 11 | | | | | | | | \$4,751.9 | | | |
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| | TOTAL ELECTRICAL/MECHANICAL/PLUMBING ITEMS | | | | | | | | \$93,805 | \$61,668 | \$125,039 | \$18,357 | \$39,327 | \$85,361 | \$20,059 | \$52,437 | \$70,844 | \$25,952 | \$154,964 |

2025-01-02 Reserve Study - Parc Vue Midtown

RESERVE EXPENDITURES

| | COMPONENT DESCRIPTION/INVENTORY | UNITS | UNIT QUANTITY | UNIT COST | TOTAL COST | ESTIMATED USEFUL LIFE | ESTIMATED REMAINING LIFE | NOTES | 2045 | 2046 | 2047 | 2048 | 2049 | 2050 | 2051 | 2052 | 2053 | 30 YR TOTAL |
|----|--|-------|---------------|--------------|--------------|-----------------------|--------------------------|-------|------------|------------|------------|------------|------------|------------|-------------|------|------------|-------------|
| | ELECTRICAL/MECHANICAL/PLUMBING ITEMS | | | | | | | | | | | | | | | | | |
| 1 | ELECTRICAL PANELS - REPAIR | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 2 | 1 | 11 | \$23,253.7 | | \$24,669.8 | | \$26,172.2 | | \$27,766.1 | | \$29,457.1 | \$301,741 |
| 2 | ELECTRICAL PANELBOARDS AND SWITCHES - REPLACE | ALLOW | 1 | \$287,500.00 | \$287,500.00 | 25 | 5 | 11 | | | | | | | | | | \$333,291 |
| 3 | COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$17,250.00 | \$17,250.00 | 10 | 1 | 11 | \$32,090.1 | | | | | | | | | \$73,736 |
| 4 | COMMON INTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$30,000.00 | \$30,000.00 | 10 | 10 | 11 | | | | | | | | | | \$94,501 |
| 5 | SECURITY SYSTEM/CAMERAS - UPGRADE/REPLACE | L.S. | 1 | \$30,000.00 | \$30,000.00 | 10 | 10 | 11 | | | | | | | | | | \$94,501 |
| 6 | FIRE ALARM SYSTEM/PANELS - UPGRADE/REPLACE | L.S. | 1 | \$4,100.00 | \$4,100.00 | 15 | 0 | 11 | | | | | | | | | | \$10,488 |
| 7 | FIRE SPRINKLER REPAIRS | ALLOW | 1 | \$6,800.00 | \$6,800.00 | 10 | 10 | 11 | | | | | | | | | | \$21,420 |
| 8 | JOCKEY PUMP - REPLACE | ALLOW | 1 | \$2,300.00 | \$2,300.00 | 8 | 3 | 11 | | | | | | | \$5,109.0 | | | \$14,839 |
| 9 | FIRE PUMP - REPAIR | ALLOW | 1 | \$75,000.00 | \$75,000.00 | 22 | 12 | 11 | | | | | | | | | | \$106,932 |
| 10 | PLUMBING FIXTURES - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 15 | 1 | 11 | | | | | | | | | | \$32,934 |
| 11 | ROOFTOP HVAC SYSTEM #1 (15 TON) - REPLACE | ALLOW | 1 | \$41,613.41 | \$41,613.41 | 15 | 9 | 11 | | | | \$84,591.5 | | | | | | \$138,888 |
| 12 | ROOFTOP HVAC SYSTEM #2 (15 TON) - REPLACE | ALLOW | 1 | \$41,613.41 | \$41,613.41 | 15 | 3 | 11 | | | | | | | | | | \$116,316 |
| 13 | SPLIT SYSTEM HVAC (CLUB ROOM) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | | | | | \$8,958 |
| 14 | SPLIT SYSTEM HVAC (FITNESS CENTER) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | | | | | \$8,958 |
| 15 | SPLIT SYSTEM HVAC (LOBBY) - REPLACE | ALLOW | 1 | \$5,750.00 | \$5,750.00 | 15 | 15 | 11 | | | | | | | | | | \$8,958 |
| 16 | STAIR PRESURRIZATION FANS - REPLACE MOTORS | Ea. | 2 | \$5,750.00 | \$11,500.00 | 15 | 0 | 11 | | | | | | | | | | \$29,417 |
| 17 | CLUBROOM WATER HEATER (30 GALLON) - REPLACE | Ea. | 1 | \$3,000.00 | \$3,000.00 | 12 | 0 | 11 | | | | \$6,098.4 | | | | | | \$13,376 |
| 18 | WATER PIPING - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,500.00 | \$12,500.00 | 10 | 1 | 11 | \$23,253.7 | | | | | | | | | \$53,432 |
| 19 | UNDERGROUND SEWER LINES - REPAIR/PARTIAL REPLACE | ALLOW | 1 | \$12,650.00 | \$12,650.00 | 15 | 2 | 11 | | | | | | | | | | \$34,329 |
| 20 | WATER PIPES (UNDERGROUND) - REPAIR/PARTIAL REPLACE AS NEEDED | ALLOW | 1 | \$7,000.00 | \$7,000.00 | 20 | 1 | 11 | \$13,022.1 | | | | | | | | | \$20,232 |
| 21 | POOL PUMP - REPLACE | Ea. | 1 | \$1,400.00 | \$1,400.00 | 5 | 2 | 5 | | \$2,682.5 | | | | | \$3,109.8 | | | \$13,309 |
| 22 | SAND FILTERS - REPLACE | Ea. | 1 | \$2,300.00 | \$2,300.00 | 5 | 2 | 5 | | \$4,407.0 | | | | | \$5,109.0 | | | \$21,866 |
| 23 | POOL LIGHTING - REPLACE | ALLOW | 1 | \$6,000.00 | \$6,000.00 | 10 | 2 | 5 | | \$11,496.6 | | | | | | | | \$26,417 |
| 24 | ELEVATOR CABS - REMODEL | Ea. | 2 | \$13,000.00 | \$26,000.00 | 12 | 14 | 11 | | | | | | \$56,071.4 | | | | \$95,399 |
| 25 | ELEVATORS - UPGRADE/MODERNIZE | Ea. | 2 | \$136,500.00 | \$273,000.00 | 25 | 2 | 11 | | | | | | | \$606,411.9 | | | \$896,038 |
| 26 | EMERGENCY GENERATOR - REBUILD MOTOR/REPAIR | ALLOW | 1 | \$28,000.00 | \$28,000.00 | 20 | 1 | 11 | \$52,088.2 | | | | | | | | | \$80,928 |
| 27 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | ALLOW | 1 | \$3,000.00 | \$3,000.00 | 5 | 5 | 10 | | | | | \$6,281.3 | | | | | \$23,883 |
| 28 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 2 | Ea. | 2 | \$16,000.00 | \$32,000.00 | 20 | 9 | 10 | | | | | | | | | \$75,410.1 | \$117,163 |
| 29 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 1 | Ea. | 1 | \$16,000.00 | \$16,000.00 | 20 | 20 | 10 | | | | | | | | | | \$28,898 |
| 30 | TRASH COMPACTOR ROOM - PRESSURIZATION FAN | Ea. | 1 | \$6,440.00 | \$6,440.00 | 12 | 3 | 11 | | | | | | | \$14,305.1 | | | \$31,376 |
| 31 | TRASH COMPACTOR - REPLACE MOTOR | L.S. | 1 | \$2,875.00 | \$2,875.00 | 8 | 1 | 11 | | | | | \$6,019.6 | | | | | \$17,484 |
| 32 | | | | | | | | | | | | | | | | | | |
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| | TOTAL ELECTRICAL/MECHANICAL/PLUMBING ITEMS | | | | | | | | \$143,708 | \$18,586 | \$24,670 | \$90,690 | \$38,473 | \$56,071 | \$661,811 | \$0 | \$104,867 | \$2,870,005 |

| | FULLY FUNDED BALANCE SITEWORK MAINTENANCE ITEMS DESCRIPTION SCHEDULE I | First Replacement | | | Second Replacement | | | Third Replacement | | | Fourth Replacement | | | Fifth Replacement | | |
|----|---|-------------------|--|--|--------------------|--|--|-------------------|--|--|--------------------|--|--|-------------------|--|--|
| | | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced |
| 1 | CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | 2024 | \$3,500 | \$3500 | 2034 | \$4,704 | \$470 | 2044 | \$6,321 | \$632 | 2054 | | | 2064 | | |
| 2 | LANDSCAPING - UPGRADE | 2027 | \$43,709 | \$10927 | 2037 | \$58,741 | \$5874 | 2047 | \$78,943 | \$7894 | 2057 | | | 2067 | | |
| 3 | METAL RAILINGS - CLEAN/REPAIR/PAINT | 2031 | \$8,302 | \$1038 | 2038 | \$10,210 | \$1459 | 2045 | \$12,557 | \$1794 | 2052 | \$15,444 | \$2206 | 2059 | | |
| 4 | ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | 2024 | \$11,500 | \$11500 | 2034 | \$15,455 | \$1546 | 2044 | \$20,770 | \$2077 | 2054 | | | 2064 | | |
| 5 | DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | 2025 | \$9,528 | \$4764 | 2033 | \$12,069 | \$1509 | 2041 | \$15,289 | \$1911 | 2049 | \$19,367 | \$2421 | 2057 | | |
| 6 | SWIMMING POOL SURFACE - RESURFACE/REP. TILES | 2031 | \$49,195 | \$6149 | 2041 | \$66,114 | \$6611 | 2051 | \$88,852 | \$8885 | 2061 | | | 2071 | | |
| 7 | SWIMMING POOL DECK - REPAIR/SEAL CRACKS | 2025 | \$8,240 | \$4120 | 2031 | \$9,839 | \$1640 | 2037 | \$11,748 | \$1958 | 2043 | \$14,028 | \$2338 | 2049 | \$16,750.22 | \$2792 |
| 8 | SWIMMING POOL DECK - PARTIAL REPLACEMENT | 2032 | \$19,002 | \$2111 | 2047 | \$29,604 | \$1974 | 2062 | | | 2077 | | | 2092 | | |
| 9 | SWIMMING POOL FURNITURE - PARTIAL REPLACE | 2027 | \$14,205 | \$3551 | 2032 | \$16,468 | \$3294 | 2037 | \$19,091 | \$3818 | 2042 | \$22,132 | \$4426 | 2047 | \$25,656.62 | \$5131 |
| 10 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 11 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 12 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 13 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 14 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 15 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 16 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 17 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 18 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 19 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 20 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 21 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 22 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 23 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 24 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 25 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 26 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 27 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 28 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 29 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 30 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 31 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 32 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 33 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 34 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 35 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 36 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 37 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 38 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 39 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 40 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |

| FULLY FUNDED BALANCE EXTERIOR/INTERIOR BUILDING MAINTENANCE ITEMS DESCRIPTION SCHEDULE II | | First Replacement | | | Second Replacement | | | Third Replacement | | | Fourth Replacement | | | Fifth Replacement | | |
|--|--|-------------------|--|--|--------------------|--|--|-------------------|--|--|--------------------|--|--|-------------------|--|--|
| | | | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced |
| | | Yr Replaced | | | Yr Replaced | | | Yr Replaced | | | Yr Replaced | | | Yr Replaced | | |
| 1 | BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | 2026 | \$199,449 | \$66483 | 2038 | \$284,367 | \$23697 | 2050 | \$405,439 | \$33787 | 2062 | | | 2074 | | |
| 2 | BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL) | 2027 | \$205,433 | \$51358 | 2039 | \$292,898 | \$24408 | 2051 | \$417,602 | \$34800 | 2063 | | | 2075 | | |
| 3 | BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAL) | 2028 | \$211,596 | \$42319 | 2040 | \$301,685 | \$25140 | 2052 | \$430,130 | \$35844 | 2064 | | | 2076 | | |
| 4 | EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | 2025 | \$103,000 | \$51500 | 2035 | \$138,423 | \$13842 | 2045 | \$186,029 | \$18603 | 2055 | | | 2065 | | |
| 5 | EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | 2026 | \$199,449 | \$66483 | 2036 | \$268,043 | \$26804 | 2046 | \$360,227 | \$36023 | 2056 | | | 2066 | | |
| 6 | EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | 2027 | \$205,433 | \$51358 | 2037 | \$276,084 | \$27608 | 2047 | \$371,034 | \$37103 | 2057 | | | 2067 | | |
| 7 | METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | 2024 | \$33,100 | \$33100 | 2030 | \$39,523 | \$6587 | 2036 | \$47,193 | \$7865 | 2042 | \$56,351 | \$9392 | 2048 | \$67,285 | \$11214 |
| 8 | TPO ROOF - REPLACE | 2041 | \$694,196 | \$38566 | 2061 | | | 2081 | | | 2101 | | | 2121 | | |
| 9 | TPO ROOF REPAIRS | 2027 | \$25,816 | \$6454 | 2033 | \$30,825 | \$5138 | 2039 | \$36,807 | \$6134 | 2045 | \$43,949 | \$7325 | 2051 | \$52,478 | \$8746 |
| 10 | METAL SEAM ROOF - REPAIR/SEAL/PAINT | 2031 | \$18,448 | \$2306 | 2051 | \$33,319 | \$1666 | 2071 | | | 2091 | | | 2111 | | |
| 11 | TOP FLOOR PATIO - REPLACE TILE/TPO ROOF | 2041 | \$133,054 | \$7392 | 2061 | | | 2081 | | | 2101 | | | 2121 | | |
| 12 | TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | 2027 | \$8,195 | \$2049 | 2033 | \$9,786 | \$1631 | 2039 | \$11,685 | \$1947 | 2045 | \$13,952 | \$2325 | 2051 | \$16,660 | \$2777 |
| 13 | TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | 2024 | \$5,750 | \$5750 | 2034 | \$7,728 | \$773 | 2044 | \$10,385 | \$1039 | 2054 | | | 2064 | | |
| 14 | EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | 2032 | \$15,835 | \$1759 | 2040 | \$20,059 | \$2507 | 2048 | \$25,410 | \$3176 | 2056 | | | 2064 | | |
| 15 | PARKING GARAGE - RECAULK/REGROUT/SEAL | 2025 | \$29,613 | \$14806 | 2033 | \$37,512 | \$4689 | 2041 | \$47,519 | \$5940 | 2049 | \$60,196 | \$7525 | 2057 | | |
| 16 | PARKING GARAGE LEVELS - PAINTING/COATING | 2026 | \$13,261 | \$4420 | 2031 | \$15,373 | \$3075 | 2036 | \$17,822 | \$3564 | 2041 | \$20,661 | \$4132 | 2046 | \$23,951 | \$4790 |
| 17 | CLUBROOM RENOVATE - RENOVATE | 2030 | \$75,524 | \$10789 | 2042 | \$107,679 | \$8973 | 2054 | | | 2066 | | | 2078 | | |
| 18 | CLUBROOM BATHROOMS - REMODEL | 2032 | \$23,309 | \$2590 | 2040 | \$29,527 | \$3691 | 2048 | \$37,403 | \$4675 | 2056 | | | 2064 | | |
| 19 | CLUB ROOM PANTRY/KITCHEN APPLIANCES - REPLACE | 2033 | \$7,502 | \$750 | 2048 | \$11,689 | \$779 | 2063 | | | 2078 | | | 2093 | | |
| 20 | CLUB ROOM PANTRY/KITCHEN CABINETS - REPLACE | 2024 | \$34,500 | \$34500 | 2049 | \$72,235 | \$2889 | 2074 | | | 2099 | | | 2124 | | |
| 21 | COMMON AREA DOORS & WINDOWS - REPAIR/PARTIAL REPLACE | 2034 | \$18,546 | \$1686 | 2044 | \$24,924 | \$2492 | 2054 | | | 2064 | | | 2074 | | |
| 22 | CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | 2029 | \$118,656 | \$19776 | 2039 | \$159,464 | \$15946 | 2049 | \$214,307 | \$21431 | 2059 | | | 2069 | | |
| 23 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | 2026 | \$36,601 | \$12200 | 2036 | \$49,189 | \$4919 | 2046 | \$66,106 | \$6611 | 2056 | | | 2066 | | |
| 24 | CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | 2027 | \$37,699 | \$9425 | 2037 | \$50,664 | \$5066 | 2047 | \$68,089 | \$6809 | 2057 | | | 2067 | | |
| 25 | CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | 2025 | \$41,458 | \$20729 | 2032 | \$50,987 | \$7284 | 2039 | \$62,708 | \$8958 | 2046 | \$77,123 | \$11018 | 2053 | \$94,852 | \$13550 |
| 26 | LOBBY - REMODEL | 2024 | \$150,000 | \$150000 | 2044 | \$270,917 | \$13546 | 2064 | | | 2084 | | | 2104 | | |
| 27 | LOBBY TILE FINISHES - REPAIR/PARTIAL REPLACE | 2039 | \$8,958 | \$560 | 2054 | | | 2069 | | | 2084 | | | 2099 | | |
| 28 | FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | 2024 | \$5,000 | \$5000 | 2029 | \$5,796 | \$1159 | 2034 | \$6,720 | \$1344 | 2039 | \$7,790 | \$1558 | 2044 | \$9,031 | \$1806 |
| 29 | FITNESS ROOM FLOOR(CARPET) - REPLACE FLOOR | 2034 | \$7,728 | \$703 | 2044 | \$10,385 | \$1039 | 2054 | | | 2064 | | | 2074 | | |
| 30 | LOBBY DESK AND RECEPTION - REMODEL | 2039 | \$21,500 | \$1344 | 2054 | | | 2069 | | | 2084 | | | 2099 | | |
| 31 | LOBBY/GALLERY FF&E - REPLACE | 2032 | \$21,852 | \$2428 | 2040 | \$27,681 | \$3460 | 2048 | \$35,066 | \$4383 | 2056 | | | 2064 | | |
| 32 | MAILBOXES - REPLACE | 2034 | \$16,799 | \$1527 | 2064 | | | 2094 | | | 2124 | | | 2154 | | |
| 33 | MAILROOM (LOBBY) - REMODEL | 2031 | \$1,845 | \$231 | 2041 | \$2,479 | \$248 | 2051 | \$3,332 | \$333 | 2061 | | | 2071 | | |
| 34 | OFFICE EQUIPMENT - REPLACE | 2029 | \$6,666 | \$1111 | 2034 | \$7,728 | \$1546 | 2039 | \$8,958 | \$1792 | 2044 | \$10,385 | \$2077 | 2049 | \$12,039 | \$2408 |
| 35 | INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | 2026 | \$13,261 | \$4420 | 2038 | \$18,907 | \$1576 | 2050 | \$26,957 | \$2246 | 2062 | | | 2074 | | |
| 36 | UNIT SIGNAGE AND HARDWARE - REPLACE | 2025 | \$50,985 | \$25493 | 2055 | | | 2085 | | | 2115 | | | 2145 | | |
| 37 | OUTDOOR LOGO CHANGE | 2025 | \$3,605 | \$1803 | 2045 | \$6,511 | \$326 | 2065 | | | 2085 | | | 2105 | | |
| 38 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 39 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 40 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |

| | FULLY FUNDED BALANCE ELECTRICAL/MECHANICAL/PLUMBING MAINTENANCE ITEMS DESCRIPTION SCHEDULE III | First Replacement | | | Second Replacement | | | Third Replacement | | | Fourth Replacement | | | Fifth Replacement | | |
|----|---|-------------------|--|--|--------------------|--|--|-------------------|--|--|--------------------|--|--|-------------------|--|--|
| | | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced | Yr Replaced | Adjusted Cost if Inflation is 3.00% | Annual Funding Thru Yr Replaced |
| 1 | ELECTRICAL PANELS - REPAIR | 2025 | \$12,875 | \$6438 | 2027 | \$13,659 | \$6830 | 2029 | \$14,491 | \$7245 | 2031 | \$15,373 | \$7687 | 2033 | \$16,310 | \$8155 |
| 2 | ELECTRICAL PANELBOARDS AND SWITCHES - REPLACE | 2029 | \$333,291 | \$55549 | 2054 | | | 2079 | | | 2104 | | | 2129 | | |
| 3 | COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | 2025 | \$17,768 | \$8884 | 2035 | \$23,878 | \$2388 | 2045 | \$32,090 | \$3209 | 2055 | | | 2065 | | |
| 4 | COMMON INTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | 2034 | \$40,317 | \$3665 | 2044 | \$54,183 | \$5418 | 2054 | | | 2064 | | | 2074 | | |
| 5 | SECURITY SYSTEM/CAMERAS - UPGRADE/REPLACE | 2034 | \$40,317 | \$3665 | 2044 | \$54,183 | \$5418 | 2054 | | | 2064 | | | 2074 | | |
| 6 | FIRE ALARM SYSTEM/PANELS - UPGRADE/REPLACE | 2024 | \$4,100 | \$4100 | 2039 | \$6,388 | \$426 | 2054 | | | 2069 | | | 2084 | | |
| 7 | FIRE SPRINKLER REPAIRS | 2034 | \$9,139 | \$831 | 2044 | \$12,282 | \$1228 | 2054 | | | 2064 | | | 2074 | | |
| 8 | JOCKEY PUMP - REPLACE | 2027 | \$2,513 | \$628 | 2035 | \$3,184 | \$398 | 2043 | \$4,033 | \$504 | 2051 | \$5,109 | \$639 | 2059 | | |
| 9 | FIRE PUMP - REPAIR | 2036 | \$106,932 | \$8226 | 2058 | | | 2080 | | | 2102 | | | 2124 | | |
| 10 | PLUMBING FIXTURES - REPAIR/PARTIAL REPLACE | 2025 | \$12,875 | \$6438 | 2040 | \$20,059 | \$1337 | 2055 | | | 2070 | | | 2085 | | |
| 11 | ROOFTOP HVAC SYSTEM #1 (15 TON) - REPLACE | 2033 | \$54,296 | \$5430 | 2048 | \$84,591 | \$5639 | 2063 | | | 2078 | | | 2093 | | |
| 12 | ROOFTOP HVAC SYSTEM #2 (15 TON) - REPLACE | 2027 | \$45,472 | \$11368 | 2042 | \$70,844 | \$4723 | 2057 | | | 2072 | | | 2087 | | |
| 13 | SPLIT SYSTEM HVAC (CLUB ROOM) - REPLACE | 2039 | \$8,958 | \$560 | 2054 | | | 2069 | | | 2084 | | | 2099 | | |
| 14 | SPLIT SYSTEM HVAC (FITNESS CENTER) - REPLACE | 2039 | \$8,958 | \$560 | 2054 | | | 2069 | | | 2084 | | | 2099 | | |
| 15 | SPLIT SYSTEM HVAC (LOBBY) - REPLACE | 2039 | \$8,958 | \$560 | 2054 | | | 2069 | | | 2084 | | | 2099 | | |
| 16 | STAIR PRESURRIZATION FANS - REPLACE MOTORS | 2024 | \$11,500 | \$11500 | 2039 | \$17,917 | \$1194 | 2054 | | | 2069 | | | 2084 | | |
| 17 | CLUBROOM WATER HEATER (30 GALLON) - REPLACE | 2024 | \$3,000 | \$3000 | 2036 | \$4,277 | \$356 | 2048 | \$6,098 | \$508 | 2060 | | | 2072 | | |
| 18 | WATER PIPING - REPAIR/PARTIAL REPLACE | 2025 | \$12,875 | \$6438 | 2035 | \$17,303 | \$1730 | 2045 | \$23,254 | \$2325 | 2055 | | | 2065 | | |
| 19 | UNDERGROUND SEWER LINES - REPAIR/PARTIAL REPLACE | 2026 | \$13,420 | \$4473 | 2041 | \$20,909 | \$1394 | 2056 | | | 2071 | | | 2086 | | |
| 20 | WATER PIPES (UNDERGROUND) - REPAIR/PARTIAL REPLACE AS NEEDED | 2025 | \$7,210 | \$3605 | 2045 | \$13,022 | \$651 | 2065 | | | 2085 | | | 2105 | | |
| 21 | POOL PUMP - REPLACE | 2026 | \$1,485 | \$495 | 2031 | \$1,722 | \$344 | 2036 | \$1,996 | \$399 | 2041 | \$2,314 | \$463 | 2046 | \$2,683 | \$537 |
| 22 | SAND FILTERS - REPLACE | 2026 | \$2,440 | \$813 | 2031 | \$2,829 | \$566 | 2036 | \$3,279 | \$656 | 2041 | \$3,802 | \$760 | 2046 | \$4,407 | \$881 |
| 23 | POOL LIGHTING - REPLACE | 2026 | \$6,365 | \$2122 | 2036 | \$8,555 | \$855 | 2046 | \$11,497 | \$1150 | 2056 | | | 2066 | | |
| 24 | ELEVATOR CABS - REMODEL | 2038 | \$39,327 | \$2622 | 2050 | \$56,071 | \$4673 | 2062 | | | 2074 | | | 2086 | | |
| 25 | ELEVATORS - UPGRADE/MODERNIZE | 2026 | \$289,626 | \$96542 | 2051 | \$606,412 | \$24256 | 2076 | | | 2101 | | | 2126 | | |
| 26 | EMERGENCY GENERATOR - REBUILD MOTOR/REPAIR | 2025 | \$28,840 | \$14420 | 2045 | \$52,088 | \$2604 | 2065 | | | 2085 | | | 2105 | | |
| 27 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | 2029 | \$3,478 | \$580 | 2034 | \$4,032 | \$806 | 2039 | \$4,674 | \$935 | 2044 | \$5,418 | \$1084 | 2049 | \$6,281 | \$1256 |
| 28 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 2 | 2033 | \$41,753 | \$4175 | 2053 | \$75,410 | \$3771 | 2073 | | | 2093 | | | 2113 | | |
| 29 | ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 1 | 2044 | \$28,898 | \$1376 | 2064 | | | 2084 | | | 2104 | | | 2124 | | |
| 30 | TRASH COMPACTOR ROOM - PRESSURIZATION FAN | 2027 | \$7,037 | \$1759 | 2039 | \$10,033 | \$836 | 2051 | \$14,305 | \$1192 | 2063 | | | 2075 | | |
| 31 | TRASH COMPACTOR - REPLACE MOTOR | 2025 | \$2,961 | \$1481 | 2033 | \$3,751 | \$469 | 2041 | \$4,752 | \$594 | 2049 | \$6,020 | \$752 | 2057 | | |
| 32 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 33 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 34 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 35 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 36 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 37 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 38 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 39 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |
| 40 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | | 2024 | 0 | |

PARC VUE MIDTOWN
COST AND FUNDING RECAP
RECOMMENDED FUNDING

| | 2024 1 | 2025 2 | 2026 3 | 2027 4 | 2028 5 | 2029 6 | 2030 7 | 2031 8 | 2032 9 | 2033 10 | 2034 11 | 2035 12 | 2036 13 | 2037 14 | 2038 15 |
|--------------------------------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-------------|-------------|-------------|-------------|-------------|-------------|
| Beginning Reserve Fund Balance | \$547,472 | \$512,711 | \$401,454 | \$108,425 | \$6,322 | \$156,952 | \$47,055 | \$309,678 | \$577,209 | \$833,250 | \$1,035,898 | \$1,285,188 | \$1,526,740 | \$1,474,247 | \$1,501,789 |
| Recommended Annual Funding | \$212,000 | \$216,000 | \$465,000 | \$495,000 | \$355,000 | \$362,100 | \$369,342 | \$376,729 | \$384,263 | \$391,949 | \$399,788 | \$407,783 | \$415,939 | \$424,258 | \$432,743 |
| Annual Interest | \$15,189 | \$14,574 | \$17,329 | \$12,068 | \$7,226 | \$10,381 | \$8,328 | \$13,728 | \$19,229 | \$24,504 | \$28,714 | \$33,859 | \$38,854 | \$37,970 | \$38,691 |
| Capital Expenditures | \$261,950 | \$341,831 | \$775,359 | \$609,172 | \$211,596 | \$482,379 | \$115,047 | \$122,926 | \$147,452 | \$213,805 | \$179,211 | \$200,091 | \$507,286 | \$434,686 | \$352,812 |
| Ending Reserve Balance | \$512,711 | \$401,454 | \$108,425 | \$6,322 | \$156,952 | \$47,055 | \$309,678 | \$577,209 | \$833,250 | \$1,035,898 | \$1,285,188 | \$1,526,740 | \$1,474,247 | \$1,501,789 | \$1,620,411 |

Inflation Rate: 3.00%
Interest Rate: 2.00%

TOTAL UNITS: 135

| | | | | | | | | | | | | | | | |
|-------------------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| ANNUAL CONTRIBUTION PER UNIT | \$1,570 | \$1,600 | \$3,444 | \$3,667 | \$2,630 | \$2,682 | \$2,736 | \$2,791 | \$2,846 | \$2,903 | \$2,961 | \$3,021 | \$3,081 | \$3,143 | \$3,206 |
| MONTHLY CONTRIBUTION PER UNIT | \$130.86 | \$133.33 | \$287.04 | \$305.56 | \$219.14 | \$223.52 | \$227.99 | \$232.55 | \$237.20 | \$241.94 | \$246.78 | \$251.72 | \$256.75 | \$261.89 | \$267.13 |

PARC VUE MIDTOWN
 COST AND FUNDING RECAP
 RECOMMENDED FUNDING

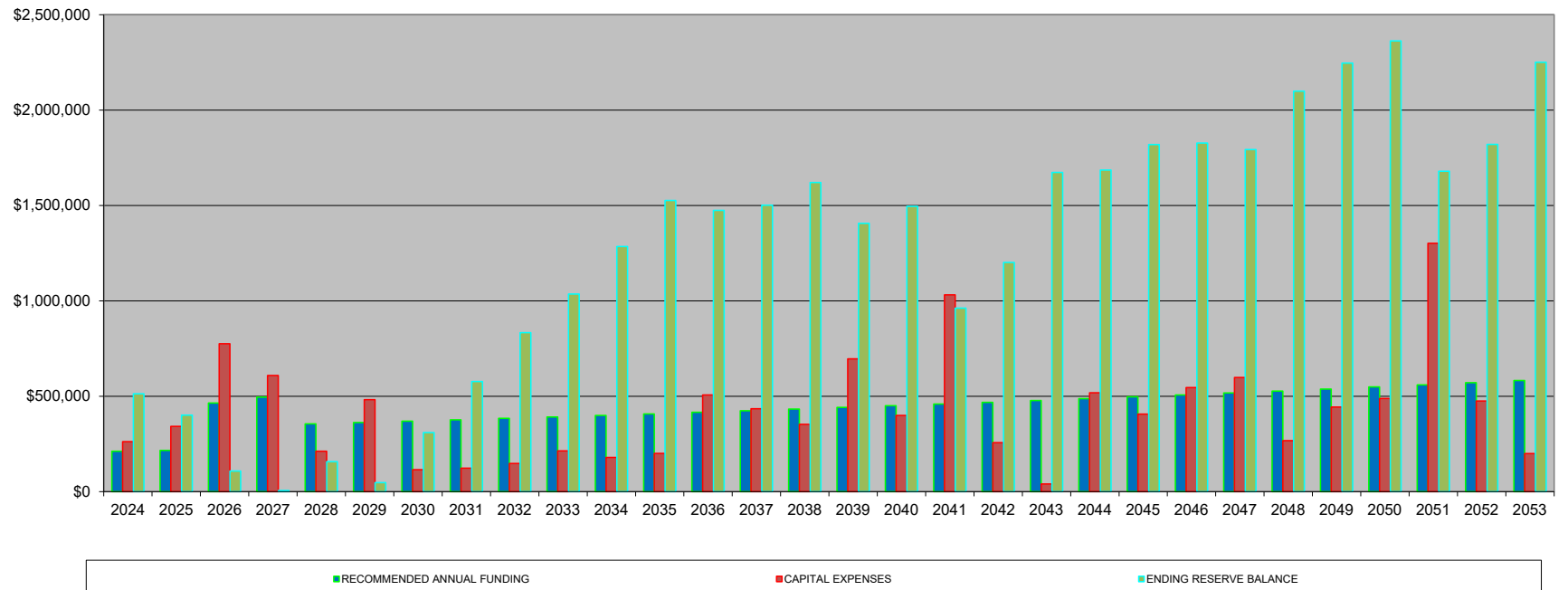
| | 2039 16 | 2040 17 | 2041 18 | 2042 19 | 2043 20 | 2044 21 | 2045 22 | 2046 23 | 2047 24 | 2048 25 | 2049 26 | 2050 27 | 2051 28 | 2052 29 | 2053 30 |
|--------------------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| Beginning Reserve Fund Balance | \$1,620,411 | \$1,406,915 | \$1,495,274 | \$961,845 | \$1,201,860 | \$1,673,257 | \$1,685,724 | \$1,819,759 | \$1,827,329 | \$1,793,390 | \$2,099,776 | \$2,246,758 | \$2,363,024 | \$1,679,460 | \$1,820,148 |
| Recommended Annual Funding | \$441,398 | \$450,226 | \$459,230 | \$468,415 | \$477,783 | \$487,339 | \$497,086 | \$507,027 | \$517,168 | \$527,511 | \$538,062 | \$548,823 | \$559,799 | \$570,995 | \$582,415 |
| Annual Interest | \$41,236 | \$37,143 | \$39,090 | \$28,605 | \$33,593 | \$43,212 | \$43,656 | \$46,536 | \$46,890 | \$46,418 | \$52,757 | \$55,912 | \$58,456 | \$45,009 | \$48,051 |
| Capital Expenditures | \$696,129 | \$399,010 | \$1,031,749 | \$257,005 | \$39,980 | \$518,083 | \$406,707 | \$545,994 | \$597,997 | \$267,543 | \$443,837 | \$488,468 | \$1,301,820 | \$475,317 | \$199,719 |
| Ending Reserve Balance | \$1,406,915 | \$1,495,274 | \$961,845 | \$1,201,860 | \$1,673,257 | \$1,685,724 | \$1,819,759 | \$1,827,329 | \$1,793,390 | \$2,099,776 | \$2,246,758 | \$2,363,024 | \$1,679,460 | \$1,820,148 | \$2,250,895 |

Inflation Rate: 3.00%
 Interest Rate: 2.00%

TOTAL UNITS: 135

| | | | | | | | | | | | | | | | |
|-------------------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| ANNUAL CONTRIBUTION PER UNIT | \$3,270 | \$3,335 | \$3,402 | \$3,470 | \$3,539 | \$3,610 | \$3,682 | \$3,756 | \$3,831 | \$3,907 | \$3,986 | \$4,065 | \$4,147 | \$4,230 | \$4,314 |
| MONTHLY CONTRIBUTION PER UNIT | \$272.47 | \$277.92 | \$283.48 | \$289.15 | \$294.93 | \$300.83 | \$306.84 | \$312.98 | \$319.24 | \$325.62 | \$332.14 | \$338.78 | \$345.56 | \$352.47 | \$359.52 |

PROJECTED CASH FLOW - RECOMMENDED FUNDING



PARC VUE MIDTOWN
COST AND FUNDING RECAP
EXISTING FUNDING

| | 2024 | 2025 | 2026 | 2027 | 2028 | 2029 | 2030 | 2031 | 2032 | 2033 | 2034 | 2035 | 2036 | 2037 | 2038 |
|--------------------------------|-----------|-----------|------------|------------|------------|------------|------------|------------|------------|------------|------------|------------|------------|--------------|--------------|
| | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| Beginning Reserve Fund Balance | \$547,472 | \$512,711 | \$397,374 | -\$153,797 | -\$549,805 | -\$556,156 | -\$833,418 | -\$748,893 | -\$670,557 | -\$615,180 | -\$625,048 | -\$600,521 | -\$596,382 | -\$899,355 | -\$1,135,788 |
| Existing Annual Funding | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 |
| Annual Interest | \$15,189 | \$14,494 | \$12,187 | \$1,164 | -\$6,756 | -\$6,883 | -\$12,428 | -\$10,738 | -\$9,171 | -\$8,064 | -\$8,261 | -\$7,770 | -\$7,688 | -\$13,747 | -\$18,476 |
| Capital Expenditures | \$261,950 | \$341,831 | \$775,359 | \$609,172 | \$211,596 | \$482,379 | \$115,047 | \$122,926 | \$147,452 | \$213,805 | \$179,211 | \$200,091 | \$507,286 | \$434,686 | \$352,812 |
| Ending Reserve Balance | \$512,711 | \$397,374 | -\$153,797 | -\$549,805 | -\$556,156 | -\$833,418 | -\$748,893 | -\$670,557 | -\$615,180 | -\$625,048 | -\$600,521 | -\$596,382 | -\$899,355 | -\$1,135,788 | -\$1,295,076 |

Inflation Rate: 3.00%
Interest Rate: 2.00%

TOTAL UNITS: 135

| | | | | | | | | | | | | | | | |
|---|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| PROJECTED ANNUAL CONTRIBUTION PER UNIT | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 |
| PROJECTED MONTHLY CONTRIBUTION PER UNIT | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 |

PARC VUE MIDTOWN
 COST AND FUNDING RECAP
 EXISTING FUNDING

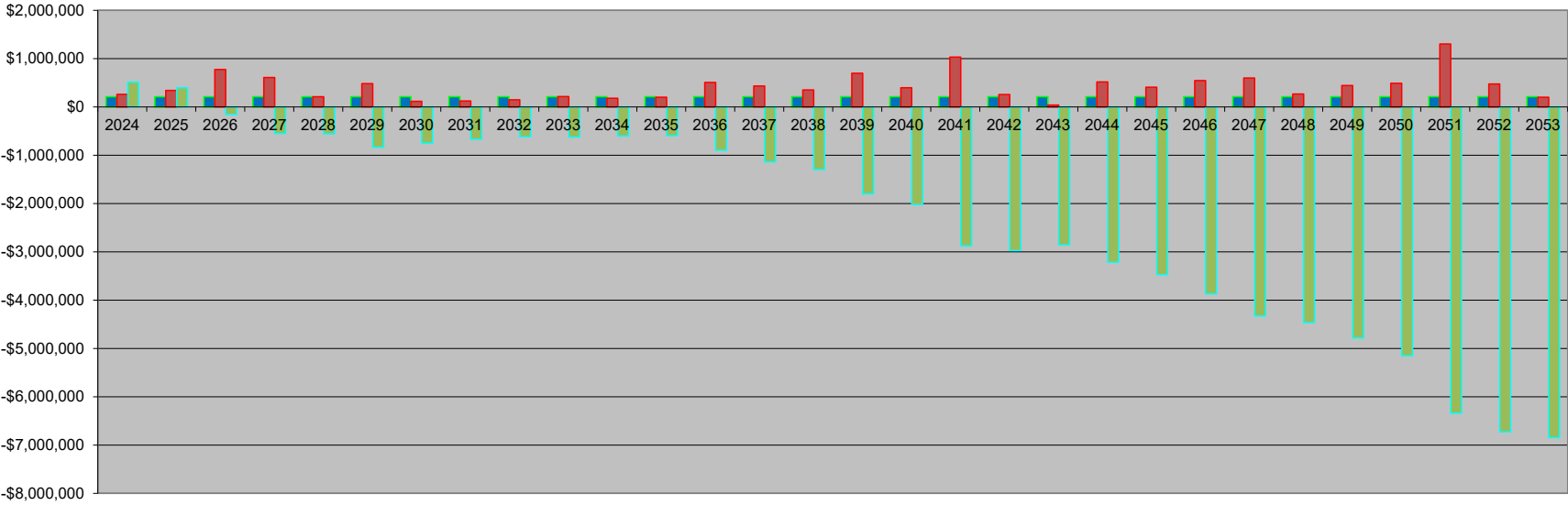
| | 2039 | 2040 | 2041 | 2042 | 2043 | 2044 | 2045 | 2046 | 2047 | 2048 | 2049 | 2050 | 2051 | 2052 | 2053 |
|--------------------------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|--------------|
| | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 |
| Beginning Reserve Fund Balance | -\$1,295,076 | -\$1,800,867 | -\$2,019,654 | -\$2,875,556 | -\$2,973,832 | -\$2,857,049 | -\$3,216,033 | -\$3,470,821 | -\$3,869,991 | -\$4,329,147 | -\$4,467,033 | -\$4,783,971 | -\$5,151,878 | -\$6,340,495 | -\$6,726,382 |
| Existing Annual Funding | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 | \$212,000 |
| Annual Interest | -\$21,662 | -\$31,777 | -\$36,153 | -\$53,271 | -\$55,237 | -\$52,901 | -\$60,081 | -\$65,176 | -\$73,160 | -\$82,343 | -\$85,101 | -\$91,439 | -\$98,798 | -\$122,570 | -\$130,288 |
| Capital Expenditures | \$696,129 | \$399,010 | \$1,031,749 | \$257,005 | \$39,980 | \$518,083 | \$406,707 | \$545,994 | \$597,997 | \$267,543 | \$443,837 | \$488,468 | \$1,301,820 | \$475,317 | \$199,719 |
| Ending Reserve Balance | -\$1,800,867 | -\$2,019,654 | -\$2,875,556 | -\$2,973,832 | -\$2,857,049 | -\$3,216,033 | -\$3,470,821 | -\$3,869,991 | -\$4,329,147 | -\$4,467,033 | -\$4,783,971 | -\$5,151,878 | -\$6,340,495 | -\$6,726,382 | -\$6,844,389 |

Inflation Rate: 3.00%
 Interest Rate: 2.00%

TOTAL UNITS: 135

| | | | | | | | | | | | | | | | |
|---|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| PROJECTED ANNUAL CONTRIBUTION PER UNIT | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 | \$1,570 |
| PROJECTED MONTHLY CONTRIBUTION PER UNIT | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 | \$130.86 |

PROJECTED CASH FLOW - EXISTING FUNDING



RECOMMENDED ANNUAL FUNDING

CAPITAL EXPENSES

ENDING RESERVE BALANCE

PARC VUE MIDTOWN**ITEMIZED PROJECTED COST BY YEAR**

(Excluding Capital Improvements)

| | |
|--|------------------|
| CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | \$3,500 |
| ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | \$11,500 |
| METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | \$33,100 |
| TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | \$5,750 |
| CLUB ROOM PANTRY/KITCHEN CABINETS - REPLACE | \$34,500 |
| LOBBY - REMODEL | \$150,000 |
| FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | \$5,000 |
| FIRE ALARM SYSTEM/PANELS - UPGRADE/REPLACE | \$4,100 |
| STAIR PRESURIZATION FANS - REPLACE MOTORS | \$11,500 |
| CLUBROOM WATER HEATER (30 GALLON) - REPLACE | \$3,000 |
| Total 2024 Expenditures | \$261,950 |
| DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | \$9,528 |
| SWIMMING POOL DECK - REPAIR/SEAL CRACKS | \$8,240 |
| EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | \$103,000 |
| PARKING GARAGE - RECAULK/REGROUT/SEAL | \$29,613 |
| CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | \$41,458 |
| UNIT SIGNAGE AND HARDWARE - REPLACE | \$50,985 |
| OUTDOOR LOGO CHANGE | \$3,605 |
| ELECTRICAL PANELS - REPAIR | \$12,875 |
| COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | \$17,768 |
| PLUMBING FIXTURES - REPAIR/PARTIAL REPLACE | \$12,875 |
| WATER PIPING - REPAIR/PARTIAL REPLACE | \$12,875 |
| WATER PIPES (UNDERGROUND) - REPAIR/PARTIAL REPLACE AS NEEDED | \$7,210 |
| EMERGENCY GENERATOR - REBUILD MOTOR/REPAIR | \$28,840 |
| TRASH COMPACTOR - REPLACE MOTOR | \$2,961 |
| Total 2025 Expenditures | \$341,831 |
| BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | \$199,449 |
| EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | \$199,449 |
| PARKING GARAGE LEVELS - PAINTING/COATING | \$13,261 |
| CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | \$36,601 |
| INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | \$13,261 |
| UNDERGROUND SEWER LINES - REPAIR/PARTIAL REPLACE | \$13,420 |
| POOL PUMP - REPLACE | \$1,485 |
| SAND FILTERS - REPLACE | \$2,440 |
| POOL LIGHTING - REPLACE | \$6,365 |
| ELEVATORS - UPGRADE/MODERNIZE | \$289,626 |
| Total 2026 Expenditures | \$775,359 |
| LANDSCAPING - UPGRADE | \$43,709 |
| SWIMMING POOL FURNITURE - PARTIAL REPLACE | \$14,205 |
| BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL) | \$205,433 |
| EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | \$205,433 |
| TPO ROOF REPAIRS | \$25,816 |
| TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | \$8,195 |
| CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | \$37,699 |
| ELECTRICAL PANELS - REPAIR | \$13,659 |
| JOCKEY PUMP - REPLACE | \$2,513 |
| ROOFTOP HVAC SYSTEM #2 (15 TON) - REPLACE | \$45,472 |
| TRASH COMPACTOR ROOM - PRESSURIZATION FAN | \$7,037 |
| Total 2027 Expenditures | \$609,172 |
| BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAL) | \$211,596 |

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| Total 2028 Expenditures | \$211,596 |
| CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | \$118,656 |
| FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | \$5,796 |
| OFFICE EQUIPMENT - REPLACE | \$6,666 |
| ELECTRICAL PANELS - REPAIR | \$14,491 |
| ELECTRICAL PANELBOARDS AND SWITCHES - REPLACE | \$333,291 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | \$3,478 |
| Total 2029 Expenditures | \$482,379 |
| METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | \$39,523 |
| CLUBROOM RENOVATE - RENOVATE | \$75,524 |
| Total 2030 Expenditures | \$115,047 |
| METAL RAILINGS - CLEAN/REPAIR/PAINT | \$8,302 |
| SWIMMING POOL SURFACE - RESURFACE/REP. TILES | \$49,195 |
| SWIMMING POOL DECK - REPAIR/SEAL CRACKS | \$9,839 |
| METAL SEAM ROOF - REPAIR/SEAL/PAINT | \$18,448 |
| PARKING GARAGE LEVELS - PAINTING/COATING | \$15,373 |
| MAILROOM (LOBBY) - REMODEL | \$1,845 |
| ELECTRICAL PANELS - REPAIR | \$15,373 |
| POOL PUMP - REPLACE | \$1,722 |
| SAND FILTERS - REPLACE | \$2,829 |
| Total 2031 Expenditures | \$122,926 |
| SWIMMING POOL DECK - PARTIAL REPLACEMENT | \$19,002 |
| SWIMMING POOL FURNITURE - PARTIAL REPLACE | \$16,468 |
| EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | \$15,835 |
| CLUBROOM BATHROOMS - REMODEL | \$23,309 |
| CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | \$50,987 |
| LOBBY/GALLERY FF&E - REPLACE | \$21,852 |
| Total 2032 Expenditures | \$147,452 |
| DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | \$12,069 |
| TPO ROOF REPAIRS | \$30,825 |
| TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | \$9,786 |
| PARKING GARAGE - RECAULK/REGROUT/SEAL | \$37,512 |
| CLUB ROOM PANTRY/KITCHEN APPLIANCES - REPLACE | \$7,502 |
| ELECTRICAL PANELS - REPAIR | \$16,310 |
| ROOFTOP HVAC SYSTEM #1 (15 TON) - REPLACE | \$54,296 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 2 | \$41,753 |
| TRASH COMPACTOR - REPLACE MOTOR | \$3,751 |
| Total 2033 Expenditures | \$213,805 |
| CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | \$4,704 |
| ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | \$15,455 |
| TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | \$7,728 |
| COMMON AREA DOORS & WINDOWS - REPAIR/PARTIAL REPLACE | \$18,546 |
| FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | \$6,720 |
| FITNESS ROOM FLOOR(CARPET) - REPLACE FLOOR | \$7,728 |
| MAILBOXES - REPLACE | \$16,799 |
| OFFICE EQUIPMENT - REPLACE | \$7,728 |
| COMMON INTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | \$40,317 |
| SECURITY SYSTEM/CAMERAS - UPGRADE/REPLACE | \$40,317 |
| FIRE SPRINKLER REPAIRS | \$9,139 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | \$4,032 |
| Total 2034 Expenditures | \$179,211 |
| EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | \$138,423 |
| ELECTRICAL PANELS - REPAIR | \$17,303 |

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|--|------------------|
| COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | \$23,878 |
| JOCKEY PUMP - REPLACE | \$3,184 |
| WATER PIPING - REPAIR/PARTIAL REPLACE | \$17,303 |
| Total 2035 Expenditures | \$200,091 |
| EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | \$268,043 |
| METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | \$47,193 |
| PARKING GARAGE LEVELS - PAINTING/COATING | \$17,822 |
| CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | \$49,189 |
| FIRE PUMP - REPAIR | \$106,932 |
| CLUBROOM WATER HEATER (30 GALLON) - REPLACE | \$4,277 |
| POOL PUMP - REPLACE | \$1,996 |
| SAND FILTERS - REPLACE | \$3,279 |
| POOL LIGHTING - REPLACE | \$8,555 |
| Total 2036 Expenditures | \$507,286 |
| LANDSCAPING - UPGRADE | \$58,741 |
| SWIMMING POOL DECK - REPAIR/SEAL CRACKS | \$11,748 |
| SWIMMING POOL FURNITURE - PARTIAL REPLACE | \$19,091 |
| EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | \$276,084 |
| CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | \$50,664 |
| ELECTRICAL PANELS - REPAIR | \$18,357 |
| Total 2037 Expenditures | \$434,686 |
| METAL RAILINGS - CLEAN/REPAIR/PAINT | \$10,210 |
| BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | \$284,367 |
| INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | \$18,907 |
| ELEVATOR CABS - REMODEL | \$39,327 |
| Total 2038 Expenditures | \$352,812 |
| BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL) | \$292,898 |
| TPO ROOF REPAIRS | \$36,807 |
| TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | \$11,685 |
| CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | \$159,464 |
| CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | \$62,708 |
| LOBBY TILE FINISHES - REPAIR/PARTIAL REPLACE | \$8,958 |
| FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | \$7,790 |
| LOBBY DESK AND RECEPTION - REMODEL | \$21,500 |
| OFFICE EQUIPMENT - REPLACE | \$8,958 |
| ELECTRICAL PANELS - REPAIR | \$19,475 |
| FIRE ALARM SYSTEM/PANELS - UPGRADE/REPLACE | \$6,388 |
| SPLIT SYSTEM HVAC (CLUB ROOM) - REPLACE | \$8,958 |
| SPLIT SYSTEM HVAC (FITNESS CENTER) - REPLACE | \$8,958 |
| SPLIT SYSTEM HVAC (LOBBY) - REPLACE | \$8,958 |
| STAIR PRESURRIZATION FANS - REPLACE MOTORS | \$17,917 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | \$4,674 |
| TRASH COMPACTOR ROOM - PRESSURIZATION FAN | \$10,033 |
| Total 2039 Expenditures | \$696,129 |
| BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAL) | \$301,685 |
| EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | \$20,059 |
| CLUBROOM BATHROOMS - REMODEL | \$29,527 |
| LOBBY/GALLERY FF&E - REPLACE | \$27,681 |
| PLUMBING FIXTURES - REPAIR/PARTIAL REPLACE | \$20,059 |
| Total 2040 Expenditures | \$399,010 |
| DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | \$15,289 |
| SWIMMING POOL SURFACE - RESURFACE/REP. TILES | \$66,114 |
| TPO ROOF - REPLACE | \$694,196 |

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|--|--------------------|
| TOP FLOOR PATIO - REPLACE TILE/TPO ROOF | \$133,054 |
| PARKING GARAGE - RECAULK/REGROUT/SEAL | \$47,519 |
| PARKING GARAGE LEVELS - PAINTING/COATING | \$20,661 |
| MAILROOM (LOBBY) - REMODEL | \$2,479 |
| ELECTRICAL PANELS - REPAIR | \$20,661 |
| UNDERGROUND SEWER LINES - REPAIR/PARTIAL REPLACE | \$20,909 |
| POOL PUMP - REPLACE | \$2,314 |
| SAND FILTERS - REPLACE | \$3,802 |
| TRASH COMPACTOR - REPLACE MOTOR | \$4,752 |
| Total 2041 Expenditures | \$1,031,749 |
| SWIMMING POOL FURNITURE - PARTIAL REPLACE | \$22,132 |
| METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | \$56,351 |
| CLUBROOM RENOVATE - RENOVATE | \$107,679 |
| ROOFTOP HVAC SYSTEM #2 (15 TON) - REPLACE | \$70,844 |
| Total 2042 Expenditures | \$257,005 |
| SWIMMING POOL DECK - REPAIR/SEAL CRACKS | \$14,028 |
| ELECTRICAL PANELS - REPAIR | \$21,919 |
| JOCKEY PUMP - REPLACE | \$4,033 |
| Total 2043 Expenditures | \$39,980 |
| CHAIN LINK FENCING - REPAIR/PARTIAL REPLACE | \$6,321 |
| ENTRY TILES/STAIRS - REPAIR/REPL. CRACKED/SETTLED SECTIONS | \$20,770 |
| TOP FLOOR PATIO FURNITURE - PARTIAL REPLACE | \$10,385 |
| COMMON AREA DOORS & WINDOWS - REPAIR/PARTIAL REPLACE | \$24,924 |
| LOBBY - REMODEL | \$270,917 |
| FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | \$9,031 |
| FITNESS ROOM FLOOR(CARPET) - REPLACE FLOOR | \$10,385 |
| OFFICE EQUIPMENT - REPLACE | \$10,385 |
| COMMON INTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | \$54,183 |
| SECURITY SYSTEM/CAMERAS - UPGRADE/REPLACE | \$54,183 |
| FIRE SPRINKLER REPAIRS | \$12,282 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | \$5,418 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 1 | \$28,898 |
| Total 2044 Expenditures | \$518,083 |
| METAL RAILINGS - CLEAN/REPAIR/PAINT | \$12,557 |
| EXTERIOR SURFACES (Phase I) - CLEAN/REPAIR/SEAL/PAINT | \$186,029 |
| TPO ROOF REPAIRS | \$43,949 |
| TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | \$13,952 |
| OUTDOOR LOGO CHANGE | \$6,511 |
| ELECTRICAL PANELS - REPAIR | \$23,254 |
| COMMON EXTERIOR LIGHTING - REPAIR/PARTIAL REPLACE | \$32,090 |
| WATER PIPING - REPAIR/PARTIAL REPLACE | \$23,254 |
| WATER PIPES (UNDERGROUND) - REPAIR/PARTIAL REPLACE AS NEEDED | \$13,022 |
| EMERGENCY GENERATOR - REBUILD MOTOR/REPAIR | \$52,088 |
| Total 2045 Expenditures | \$406,707 |
| EXTERIOR SURFACES (Phase II) - CLEAN/REPAIR/SEAL/PAINT | \$360,227 |
| PARKING GARAGE LEVELS - PAINTING/COATING | \$23,951 |
| CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | \$66,106 |
| CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | \$77,123 |
| POOL PUMP - REPLACE | \$2,683 |
| SAND FILTERS - REPLACE | \$4,407 |
| POOL LIGHTING - REPLACE | \$11,497 |
| Total 2046 Expenditures | \$545,994 |
| LANDSCAPING - UPGRADE | \$78,943 |

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|---|---------------------|
| SWIMMING POOL DECK - PARTIAL REPLACEMENT | \$29,604 |
| SWIMMING POOL FURNITURE - PARTIAL REPLACE | \$25,657 |
| EXTERIOR SURFACES (Phase III) - CLEAN/REPAIR/SEAL/PAINT | \$371,034 |
| CORRIDOR CARPET (FLOORS 2-14) - REPLACE 50% | \$68,089 |
| ELECTRICAL PANELS - REPAIR | \$24,670 |
| Total 2047 Expenditures | \$597,997 |
| METAL SUPPORTS FOR HVAC - PAINT/REPAIR/PARTIAL REPLACE | \$67,285 |
| EXTERIOR STAIRS/RAILING - REPAIR/PAINT/SEAL | \$25,410 |
| CLUBROOM BATHROOMS - REMODEL | \$37,403 |
| CLUB ROOM PANTRY/KITCHEN APPLIANCES - REPLACE | \$11,689 |
| LOBBY/GALLERY FF&E - REPLACE | \$35,066 |
| ROOFTOP HVAC SYSTEM #1 (15 TON) - REPLACE | \$84,591 |
| CLUBROOM WATER HEATER (30 GALLON) - REPLACE | \$6,098 |
| Total 2048 Expenditures | \$267,543 |
| DRAINAGE/SLOPE EROSION/STORM SYSTEM - REPAIR/MAINTAIN | \$19,367 |
| SWIMMING POOL DECK - REPAIR/SEAL CRACKS | \$16,750 |
| PARKING GARAGE - RECAULK/REGROUT/SEAL | \$60,196 |
| CLUB ROOM PANTRY/KITCHEN CABINETS - REPLACE | \$72,235 |
| CORRIDOR AND ELEV. LOBBY FINISHES - REMODEL/PAINT | \$214,307 |
| FITNESS ROOM EQUIPMENT - PARTIAL REPLACE | \$10,469 |
| OFFICE EQUIPMENT - REPLACE | \$12,039 |
| ELECTRICAL PANELS - REPAIR | \$26,172 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPAIR | \$6,281 |
| TRASH COMPACTOR - REPLACE MOTOR | \$6,020 |
| Total 2049 Expenditures | \$443,837 |
| BALCONIES & RAILINGS (Phase I) - RESTORATION (PAINT/REPAIR/SEAL) | \$405,439 |
| INTERIOR STAIRS AND RAILINGS - REPAIR/PAINT | \$26,957 |
| ELEVATOR CABS - REMODEL | \$56,071 |
| Total 2050 Expenditures | \$488,468 |
| SWIMMING POOL SURFACE - RESURFACE/REP. TILES | \$88,852 |
| BALCONIES & RAILINGS (Phase II) - RESTORATION (PAINT/REPAIR/SEAL | \$417,602 |
| TPO ROOF REPAIRS | \$52,478 |
| METAL SEAM ROOF - REPAIR/SEAL/PAINT | \$33,319 |
| TOP FLOOR PATIO - REPAIR/SEAL TILES/ROOF | \$16,660 |
| PARKING GARAGE LEVELS - PAINTING/COATING | \$27,766 |
| MAILROOM (LOBBY) - REMODEL | \$3,332 |
| ELECTRICAL PANELS - REPAIR | \$27,766 |
| JOCKEY PUMP - REPLACE | \$5,109 |
| POOL PUMP - REPLACE | \$3,110 |
| SAND FILTERS - REPLACE | \$5,109 |
| ELEVATORS - UPGRADE/MODERNIZE | \$606,412 |
| TRASH COMPACTOR ROOM - PRESSURIZATION FAN | \$14,305 |
| Total 2051 Expenditures | \$1,301,820 |
| METAL RAILINGS - CLEAN/REPAIR/PAINT | \$15,444 |
| SWIMMING POOL FURNITURE - PARTIAL REPLACE | \$29,743 |
| BALCONIES & RAILINGS (Phase III) - RESTORATION (PAINT/REPAIR/SEAI | \$430,130 |
| Total 2052 Expenditures | \$475,317 |
| CORRIDOR ELEVATOR LOBBY FURNITURE - PARTIAL REPLACE | \$94,852 |
| ELECTRICAL PANELS - REPAIR | \$29,457 |
| ROLL-UP DOORS & CONTROLS (PARKING DECK) - REPLACE 2 | \$75,410 |
| Total 2053 Expenditures | \$199,719 |
| Total Expenditures | \$12,624,958 |

E. NOTES

The accompanying notes are an integral part of the reserve schedule contained in this report. When reviewing the schedule, please be sure to read all notes pertaining to a particular line item. This will provide the most complete explanation of each line item and will provide any clarification where necessary.

1. These items were found to be in good condition and well maintained. The useful life reflects the age and overall condition of the respective item.
2. **Landscaping/Chain Link Fencing** – The landscaping of the common areas consists of small and large trees, shrubs, and common landscaped areas. From our review, the common area landscaping appeared to be in generally good condition; however, it should be noted that we observed a broken section of the chain-link fence above the dumpster (reference photograph 1). The appearance of the community is very subjective, as is the allocation of funds for the upgrade of the landscape materials. From our experience with similar communities, upgrading of the community landscaping is typically done every eight to ten years.

A budget has been allocated for the replacement of any uprooting, damaged or diseased shrubs and trees, trimming of trees, and upgrading of the landscaping every eight to ten years. This is not designed for yearly or routine landscaping or annual flower installation. All trees that are located within 10' of a structure should be removed or monitored to prevent any damage. Additionally, a budget has been allocated for the repair and partial replacement of the chain-link fence every ten years.

3. **Entry Stairs/Metal Railing** – The front entrance of the building is accessible by a staircase and ramps. The staircases and ramps consist of concrete topped with tile. The perimeter of the staircases and ramps have metal railing. The front entrance is terraced by modular block retaining walls. It is our understanding that the metal railings were repaired and repainted in 2023. From our review, the front entry appeared to be in generally good condition, with the exception of a section of cracked tiles observed near the building entry (reference photographs 2 & 3).

It is recommended that a budget be allotted for the cleaning, repair, and painting of the metal railings every six to seven years. This budget is not for the railing at the balconies.

Additionally, we recommend allotting a budget for the repair and replacement of any cracked or settled sections of the entry tiles and stairs every nine to ten years. This budget is not for complete replacement, only replacement of sections that become trip hazards or safety concerns. Any vertical displacement at the cracks that could potentially represent a trip hazard and liability should be replaced.

- 4. **Drainage** – During our review, we were unable to determine the condition of the drainage at the property due to a result of covered conditions. Typically, drainage at condominium buildings consists of surface flow to drain inlets. The stormwater is then piped underground to the nearest public drainage area. It is our understanding that the drainage at the property is functioning adequately with no major deficiencies observed that would warrant remedial work at this time.

Forms of poor drainage may be remediated by redirecting the water flow by creating proper slopes or extending existing drainage lines. A budget has been allotted for the maintenance and repair of the storm water drainage every seven to eight years. The budget for the drainage may decrease over time as a result of proper maintenance.

- 5. **Swimming Pool/Deck/Equipment** – The swimming pool consists of an in-ground concrete pool with a plaster finish. It appears that the swimming pool was resurfaced, and the pool furniture was replaced since the previous reserve study completed in 2019. The pool deck consists of a concrete slab supported by the parking structure below. From our review, the swimming pool, pool deck, and equipment appeared to be in generally good condition and experiencing normal wear and tear (reference photograph 4).

Following are the estimated useful lives of the components of the swimming pool:

Swimming Pool Surface - Resurface/Repl. Tiles Every 8-10 years
Swimming Pool Deck – Repair/Seal Cracks Every 5-6 years

| | |
|---|-------------------|
| Swimming Pool Deck – Partial Replacement | Every 12-15 years |
| Swimming Pool Furniture – Partial Replacement | Every 4-5 years |
| Swimming Pool Pump – Replace | Every 4-5 years |
| Swimming Pool Sand Filters – Replace..... | Every 12-15 years |
| Swimming Pool Lighting – Replace..... | Every 9-10 years |

We have provided budgets for each of the referenced items above and have included them in the reserve.

6. **Exterior Surfaces/Balconies** – The exterior of the building consists of pre-cast concrete primarily finished with a stucco veneer. The exterior finishes of the front elevation of the building consist of a cast stone veneer façade. At the main entry, there is signage that consists of metal lettering displaying the property name. The unit balconies appear to consist of concrete with metal railing. It is our understanding that the balconies were repaired and painted in 2023. It is also our understanding that the metal railings were repaired and painted in 2023. We were unable to fully evaluate the condition of the building’s exterior surface and the balconies’ condition as a result of the height of the building; however, it is our understanding that there are no major deficiencies at this time (reference photograph 5 & 6).

We recommend a budget for the cleaning, repair, and sealing of the stucco surfaces with an elastomeric coating approximately every ten years. The previous budget designated that the allotment for the restoration of the exterior surfaces was to be completed by 2024; however, due to the existing conditions of the exterior surfaces and the current budget in place for the community, we have moved the timeline for the restoration of the exterior surfaces to start in 2025. We also recommend a budget for the repair and restoration of the balconies every twelve years. Additionally, we recommend a budget for the painting and removal of rust from the balcony railings every five years.

7. **Roof** – The roof of the building consists of TPO membrane at three different elevations. There is also a section of the north end of the building that is covered by a moderately steep-sloped standing seam metal roof. It is our understanding that the roof was replaced in 2021 and inspected in 2023. From our review, the TPO

roof appeared to be in generally good condition; however, we observed debris accumulation and ponding water at the roof drains (reference photographs 7-9). Clearing of the roof drains should be completed as regular maintenance to prevent potential damage to the roof membrane and potential water infiltration issues at the roof. The building HVAC units are located on the roof and are supported by steel and wood structures. From our review, the horizontal wood members that support the HVAC units are deteriorated and deflected and should be scheduled for replacement (reference photograph 10). On the northern end of the metal roof, a panel for the roof appears to be disconnected and should be repaired (reference photograph 11).

Following are the estimated useful lives of the components of the roof:

| | |
|---|--------------------------|
| <i>Metal Supports for HVAC – Paint/Repair/Partial Replace</i> | <i>Every 5-6 years</i> |
| <i>TPO Roof - Replace</i> | <i>Every 18-20 years</i> |
| <i>TPO Roof Repairs</i> | <i>Every 5-6 years</i> |
| <i>Metal Seam Roof – Repair/Seal/Paint</i> | <i>Every 18-20 years</i> |

We have provided budgets for each of the referenced items above and have included them in the reserve.

8. **Roof Patio** – The roof patio is located on the west side of the building, overlooking the swimming pool. The roof patio consists of a TPO roof membrane covered by large patio tiles. It is our understanding that the roof was replaced in 2021 and inspected in 2023. From our review, the rooftop patio appeared to be in generally good condition (reference photograph 12).

Following are the estimated useful lives of the components of the top floor patio area:

| | |
|--|--------------------------|
| <i>Top Floor Patio – Replace Tile/TPO Roof</i> | <i>Every 18-20 years</i> |
| <i>Top Floor Patio Furniture – Partial Replace</i> | <i>Every 9-10 years</i> |

We have provided budgets for each of the referenced items above and have included them in the reserve.

9. **Exterior Staircase** – There is a rear exterior staircase that provides access to the pool area from the first floor. It is our understanding that the metal railing was repaired and painted in 2023. From our review, the staircase appeared to be in generally good condition and well maintained.

As preventative maintenance, the metal of the staircase should be properly coated and have all rust removed to extend the useful life of the material and to maintain the structural integrity of the stairs. It is recommended that a budget be allotted for the repair, painting, and sealing of the exterior staircase every seven to eight years.

10. **Parking Garage** – The parking garage is a two-story concrete structure with an amenity area and swimming pool on top. It is our understanding that the parking garage has had previous repairs made to waterproof the structure. The parking garage is accessed by three roll-up doors and controllers. It is our understanding that the gate to P1 was replaced in 2023 for the amount of \$15,587.50. From our review, the parking garage appeared to be in generally good condition and experiencing normal wear and tear, such as hairline cracks (reference photographs 13 & 14). We did not observe any cracks which would be considered a structural concern.

We recommend that the existing cracks be monitored to ensure that the cracks do not widen and to ensure that there is no displacement in the cracks. Cracks that have been sealed should be monitored to ensure water is not infiltrating through the cracks.

Following are the estimated useful lives of the components of the parking garage:

Parking Garage – Re-Caulk/Re-Grout/Seal Every 7-8 years
Parking Garage Levels – Painting/Coating Every 4-5 years
Roll-Up Doors & Controls (Parking Deck) – Repair Every 4-5 years
Roll-Up Doors & Controls (Parking Deck) – Replace 2 Every 18-20 years
Roll-Up Doors & Controls (Parking Deck) – Replace 1 Every 18-20 years

We have provided budgets for each of the referenced items above and have included them in the reserve.

11. **Mechanical/Electrical/Plumbing** – There are common corridor HVAC systems located on the roof that ventilate the common corridors. Individual mini split-systems are located in the lobby, fitness room, and clubroom that ventilate the amenity areas. There are two Thyssen Krupp elevators in the building (reference photograph 15). The Association maintains the fire and life safety system, security system, fire pumps, common water heaters, a trash compactor, pressurization fans, common plumbing equipment, an emergency generator, and common electrical equipment. It is our understanding that the security system was upgraded by updating the access control in 2023 for the amount of \$30,000.

It should be noted that Ray Engineering, Inc., did not conduct an extensive in-depth review of the building's common electrical, mechanical, and plumbing components or lighting systems, as that was not intended as part of our Scope of Services. We did, however, observe all of the equipment, and unless noted below, no obvious evidence was observed that would indicate a problem regarding the operation and performance of the various systems.

We provided budgets for repair and replacement of all systems based on their condition and estimated useful life. The funds should be spent, as needed. We also provided allowances for repairs and replacements of all building electrical, mechanical, and plumbing components based on their condition and estimated useful lives.

12. **Amenity Area** – The second level of the building contains an amenity area consisting of a clubroom with a kitchen, bathrooms, and a fitness center. It is our understanding that the clubroom was upgraded in 2023 for the amount of \$18,625. It appears that the fitness center, clubroom, and corridor flooring were replaced since our last reserve study in 2019. From our review of the amenity area, it appears to be in generally good condition (reference photographs 16-18).

Following are the estimated useful lives of the components of the amenity area:

| | |
|---|--------------------------|
| <i>Clubroom Renovate - Renovate</i> | <i>Every 12-15 years</i> |
| <i>Clubroom Bathrooms - Remodel</i> | <i>Every 8-10 years</i> |
| <i>Clubroom Pantry/Kitchen Appliances - Replace</i> | <i>Every 15-20 years</i> |
| <i>Clubroom Pantry/Kitchen Cabinets</i> | <i>Every 25-30 years</i> |
| <i>Fitness Room Equipment – Partial Replace</i> | <i>Every 4-5 years</i> |
| <i>Fitness Room Floor – Replace Floor</i> | <i>Every 9-10 years</i> |

We have provided budgets for each of the referenced items above and have included them in the reserve.

13. **Common Areas** – The common areas of the building consist of the lobby, concierge desk and seating area, an office, and a mailroom. On each residential floor, there are common corridors, elevator lobbies, staircases, trash chutes, mechanical, and electrical rooms. From our review, the common areas appeared to be in generally good condition; however, the carpet in the lobby is in poor condition and one of the trash chutes has a detached member (reference photographs 19-22).

We have provided budgets for the repair and replacement of all materials within the common areas based on their condition and estimated useful life. The funds should be spent, as needed.

II. RESERVE CASH FLOW ANALYSIS

A. INTRODUCTION

The enclosed chart and graph contain a 20-year cash flow projection of the reserve requirements for the Association. The budget should be adjusted at the end of the 20-year period to readjust for changes in remaining life, inflation, and current costs of replacements. This cash flow analysis is based on the assumption that all of the items that make up the schedule are fully funded. By this, we mean that each item will accumulate its full replacement cost during its life span. At the end of this life, each item would be replaced, and the funding would start aging for items with a long life. For items with a short useful life, the funding for the first replacement is budgeted in addition to future replacements due to the short life span. The future replacement funding is started in the first year; however, payments are less than the first replacement due to the extended time period allowed to accumulate funds. Taking all of the components that make up the reserve schedule, using this full funding analysis, there is typically an ongoing surplus in the reserve fund. This ensures that the Association will have a surplus at the end of the 10-year period. This is called the “pooling effect” and is represented by the upper line on the cash flow chart, which is designated as the “Net Cumulative Fund.” The “Net Cumulative Fund” is calculated by taking the existing amount in the reserve fund at the time the reserve schedule is prepared, adding to it the yearly contribution, and subtracting from it the annual expenditures.

The annual reserve funding required has been calculated by estimating the useful remaining life based on the current condition, age, and all other known factors of each item description. The present value replacement cost was estimated by either past quotations or other listed methods of estimation. The present value replacement cost was then converted to future value using a 3% annual compounded inflation rate. The future cost was calculated for the projected time when replacement will be required.

The future cost was then broken down into annual installments while still considering the 3% compounded annual inflation rate. The monthly reserve funding was calculated by a further breakdown of the annual reserve funding required.

1. Formulas

The following economic formulas were used in our calculations:

| DISCOUNTING FACTOR | FUNCTIONAL NOTATION | FORMULA |
|--------------------------------|---------------------|-------------------|
| Single Payment Compound Amount | $(F/P, i \%, n)$ | $(1+i)^n$ |
| Uniform Series Sinking Fund | $(A/F, i \%, n)$ | $i/[(1+i)^{n-1}]$ |

2. Definitions

Definitions of the above-mentioned terms are as follows:

| TERM | DEFINITION |
|--------------------------------|--|
| Single Payment Compound Amount | Conversion of present worth to future value |
| Uniform Series Sinking Fund | Conversion of future value to annual value |
| F | Future worth of item in n years from present |
| P | Present Worth |
| A | Annual worth |
| I | Interest Rate (2.00% used) |
| N | # of years until each calculated replacement |

B. PROJECTED CASH FLOW GRAPH AND CHART

The projected cash flow for the Capital Reserve Analysis is illustrated by the bar graph and line chart on the following pages.

C. RECOMMENDATIONS AND CONCLUSIONS

Based on our review, we would make the following recommendations. The Association should set aside the following amount for the specified year into the reserve fund:

COST AND FUNDING RECAP

SEE ATTACHMENTS ON PAGE 6

The Association should update the reserve schedule a minimum of once every two years. It is especially important to update the schedule when using average contribution due to the fact that even a minor change in the estimated useful life can have a significant impact on adequate funding.

The Association should review each of the individual line items that make up the reserve schedule to make sure that there is no overlap between what is indicated in the schedule and any other portion of the budget. For example, we may show on the reserve schedule the replacement of fencing, but at the same time, the Association may be replacing the fencing out of their operating budget. If duplication like this exists, the item should either be removed from the reserve schedule or the operation budget. It should not be funded in two different locations.

The Association should review the items on the schedule to assure that their replacement is not covered under a maintenance contract. An example would be reserving for the replacement of mechanical equipment components while the Association has a maintenance contract for the item at the same time. The reserve schedule should be carefully reviewed to be sure that it does not fund the replacement of any portion of any item whose replacement is covered under a maintenance contract.

The Association should review the items on the schedule to be sure that they are all the Association's responsibility. As an example, if we have included site lighting on the reserve schedule, but at the same time the local municipality is responsible for the maintenance and repair of these connections, they should be removed from the schedule.

The Association should review the individual line items on the reserve schedule carefully to determine if a number of the smaller individual components can be consolidated into one line item which can be continuously funded.

For example, if there are five or six components with a total replacement cost of \$1,000 each, rather than reserving the full \$5,000 or \$6,000 for all of these items, the Association may want to consider funding all six components under one line item for a total of \$1,000. Should one of these six items have to be replaced, that line item would have to be brought current within a year or so after its expenditure. By doing this rather than

funding the full \$6,000, only a portion of the total would be funded. This would reduce the overall yearly contribution to reserves.

Depending on the size of the overall operating budget, the Association may decide that any line item of less than the given amount will be funded directly through the operating budget rather than through the reserve schedule. If this is the case, any item with the given value or less should be removed from the schedule. The schedule would then be footnoted accordingly.

III. RECOMMENDED MAINTENANCE SCHEDULE

The following guidelines are intended to ensure that a program of preventive maintenance is implemented in order to assure that, as a minimum, the predicted useful lives of the major common elements is attained. A preventive maintenance program is made up of “a system of periodic inspections of existing facilities to uncover conditions leading to breakdown or harmful depreciation and the correction of these conditions while they are still minor”. It should be noted that experience has shown that a proper maintenance program can add 50% to the expected useful life of some items.

In any case, the proper determination of the useful lives of the items which make up your common elements is critical to the proper updating of the reserve schedule. The items included will only attain their anticipated useful lives if a proper maintenance program is implemented. For this reason, it is recommended that the reserve schedule be updated every two years to assure that all items are being properly maintained.

A. CONCRETE PAVEMENT

The early detection and repair of minor defects is the most important consideration in the preventive maintenance of pavements. Cracks and other surface breaks, which in their first stages are almost unnoticeable, may develop into serious defects if not repaired in a timely manner. For this reason, walking inspections of the pavement should be conducted in the fall and spring of each year, as a minimum.

The inspections should note small cracks or other surface breaks in the pavement. In addition, there are other signs, such as mud or water on the pavement surface or soil erosion along the edges of the pavement, which may indicate possible future problem areas.

Most small cracks or surface breaks can be repaired by sealing them with a good commercial-grade caulk. Areas which have settled and pose a possible trip hazard should be cut out and replaced to prevent a potential liability problem, as well as to prevent further deterioration of the concrete surface. If large areas are observed to

be cracking or breaking up, this may be an indication of a problem with the base material and/or subsoils and would require further investigation to determine the cause and proper method of repair.

B. STORM DRAINAGE SYSTEMS

All storm drainage systems should be routinely inspected to ensure proper operation. Inspections should be scheduled for all facilities after major storms for routine maintenance. In addition, bi-annual structural inspections should be performed. The following are the recommended maintenance schedules for each individual section of a storm system:

1. Catch Basins

All catch basins should be routinely inspected after a major storm to ensure that they are working properly. During these inspections, any sediment buildup or debris should be removed from catch basins to ensure that they continue to function properly.

2. Drainage Swales

The five most prevalent maintenance problems with swales are:

- Weed growth
- Grass maintenance
- Sediment control
- Soil deterioration
- Mosquito control

Drainage swales should be inspected on a routine basis to ensure that they are functioning properly. The grass located within the swales should be mowed on a weekly basis to prevent the accumulation of debris, which may impede the flow of the drainage. The trash racks attached to the outlet structures should be periodically checked and cleaned of debris to prevent blockage. The outlet

structures should also be checked for deterioration and/or cracking of concrete.

C. LANDSCAPING

A discussion regarding the preventive maintenance of the landscaped areas of the development would require an entire report. For this reason, it is recommended that a professional service specializing in this area be consulted. It should be noted that landscaping is not included as a reserve schedule item since, with proper maintenance, large-scale replacement should not become necessary.

D. CONCRETE RETAINING WALLS

Retaining wall surfaces should be inspected every spring as part of a preventive maintenance program. Areas should be checked for signs of cracking or spalling of the concrete surface and staining from moisture migrating through the wall. Additionally, the walls should be checked for soil erosion and/or voids forming at the tops and bases of the walls. Small cracks and spalled areas should be cleaned, caulked, or patched and touched up with paint, if applicable. Wide cracks may be an indication of possible movement and should be reviewed by a structural engineer. Seepage is not uncommon at retaining walls and often results in staining of the wall. In many cases, caulking of the cracks where seepage occurs is all that is required to remedy the problem; however, if it continues after caulking, it may be an indication of a problem, such as excessive hydrostatic pressure, and should again be reviewed by an engineer.

E. MODULAR INTERLOCKING BLOCK RETAINING WALLS

Retaining wall surfaces should be inspected every spring as part of a preventive maintenance program. Areas should be checked for signs of cracking blocks or missing cap blocks. Seepage is not uncommon at retaining walls and often results in staining of the wall. Additionally, the walls should be checked for soil erosion and/or voids forming at the top and base of the wall.

F. ROOFS • FLAT

Membrane roof systems can be expected to perform for 20 - 25 years, provided that the systems have been installed in accordance with industry standards. In order to achieve this useful life, proper maintenance requires periodic inspections to detect the need for repair or changes in the roof surface. In order to reduce maintenance and replacement costs, it is vital to detect problems when they are minor and prevent them from escalating into major problems.

Roof inspections should be conducted at least twice a year. These inspections should preferably occur in the early fall to prepare for winter and in the spring to assess any winter damage and prepare for the hot summer sun. In addition to these seasonal inspections, the roofs should be carefully checked after violent rain or windstorms, nearby fires, or after workmen have been on the roof.

The roof inspections should include:

- Examination of exterior walls for settlement.
- Checking interior walls and the underside of roofs for leakage. This is necessary since the majority of roof problems may not be detected by inspecting the outside roof surface.
- Inspection of the roof surface for missing, loose, lifted, cracked, or deteriorated shingles.
- A review of the roof drainage, including any change in the roof and the condition and operation of roof drains, gutters, and scuppers.
- Examination of flashed areas. Most water infiltration problems are caused by flashing defects. Lifted, loose, torn, or missing flashing require immediate repair.
- A review of ventilation since improper ventilation can cause ice damming conditions and accelerates the deterioration of the roof shingle.

G. ROOF DRAINS AND SCUPPERS

The key to maintaining roof drains is to make sure they are kept clear of debris. A buildup of debris blocks roof drains and prevents proper drainage. If this occurs, trapped water will overload the roof, which could result in flooding or structural damage.

H. ROOF PARAPET WALLS

Parapet wall surfaces should be inspected every spring as part of a preventive maintenance program. Areas should be checked for signs of loose or deteriorated flashing, damaged cant strips, and roof membrane deterioration. The lightning protection system should also be included in the inspection. The system should be checked for loose or damaged terminal, frayed and/or deteriorated cable, deteriorated seals, and missing conductors. Deficiencies noted should be repaired by a qualified electrician.

I. GUTTERS AND DOWNSPOUTS

The key to maintaining gutters and downspouts is to make sure they are kept clear of debris. A buildup of leaves and other plant material will block downspouts and prevent proper drainage. If this occurs, trapped water could weigh down the gutters and cause them to loosen or fall. Blocked gutters will also overflow along their length, resulting in the washing away of the mulch and/or soils adjacent to the sides of a building, which could result in premature deterioration of a building's exterior finish over time. Ice damming will also be evident in the winter if gutters are not able to drain.

At least twice a year, the gutters should be cleaned and inspected for damage. This should be done in late spring and late fall. Any loose or misaligned gutters should be corrected at this time to prevent further damage. Splash blocks and downspout

extension pipes should also be adjusted to prevent erosion and to direct water away from the building.

As the gutters age, the paint coating will oxidize and dull. When this occurs, an aluminum paint product should be used to restore the finish, or the gutters should be power washed to prevent deterioration.

J. CONCRETE PATIOS

Concrete patios should be inspected twice a year in the fall and spring. Minor cracks or cracks with vertical displacement should be noted and repaired where necessary. Sections should also be inspected for signs of surface deterioration.

Note: Salts used to eliminate ice during winter months can cause concrete to deteriorate. Only products rated safe for use on concrete should be applied for de-icing purposes.

K. STEEL STAIRS, RAILINGS, AND POSTS

All steel components should be inspected on a yearly basis for corrosion or damage. Any excessive corrosion should be addressed as soon as possible by wire brushing to remove all rust and scale, spot priming, and painting as needed. Of special concern are the steel and metal pan stairs. Moisture has a tendency to become trapped between the concrete in-fill of the treads and the metal support pans, resulting in rusting that occur from the inside out. Since this condition is not visible, considerable damage can be done before a problem is realized. We recommend cleaning visible rust off of the stair components and priming and painting the affected areas. Additionally, we recommend cleaning and sealing the concrete of the treads and caulking all of the joints between the steel and concrete interfaces to prevent moisture intrusion.

Note: Salts used to eliminate ice on stairs during winter months can cause concrete and steel to deteriorate prematurely. Only products rated safe for use on concrete

and steel should be applied for de-icing purposes.

L. BALCONIES/ DECKS

Deck surfaces should be inspected every spring as part of a preventive maintenance program. Areas should be checked for signs of major cracking. Railings and handrails should be inspected for signs of damage. They should also be checked to ensure that they are still sturdy and safe.

M. SYNTHETIC STUCCO VENEER

Stucco veneer is subject to cracking and loosening from a variety of environmental and construction causes. Veneers on all buildings should be thoroughly inspected in early spring and late fall. The inspections should include checking for chipped, cracked, deteriorated, and void areas at the stucco surfaces. All caulked joints should be checked for brittleness and delamination from the adjacent substrates. All damaged and deteriorated stucco should be repaired, and all cracks caulked in accordance with the manufacturer's recommendations. Similarly, all dried out and delaminated caulking should be removed and replaced with new caulk. We recommend pressure washing of the exterior surface every two years to remove mold, mildew, and dirt.

DISCLOSURES

Ray Engineering, Inc. does not have any other involvement with the association, which could result in actual or perceived conflicts of interest.

During our review of the property, visual review, and field measurements, as needed, of each common element was performed. No destructive testing or drawing take-offs were performed.

Material issues which, if not disclosed, would cause a distortion of the association's situation.

Information provided by the official representative of the association regarding financial, physical, quantity, or historical issues will be deemed reliable by the consultant.

The Reserve Analysis will be a reflection of information provided to the consultant and assembled for the association's use, not for the purpose of performing an audit, quality/forensic analyses, or background checks of historical records.

Ray Engineering, Inc. did not perform an audit of the current or past budgets of the association.

Information provided to Ray Engineering, Inc. by the association representative about reserve projects will be considered reliable. Any on-site inspection(s) by Ray Engineering, Inc. should not be considered a project audit or quality inspection.

BIOGRAPHY

ROBERT “NICKO” ROMEO, R.S.

DIRECTOR OF CAPITAL RESERVES & SENIOR ENGINEER

Mr. Romeo has a Bachelor of Science in Mechanical Engineering Technology, Southern Polytechnic State University, Marietta, Georgia, 2016. Mr. Romeo started his internship with Ray Engineering in 2015 through 2017. In 2017, upon obtaining his Bachelor of Science Degree in Mechanical Engineering, he obtained employment as a Project Engineer at Ray Engineering. Mr. Romeo provides consulting services for civil/structural and construction related problems for various condominium, apartment, single-family, residential, and commercial properties, as well as design and specifications for restoration of deficiencies. Mr. Romeo has nine years of experience in the preparation of Capital Reserve Analyses.

LIMITATION OF RESPONSIBILITY

The report represents a statement of the physical condition of the common elements of the property based upon our visual observation, professional analysis, and judgment. The report applies only to those portions of the property and/or items and equipment which were capable of being visually observed. Unless specifically stated otherwise, no intrusive testing was performed nor were any materials removed or excavations made for further inspection. Drawings and specifications were available only to the extent described in the report.

The following activities are not included in the scope and are excluded from the scope of the reserve analysis described in the National Reserve Study Standards:

- *Utilities* – Operating condition of any underground system or infrastructure; accessing manholes or utility pits; the reserve analysis does not include any infrastructure with an estimated useful life of more than 30 years, unless specified otherwise in the report;
- *Structural Frame and Building Envelope* – Unless specifically defined in the proposal, entering of crawl, attic or confined space areas (however, the field observer will observe conditions to the extent easily visible from the point of access to the crawl or confined space if the access is at the exterior of the building or common space); determination of previous substructure flooding or water penetration unless easily visible or unless such information is provided;
- *Roofs* – Walking on pitched roofs or any roof areas that appear to be unsafe or roofs with no built-in access; determining roofing design criteria;
- *Plumbing* – Verifying the condition of any pipes underground, behind walls or ceilings; determining adequate pressure and flow rate, verifying pipe size, or verifying the point of discharge for underground systems;
- *HVAC* – Observation of fire connections, interiors of chimneys, flues or boiler stacks, or tenant owned or tenant-maintained equipment;
- *Electrical* – Removal of any electrical panels or device covers, except if removed by building staff; providing common equipment or tenant owned equipment.

- *Vertical Transportation* – Examining of cable, shears, controllers, motors, inspection tags or entering elevator/escalator pits;
- *Life Safety/Fire Protection* – Determining NFPA hazard classifications; classifying or testing fire rating of assemblies;
- Preparing engineering calculations to determine any system's components or equipment's adequacy or compliance with any specific or commonly accepted design requirements or building codes; preparing designs or specifications to remedy any physical deficiencies;
- Reporting on the presence or absence of pests or insects unless evidence of such presence is readily apparent during the field observer's walk-through survey or such information is provided to the Consultant;
- Entering or accessing any area of the property deemed by the engineer to pose a threat to the safety of any individual or to the integrity of the building system or material;
- Providing an opinion on the operation of any system or component that is shut down or not properly operating;
- Evaluating any acoustical or insulating characteristics of the property;
- Providing an opinion on matters regarding security and protection of its occupants or users;
- Providing an environmental assessment or opinion of the presence of any environmental issues such as asbestos, hazardous wastes, toxic materials, radon, or the location of designated wetlands, unless specifically defined within the scope of work;
- Any representations regarding the status of ADA Title III Compliance.

The report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind. Any reference made to codes in this report is to assist in identification of a specific problem.

GLOSSARY OF TERMS

| <u>Abbreviation</u> | <u>Definition</u> | <u>Abbreviation</u> | <u>Definition</u> |
|---------------------|-------------------------------|---------------------|--------------------------|
| Allow. | Allowance | L.F. | Linear Foot |
| Avg. | Average | Lg. | Long Length |
| B.F. | Board Feet | L.S. | Lump Sum |
| Bit/Bitum. | Bituminous | Maint. | Maintenance |
| Bldg. | Building | Mat., Mat'l | Material |
| Brk. | Brick | Max | Maximum |
| Cal | Calculated | MBF | Thousand Board Feet |
| C.C.F. | Hundred Cubic Feet | M.C.F. | Thousand Cubic Feet |
| C.F. | Cubic Feet | Min. | Minimum |
| C.L.F. | Hundred Linear Feet | Misc. | Miscellaneous |
| Col. | Column | M.L.F. | Thousand Linear Feet |
| Conc. | Concrete | M.S.F. | Thousand Square Feet |
| Cont. | Continuous, continued | M.S.Y. | Thousand Square Yards |
| C.S.F. | Hundred Square Feet | NA | Not applicable/available |
| Cu. Ft. | Cubic Feet | No. | Number |
| C.Y. | Cubic Yard, 27 cubic feet | O.C. | On Center |
| DHW | Domestic Hot Water | P.E. | Professional Engineer |
| Diam. | Diameter | Ply. | Plywood |
| Ea. | Each | Pr. | Pair |
| Est. | Estimated | PVC | Polyvinyl Chloride |
| Ext. | Exterior | Pvmt. | Pavement |
| Fig. | Figure | Quan. Qty. | Quantity |
| Fin. | Finished | R.C.P. | Reinforced Concrete Pipe |
| Fixt | Fixture | Reinf. | Reinforced |
| Flr. | Floor | Req'd | Required |
| FRP | Fiberglass Reinforced Plastic | Sch., Sched. | Schedule |
| Ft. | Foot, Feet | S.F. | Square Foot |
| Galv. | Galvanized | Sq. | Square, 100 Square Feet |
| Ht. | Height | Std. | Standard |
| Htrs. | Heaters | Sys. | System |
| HVAC | Heating, Ventilation, A/C | S.Y. | Square Yard |
| HW | Hot Water | T&G | Tongue & Groove |
| In. | Inch | Th, Thk. | Thick |
| Int. | Interior | Tot. | Total |
| Inst. | Installation | Unfin. | Unfinished |
| Insul. | Insulation | V.C.T. | Vinyl Composition Tile |
| lb. | Pound | Vent. | Ventilator |
| | | Yd. | Yard |

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by N/A

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Mechanical Cost Data
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Electrical Cost Data
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Open Shop Cost Data
by R.S. Means Company, Inc.

PHOTOGRAPHS

PARC VUE MIDTOWN



1. View of broken section of chain-link fence near the dumpsters.



2. View of cracked tiles near the building entry.

PARC VUE MIDTOWN

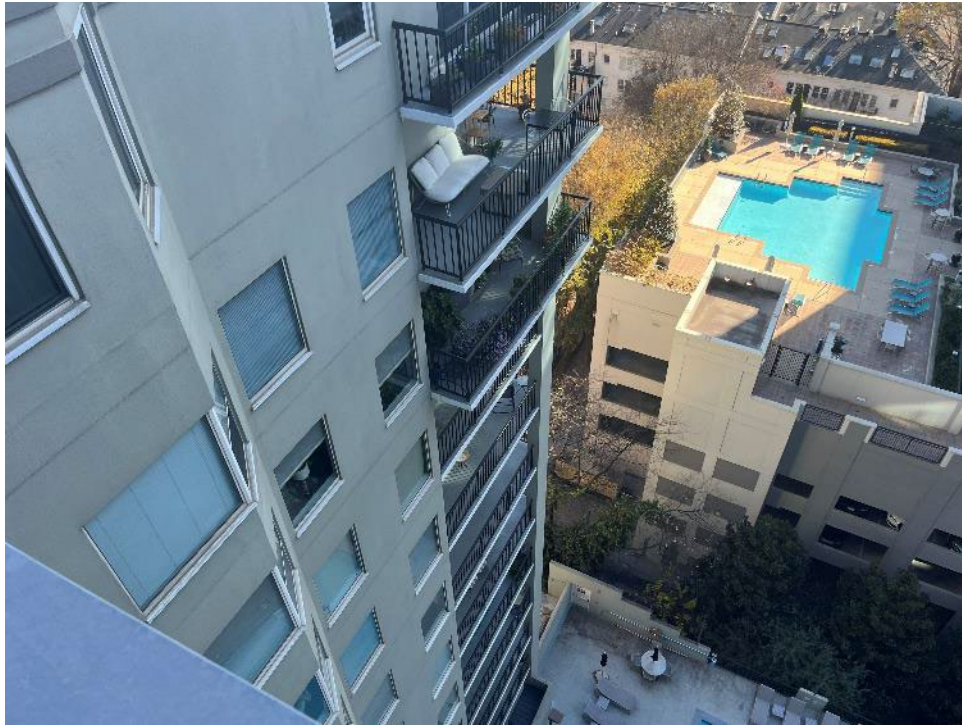


3. View of the building entry staircase and railings.



4. View of swimming pool and deck.

PARC VUE MIDTOWN



5. Typical view of the building exterior and balconies.



6. View of building entry signage.

PARC VUE MIDTOWN



7. View of accumulated debris around roof drains.



8. View of ponding water at one of the roof drains.



9. View of ponding water and accumulated debris at a roof drain.



10. View of deteriorated and deflected HVAC supports.

PARC VUE MIDTOWN



11. View of damaged metal seam roof.



12. View of the roof patio.



13. View of previous repairs made to the parking structure.



14. View of hairline cracks in the ceiling of the parking garage that were previously sealed.

PARC VUE MIDTOWN



15. View of the elevator motors.



16. View of the clubroom.

PARC VUE MIDTOWN



17. View of a club bathroom.



18. View of the fitness room.

PARC VUE MIDTOWN



19. View of a carpeted area of the lobby.



20. View of the mailroom.

PARC VUE MIDTOWN



21. View of typical elevator lobby and corridor.



22. View of trash chute on the fourth floor.