

CROSS RENOVATION -DRB CHANGES TO APPROVED PLANS

126 FOREST RD. #W VAIL, CO 81657

GENERAL NOTES:

1. DO NOT SCALE DRAWINGS

2. VERIFY ALL UTILITIES, EXISTING AND UTILITY LOCATIONS PRIOR TO BEGINNING ANY WORK OR CONCRETE WITH THIS PROJECT. NOTIFY ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS BY E-MAIL.

3. AREAS OF CONFLICTS OR DISCREPANCIES MUST BE RESOLVED WITH WRITTEN APPROVAL FROM THE ARCHITECT BEFORE CONSTRUCTION COMMENCES IN THESE PARTICULAR AREAS.

4. PLAN OF RENOVATION TO FACE OF STUD, CENTERLINE OF STUD, THREE INCH COULERS, OR FACE OF CONCRETE SHALL BE OVERLAPED. SECTION AND ELEVATION DRAWINGS SHALL BE TO TOP OF CONCRETE, TOP OF FLOORWOOD, OR TOP OF WALL PLATES OR BEAM LIGERS OTHERWISE NOTED.

5. PROVIDE ALL NECESSARY RELOCATIONS TO WALLS AND CEILING. LOCATION IS PROVIDED BUT NOT LIMITED TO CEILING AND WALL JOINTS, INTERIOR WALLS, ROOF LIGERS, ACCESSIBLE, CEILING, COAT RACKS, PLATES, CLOSET FLOOR AND PLASTERING.

6. REFER TO FLOOR PLAN FOR DOOR LOCATION. REFER TO DOOR SCHEDULE FOR DOOR TYPES.

7. REFER TO FLOOR PLAN FOR WINDOW LOCATION. REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.

8. COORDINATE ALL ELECTRICAL AND MECHANICAL DETAILS TO FIT WITH CONSTRUCTION AND WALL SPACES. VERIFY WITH ARCHITECT WHEN DRAWINGS ARE SUBMITTED.

9. IN THE EVENT THAT ADDITIONAL DETAILS OR QUANTITIES ARE REQUIRED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, THEY SHALL BE SUBMITTED FOR THE ARCHITECT. FAILURE TO DO SO WILL BECOME THE ARCHITECT'S RESPONSIBILITY TO CORRECT IN THE PROJECT.

10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL NECESSARY APPROVALS. THIS PROJECT IS GOVERNED BY THE INTERNATIONAL BUILDING CODE AND THE INTERNATIONAL RESIDENTIAL CODE. COORDINATE WITH THE ARCHITECT. THE CONTRACTOR'S RESPONSIBILITY SHALL NOT BE LIMITED TO THAT DOES NOT CORRESPOND TO ALL RELEVANT CODES INCLUDING IBC, AND ALL LOCAL AND REGIONAL CODES.

11. THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE AND OBTAIN APPROVAL FROM THE ARCHITECT BEFORE ANY CONCRETE, STRUCTURAL, OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STRUCTURAL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE CONSTRUCTION.

12. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND SCALE OUT THE EXISTING FOOTINGS FOR OWNER AND ARCHITECT APPROVAL PRIOR TO BEGINNING ANY SITE WORK.

13. THE OWNER HAS BEEN ADVISED THAT DUE TO HIGH WATER, CONDITIONS, ROOF & EX. WORKS, THAT REPAIRS AND REPAIRABLE REPAIRS OF ICE & SNOW TO COVER INSULATION PROBLEMS WITH THESE SURFACES.

14. QUALITY OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.

15. IT IS THE ARCHITECT'S RESPONSIBILITY TO THESE DOCUMENTS THAT THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR SHALL OBTAIN ALL NECESSARY MATERIALS, EQUIPMENT, ETC. TO OBTAIN A COMPLETE WITHIN THE RECOGNIZED STANDARDS OF THE EXISTING.

16. ALL CONSTRUCTION TO BE WITHIN THE BOUNDARY OF THE EXISTING. OUTSIDE SETBACKS WITHOUT CREATING EMBEZZLES. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

17. THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION & OF ALL EXISTING UTILITIES. ALL UTILITIES SHALL BE LOCATED TO PREVENT EXCAVATION AND VEGETATION REMOVALS TO THE SITE.

18. THE GENERAL CONTRACTOR SHALL PROTECT THE LIMITS OF EXCAVATION AND TAKE NECESSARY MEASURES TO PROTECT ALL VEGETATION BEFORE THE LIMITS OF EXCAVATION. ALL AREAS OF DISTURBANCE SHALL BE REVEGETATED TO BLEND WITH THE EXISTING. ALL AREAS OF DISTURBANCE SHALL BE REVEGETATED TO BLEND WITH THE EXISTING. ALL AREAS OF DISTURBANCE SHALL BE REVEGETATED TO BLEND WITH THE EXISTING. ALL AREAS OF DISTURBANCE SHALL BE REVEGETATED TO BLEND WITH THE EXISTING.

19. THE SOIL REPORT IS AVAILABLE FROM OWNER'S SOILS REPORTER.

20. GENERAL CONTRACTOR SHALL VERIFY ALL SITE DEVELOPMENT WITH LANDSCAPE CONSTRUCTION DOCUMENTS. THESE PLANS FOR GRASS AND LANDSCAPE PLANS FOR LANDSCAPE. ANY DISCREPANCIES MUST BE RESOLVED WITH ARCHITECT.

PROJECT SUMMARY:

Code:
INTERNATIONAL RESIDENTIAL CODE 2012

Zoning:
SINGLE-FAMILY RESIDENCE

Occupancy Classification:
TYPE R DIV. 3

Construction Type:
TYPE V

A monitored fire alarm system is required and must comply with NFPA 72(2002) and VFES standards

PROJECT TEAM:

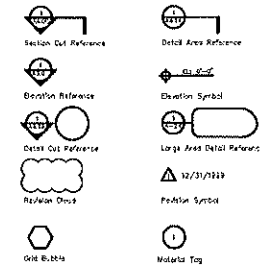
ARCHITECT:
K.H. WEBB ARCHITECTS P.C.
710 W. LICKSHEAD CIRCLE UNIT A
VAIL, CO 81657
PH: 970-477-2910
CONTACT:
KYLE H. WEBB
DIBRA HONORCE

GENERAL CONTRACTOR:
TRANSFORM CONSTRUCTION, LLC
PO BOX 8912
AVON, CO 81620
PH: 970-374-4547
CONTACT:
MIKE SCARVENS
KYLE HOLLAND

STRUCTURAL ENGINEER:
HOBBS & ANDREWS ENGINEERS, INC.
PH: 970-847-7749
CONTACT:
HARRIS SPAN

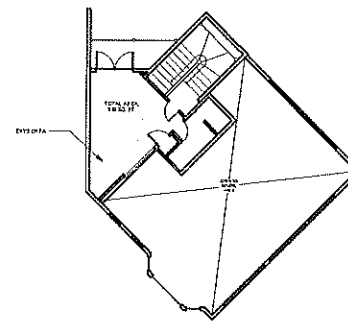
OWNER CONTACT:
BOB BENTLEY
PH: 970-476-1917

SYMBOLS:

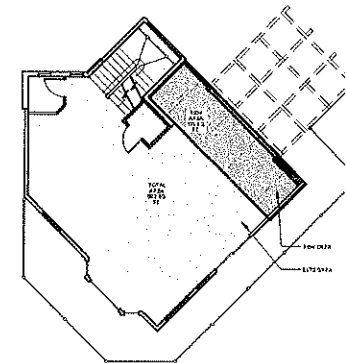


DRAWING INDEX

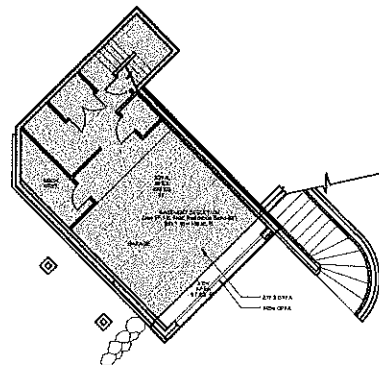
CIVIL	SHAFT
1.11	
ARCHITECTURAL	
A 001	1/4" = 1/8"
A 100	1/4" = 1/8"
A 101	1/4" = 1/8"
A 102	1/4" = 1/8"
A 103	1/4" = 1/8"
A 104	1/4" = 1/8"
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A 400	1/4" = 1/8"
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A 703	1/4" = 1/8"
A 704	1/4" = 1/8"
A 705	1/4" = 1/8"
S2.0	1/4" = 1/8"
S2.1	1/4" = 1/8"
S2.2	1/4" = 1/8"
S2.3	1/4" = 1/8"
S2.4	1/4" = 1/8"
S2.5	1/4" = 1/8"
S2.6	1/4" = 1/8"
S3.0	1/4" = 1/8"
S3.1	3/4" = 1/8"
S4.1	3/4" = 1/8"
S5.1	3/4" = 1/8"



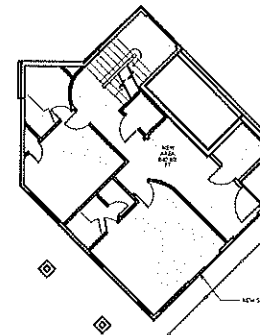
5 LOFT GRFA
Scale 1/8"=1'-0"



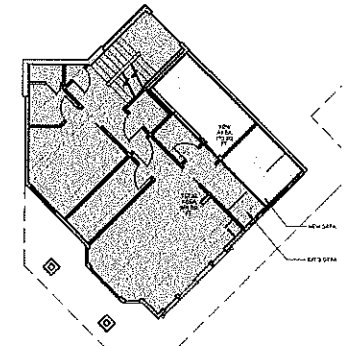
4 LIVING GRFA
Scale 1/8"=1'-0"



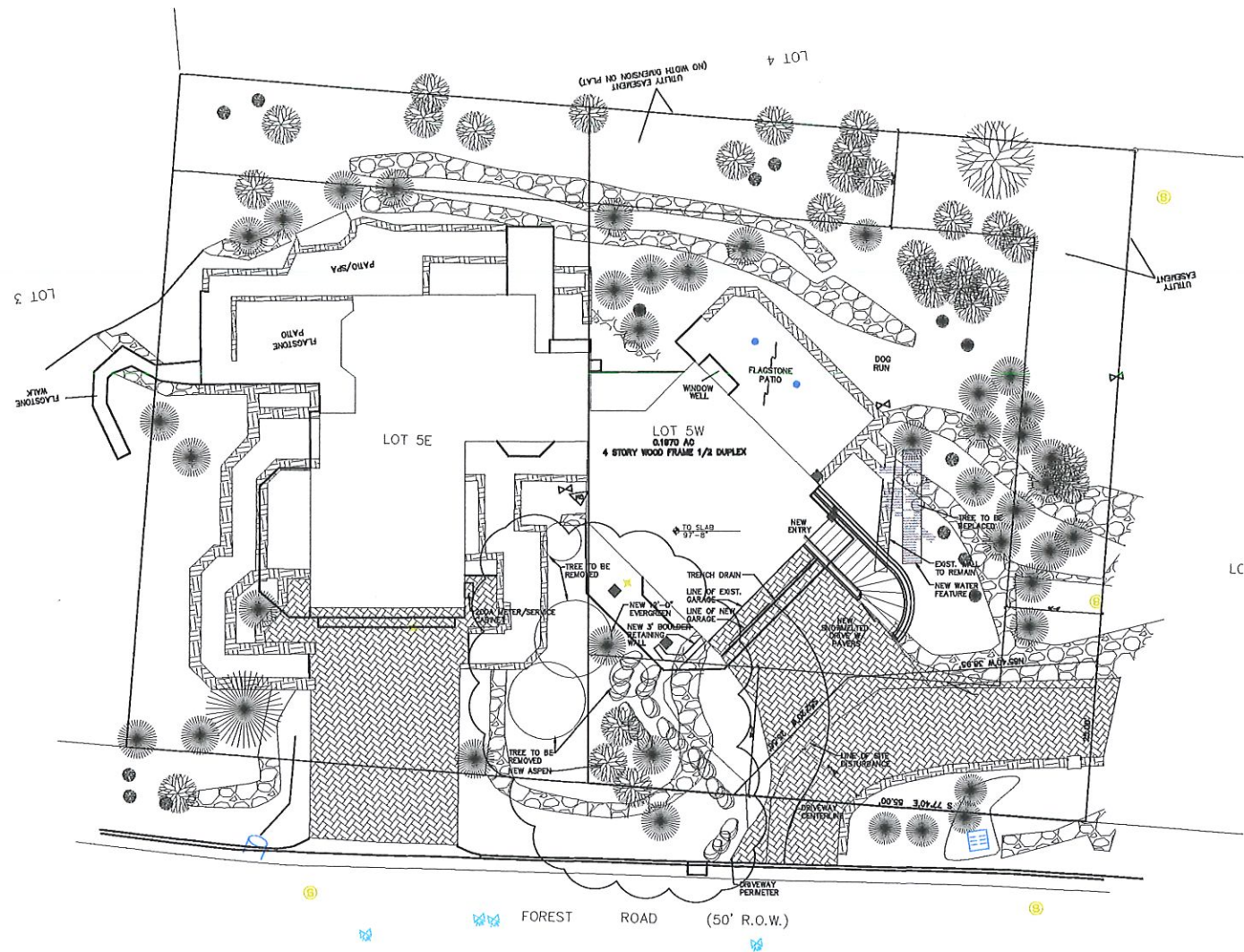
1 GARAGE LEVEL GRFA
Scale 1/8"=1'-0"



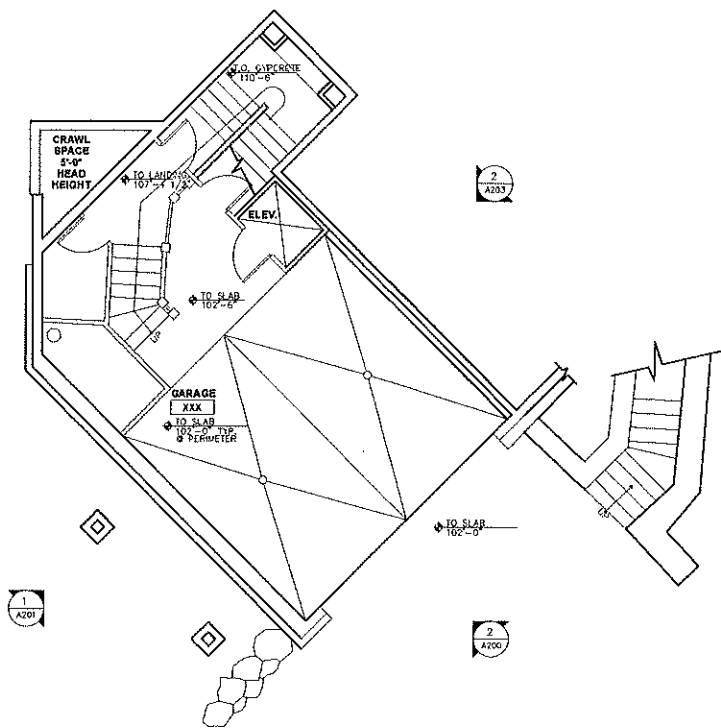
2 NEW BEDROOM GRFA
Scale 1/8"=1'-0"



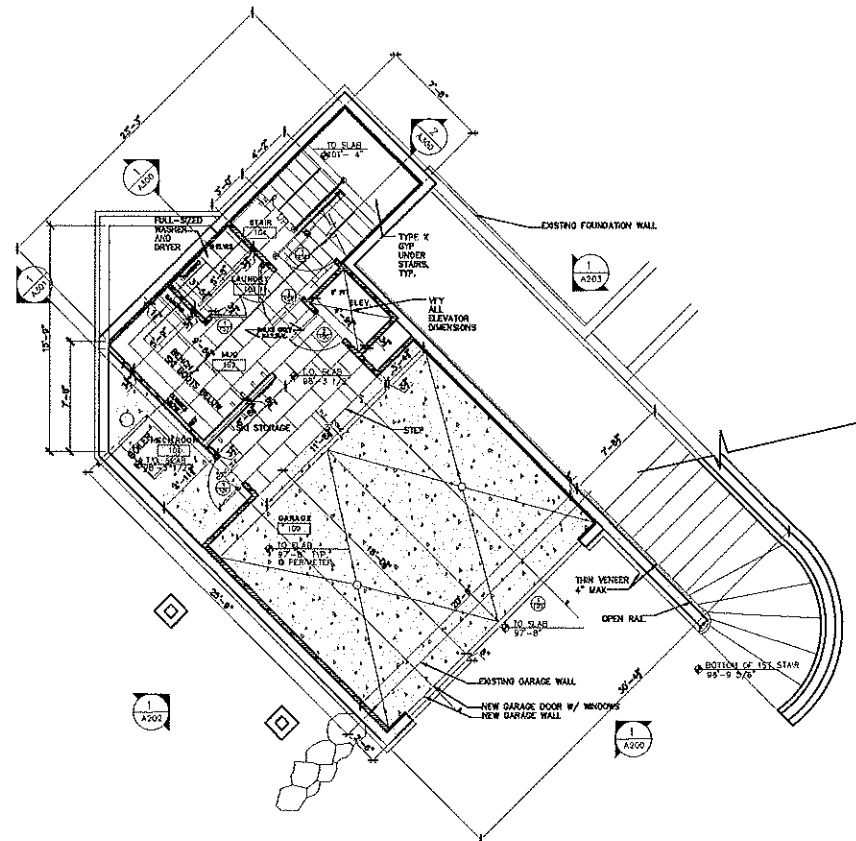
3 MASTER GRFA
Scale 1/8"=1'-0"



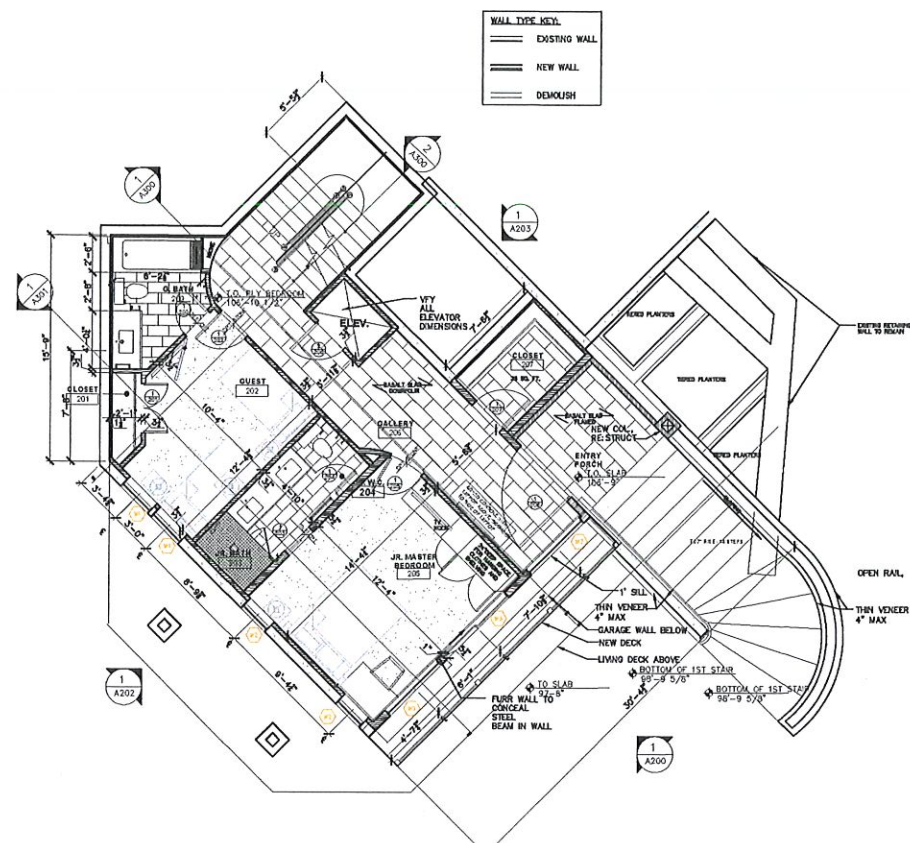
WALL TYPE KEY:	
	EXISTING WALL
	NEW WALL
	DEMOLISH



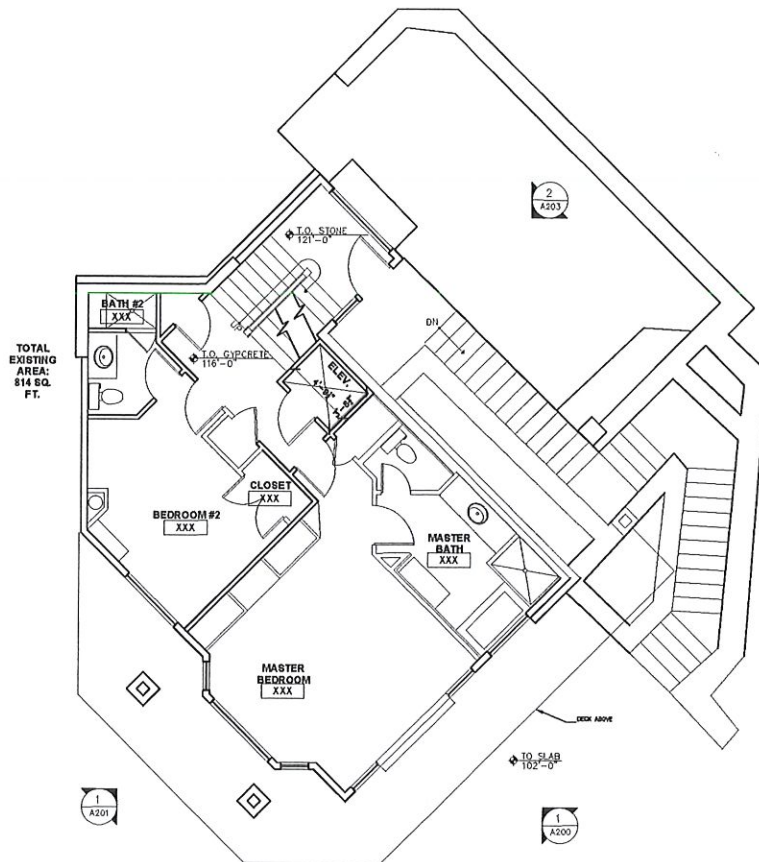
2 GARAGE LEVEL FLOOR PLAN - EXISTING
scale 1/4"=1'-0"



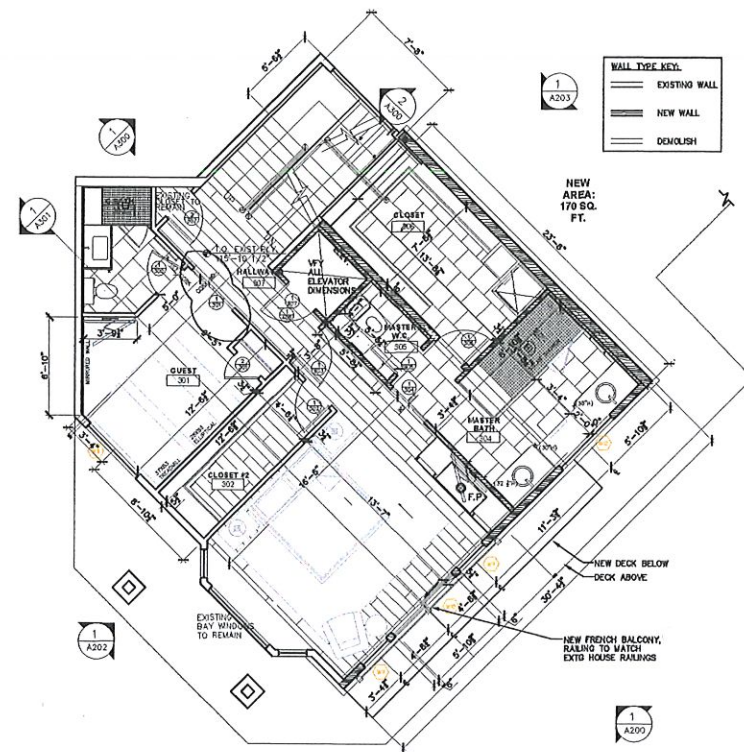
1 GARAGE LEVEL FLOOR PLAN - PROPOSED
scale 1/4"=1'-0"



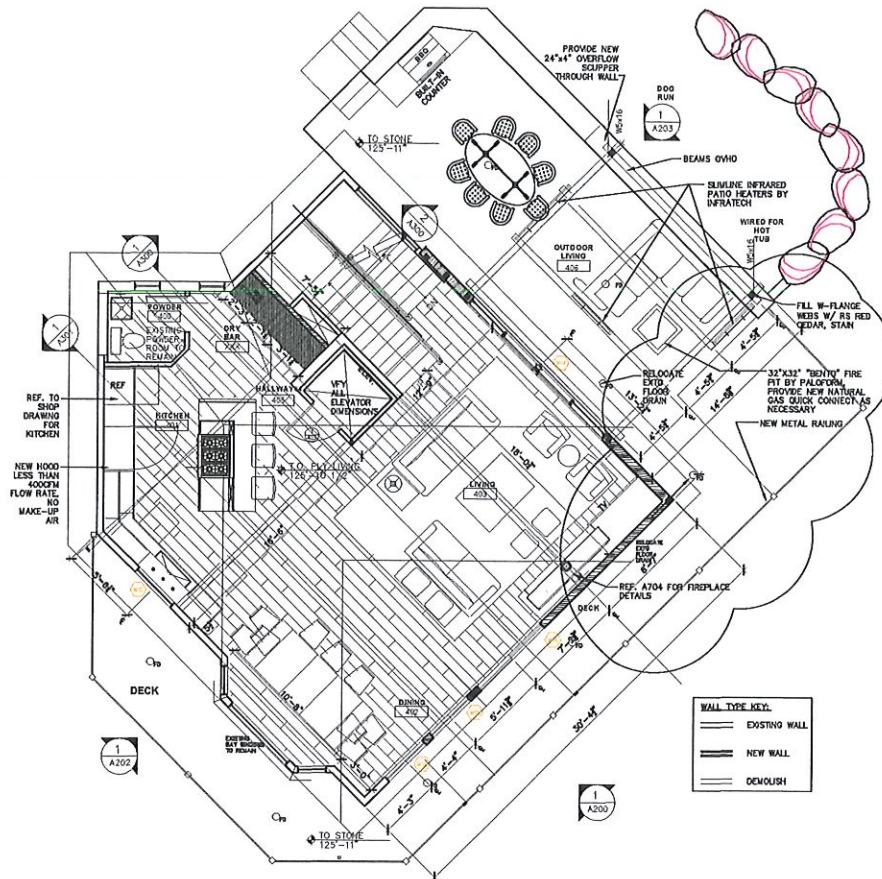
1 NEW BEDROOM LEVEL FLOOR PLAN - PROPOSED
scale 1/4"=1'-0"



2 MASTER LEVEL FLOOR PLAN - EXISTING
scale 1/4"=1'-0"

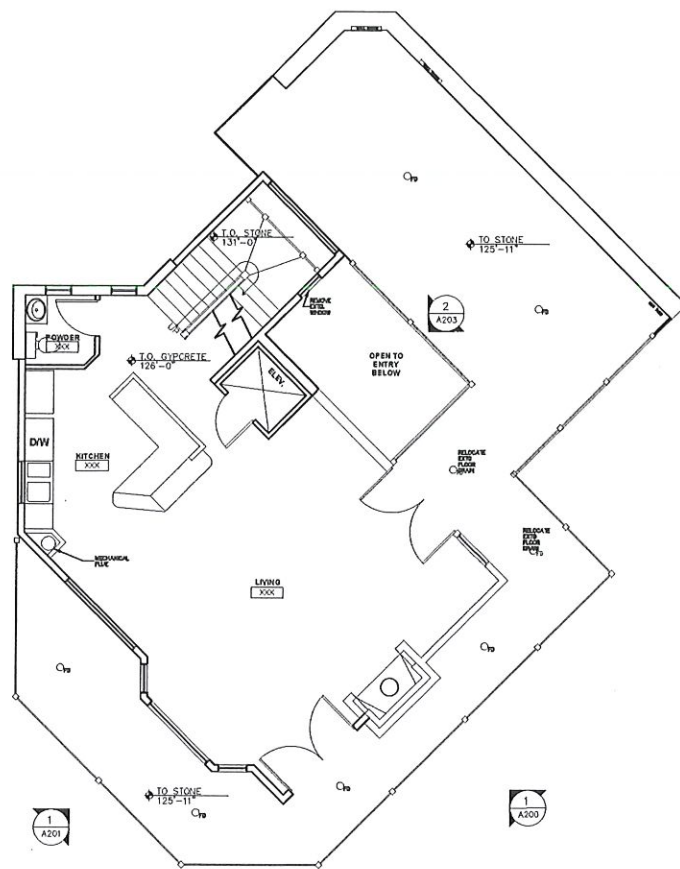


1 MASTER LEVEL FLOOR PLAN - PROPOSED
scale 1/4"=1'-0"

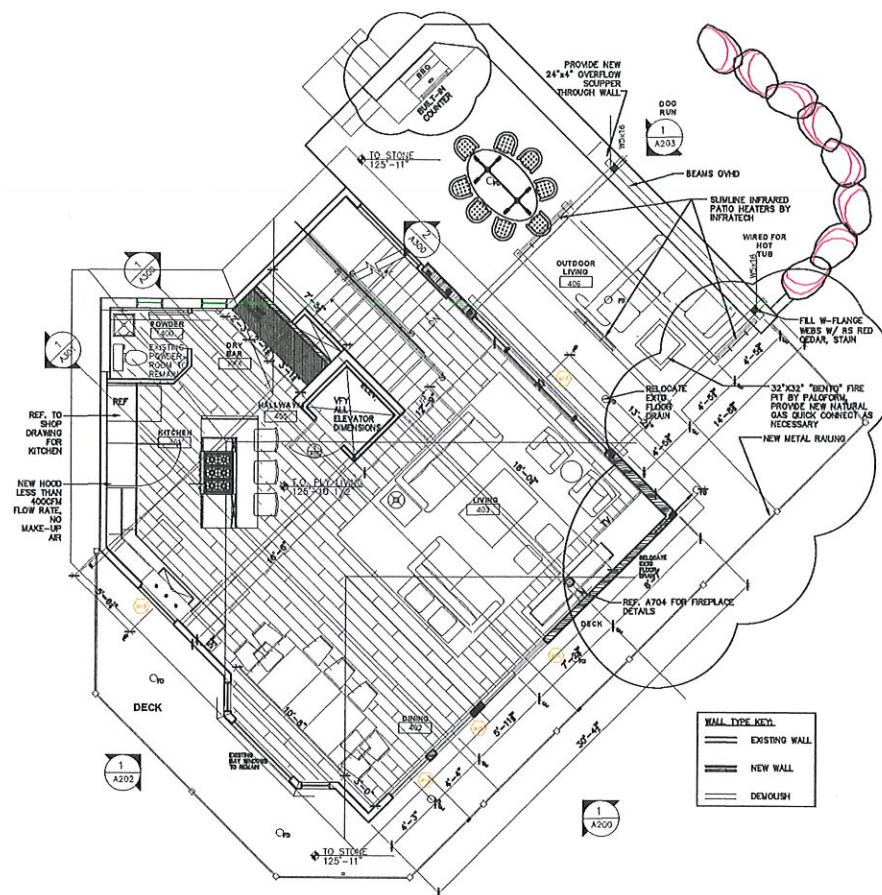


2

MAIN LEVEL FLOOR PLAN — PROPOSED OPTION B
scale 1/4"=1'-0"

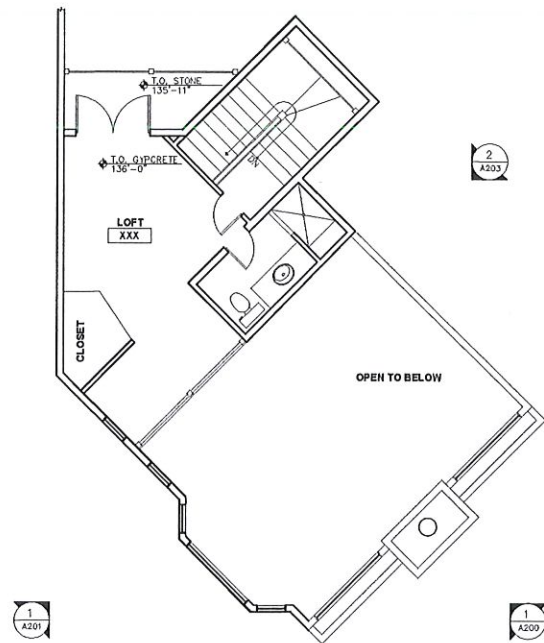


2 MAIN LEVEL FLOOR PLAN - EXISTING
scale 1/4"=1'-0"

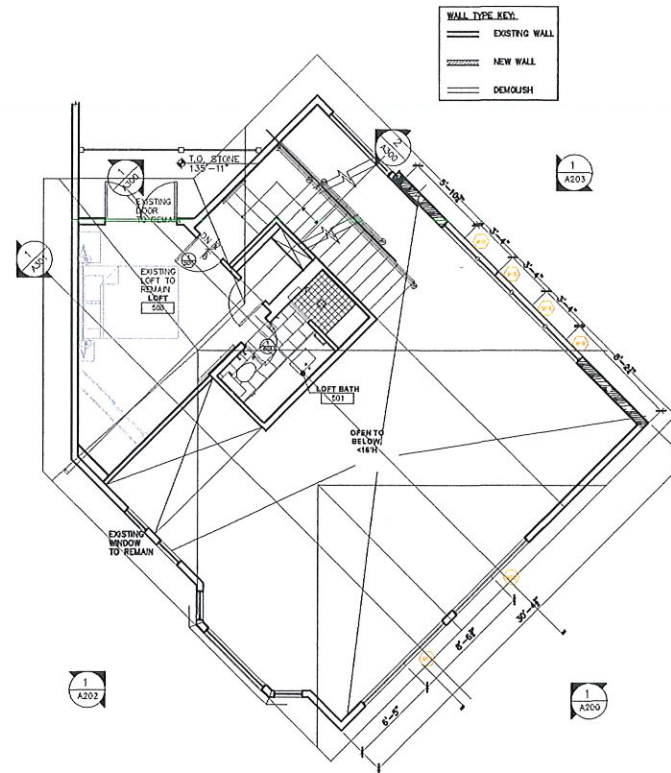


1 MAIN LEVEL FLOOR PLAN - PROPOSED
scale 1/4"=1'-0"

TOTAL
EXISTING
AREA:
377 SQ.
FT.



2 LOFT LEVEL FLOOR PLAN - EXISTING
scale 1/4"=1'-0"



1 LOFT LEVEL FLOOR PLAN - PROPOSED
scale 1/4"=1'-0"

LOT 6

