

TENTATIVE SUBDIVISION MAP

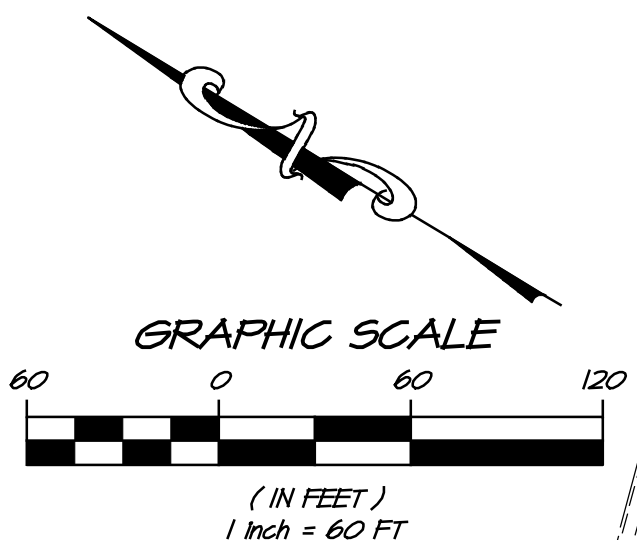
ZINFANDEL SUBDIVISION

NAPA

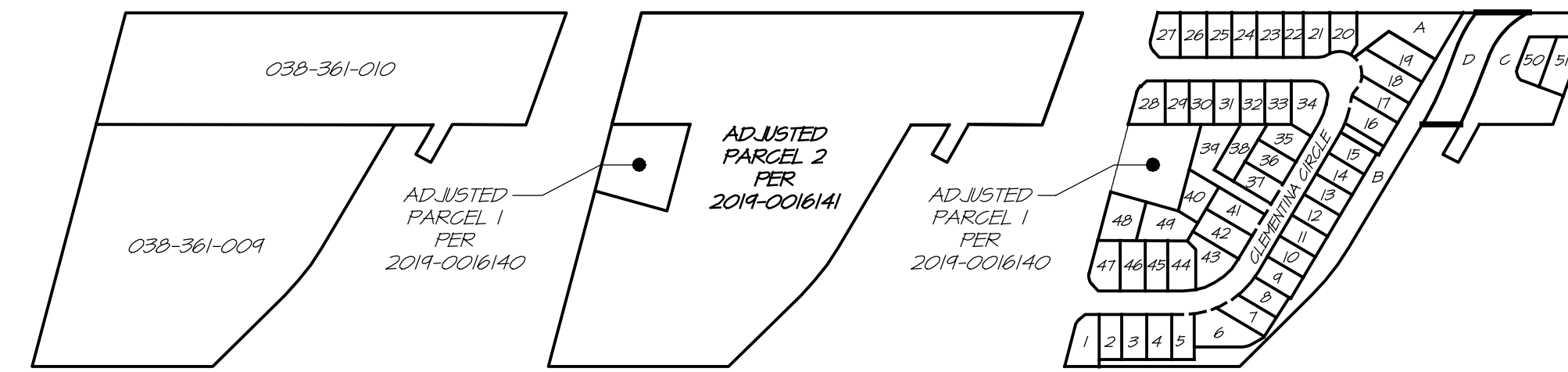
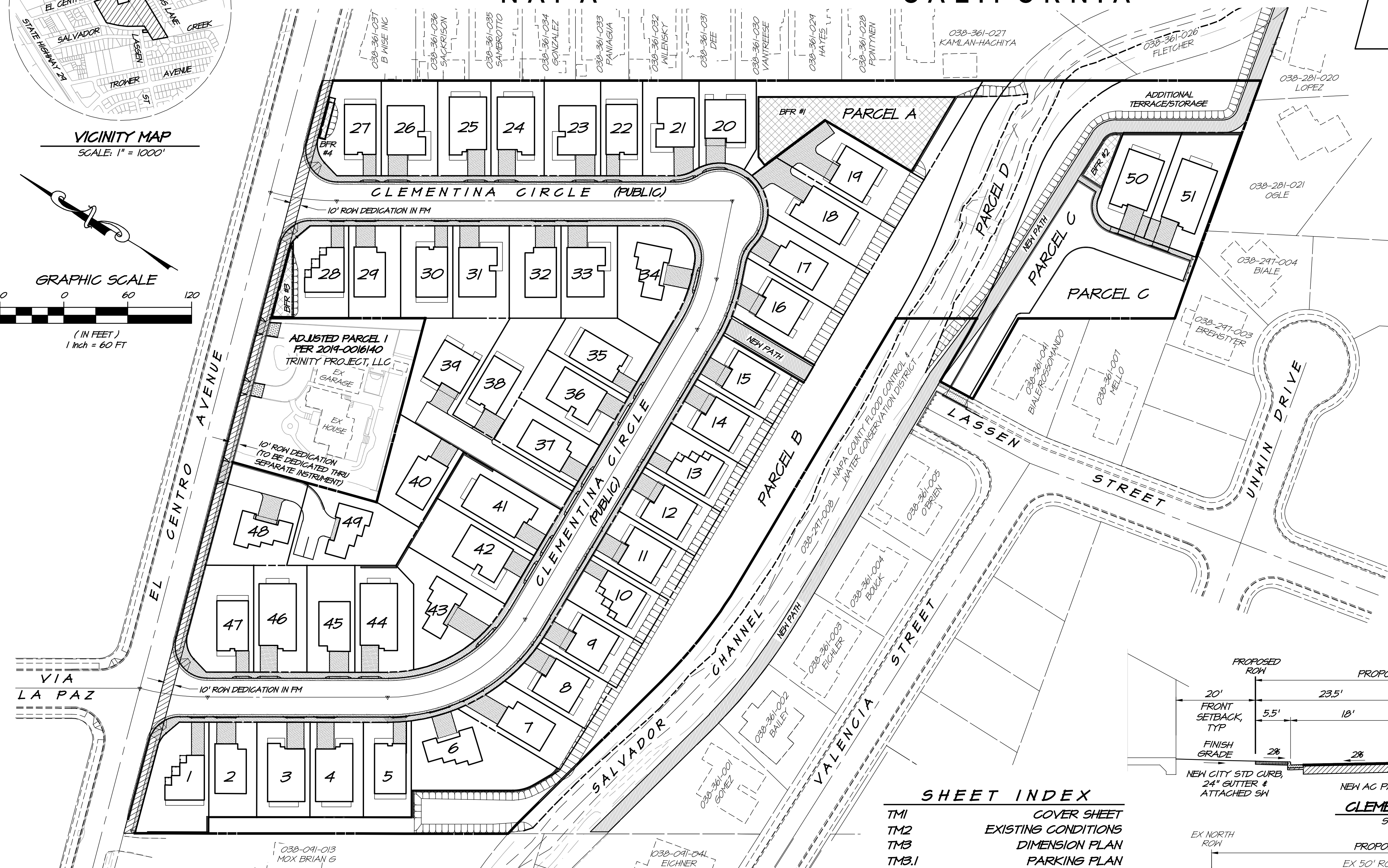
CALIFORNIA



VICINITY MAP
SCALE: 1" = 1000'



GRAPHIC SCALE
(IN FEET)
1 inch = 60 FT



FORMER PARCELS
SCALE: 1" = 300'

EXISTING PARCELS
(RECORDED LLA)
SCALE: 1" = 300'

PROPOSED PARCELS
SCALE: 1" = 300'

SYMBOL LEGEND

EXISTING	EXISTING	PROPOSED
EX 30' - EDGE OF PAVEMENT	EX AD 0 - AREA DRAIN	PRO 1' - EDGE OF PAVEMENT/CONCRETE
EX 30' - STORM DRAIN LINE	EX BO 0 - BLOW OFF	PRO 1' - WATER LINE
EX 30' - SANITARY SEWER LINE	EX DI 0 - DROP INLET	PRO 1' - STANDARD SIDEWALK
EX 30' - WATER LINE	EX HW 0 - WATER WELL	PRO 1' - STD CURB AND GUTTER
EX 30' - SANITARY SEWER MANHOLE	EX MB 0 - HOSE BIB	PRO 1' - STD WATER VALVE
EX 30' - STORM DRAIN MANHOLE	EX MW 0 - WATER METER	PRO 1' - DROP INLET
EX 30' - CURB AND GUTTER	EX GM 0 - GAS METER	PRO 1' - RETAINING WALL/CURB
EX 30' - CATCH BASIN	EX SSC 0 - SEWER CLEANOUT	PRO 1' - 100-YEAR OVERLAND RELEASE PATH
EX 30' - SIDEWALK	EX SL 0 - SEWER LATERAL	PRO 1' - FLOW DIRECTION
EX 30' - FIRE HYDRANT	EX NS 0 - WATER SERVICE	PRO 1' - STANDARD DRIVEWAY
EX 30' - WATER VALVE		PRO 1' - STREET MONUMENT
EX 30' - WOOD FENCE		PRO 1' - STORM DRAIN LINE
EX 30' - DRIVEWAY		PRO 1' - SANITARY SEWER LINE
EX 30' - CONTOUR LINE		PRO 1' - CATCH BASIN
EX 30' - SPOT ELEVATION		PRO 1' - FIRE HYDRANT
EX 30' - RETAINING WALL		PRO 1' - STORM DRAIN MANHOLE
EX 30' - STREET SIGN		PRO 1' - SANITARY SEWER MANHOLE
EX 30' - HANDICAP RAMP		PRO 1' - CURB RAMP
EX 30' - UTILITY VAULT		PRO 1' - SANITARY SEWER FLUSH HOLE
EX 30' - IRRIGATION CONTROL VALVE		PRO 1' - SLOPE AS NOTED ON PLANS
		PRO 1' - STORM DRAIN METERING STRUCTURE
		PRO 1' - WATER SERVICE W/ BFP & WM
		PRO 1' - SEWER LATERAL W/ CLEANOUT
		PRO 1' - AREA DRAIN
		PRO 1' - STREET LIGHT
		PRO 1' - MAIL BOX

PROJECT INFORMATION

OWNERS:	TRINITY PROJECT, LLC 977 SALVADOR AVENUE NAPA, CALIFORNIA 94558
ARCHITECT:	KIRK Geyer 1038 ROSS CIRCLE NAPA, CALIFORNIA 94558 (707) 337-3025
LANDSCAPE ARCHITECT:	GSM LANDSCAPE ARCHITECTS, INC. 1700 SONGOL AVENUE, STE. 23 NAPA, CALIFORNIA 94559 (707) 255-4630
GEOTECHNICAL ENGINEER:	RSH CONSULTANTS 1305 NORTH DUTTON AVENUE SANTA ROSA, CALIFORNIA 95401 (707) 554-1072
ARBORIST:	FRANK, TREES AND ASSOCIATES, LLC P.O. BOX 25 NAPA, CALIFORNIA 94559 (707) 226-2884
CIVIL ENGINEER & SURVEYOR:	RSA+ 1515 FOURTH STREET NAPA, CALIFORNIA 94559 (707) 252-3301
PARCEL NO.:	ADJUSTED PARCEL 2 (RECORDED LLA)
PARCEL AREA:	1.56 ACRES
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	SINGLE FAMILY RESIDENTIAL
WATER:	CITY OF NAPA
SEWER:	NAPA SANITATION DISTRICT
EXISTING ZONING:	RS 4
PROPOSED ZONING:	RS 4
GENERAL PLAN DESIGNATION AT THE TIME OF PROJECT COMPLETION NOTIFICATION (JULY 1, 2021):	SFR-20

SHEET INDEX

TM1	COVER SHEET
TM2	EXISTING CONDITIONS
TM3	DIMENSION PLAN
TM3.1	PARKING PLAN
TM4	GRADING PLAN (North Portion)
TM5	GRADING PLAN (South Portion)
TM6	GRADING SECTIONS
TM7	UTILITY PLAN (North Portion)
TM8	UTILITY PLAN (South Portion)
TM9	STORMWATER CONTROL PLAN
TM10	ESCP SITE PLAN

SITE PLAN

SCALE: 1" = 60'

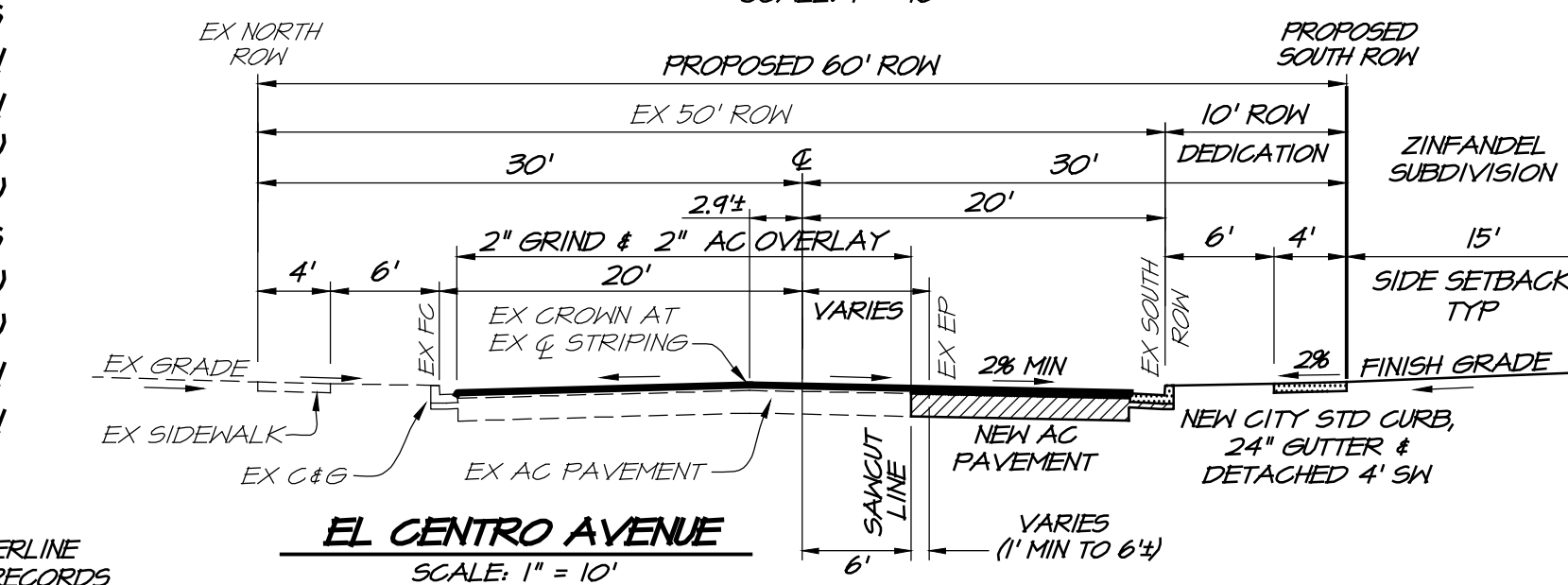
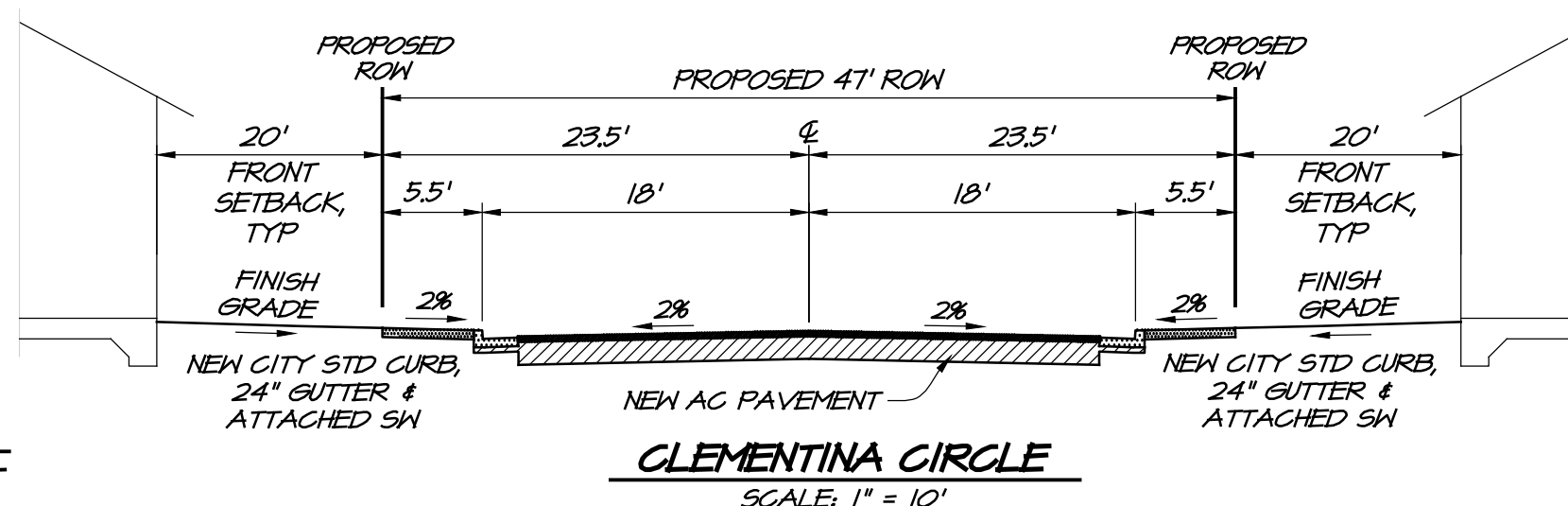
BASIS OF BEARINGS

THE BEARING OF NORTH 79°22'58" EAST BETWEEN THE FOUND MONUMENTS ON THE CENTERLINE OF EL CENTRO AVENUE PER BOOK 14 OF RECORD MAPS AT PAGE 100, NAPA COUNTY RECORDS AND BOOK 20 OF RECORD MAPS AT PAGES 7-10, NAPA COUNTY RECORDS.

TOPOGRAPHY NOTE

TOPOGRAPHY SHOWN ON THESE PLANS WAS COMPILED FROM A FIELD SURVEY BY RSA+ DONE ON JUNE 2017.

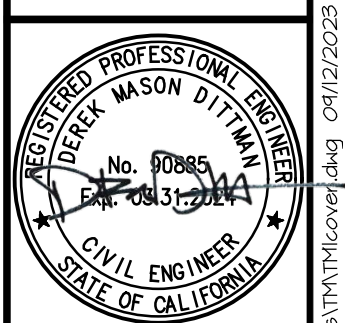
HORIZONTAL AND VERTICAL BENCHMARKS				
G.P.S. CONTROL COORDINATE DATA				
NAD 1983 NAD80 PER 41 RS 44/47, NAPA COUNTY RECORDS				
#	GROUND NORTHING	GROUND EASTING	ELEVATION	DESCRIPTION
22	1882664.801	6410911.274	70.221'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & GASK DRIVE
26	1885246.580	6412246.291	70.212'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET AND SWEETBRIAR DRIVE (IN NORTHBOUND LANE OF JEFFERSON STREET)
27	1886684.244	6411049.718	76.951'	2" BRASS DISC IN WELL IN WESTBOUND LANE OF SALVADOR AVENUE AT JEFFERSON STREET
38	1883934.840	6414442.546	60.241'	3" BRASS DISC IN WELL AT INTERSECTION OF TRONER AVENUE & STOVER STREET



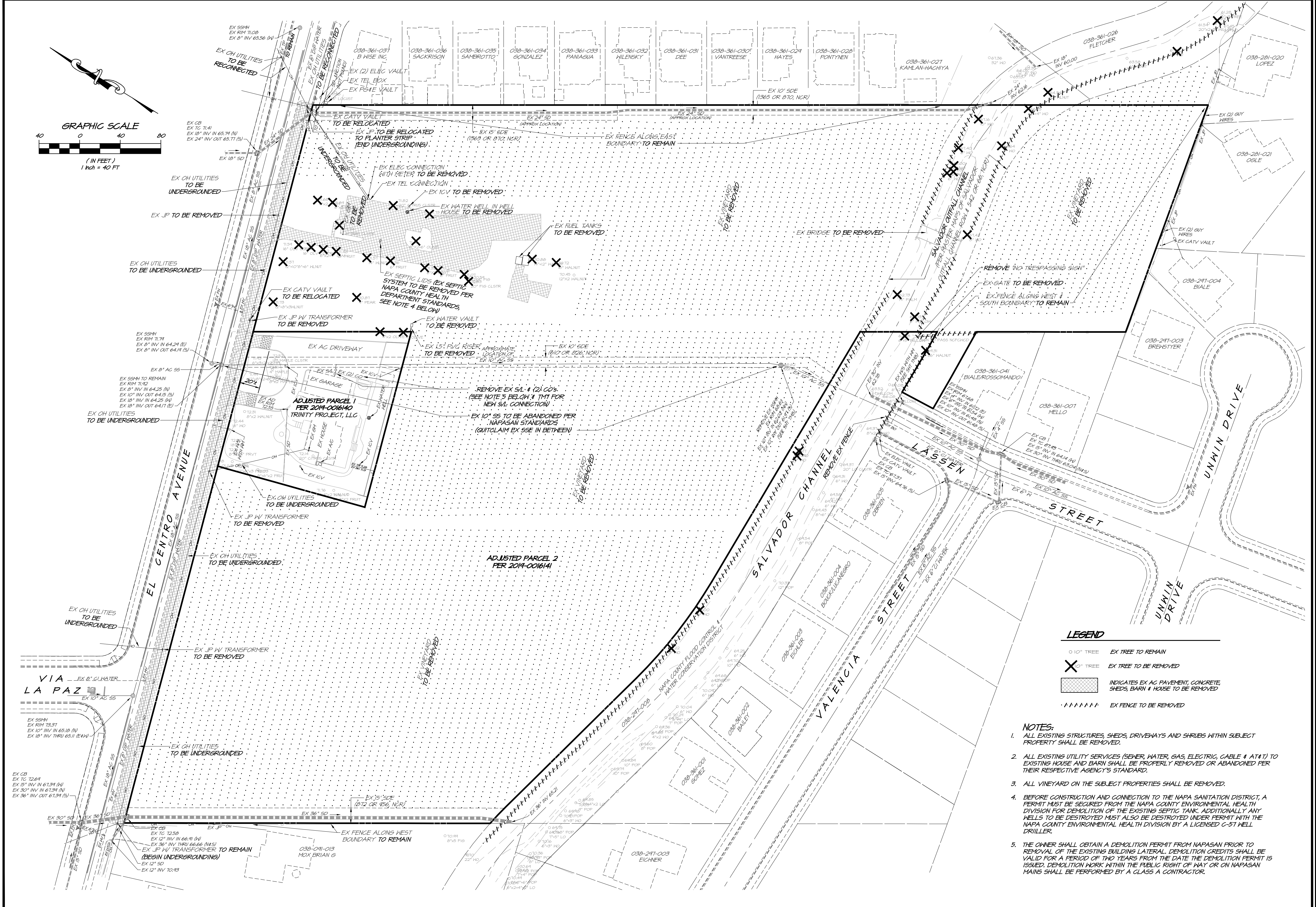
PROJECT NOTES

- TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS FROM A FIELD SURVEY PERFORMED BY RSA+ IN JUNE 2017.
- BOUNDARY INFORMATION SHOWN IS FROM A RECORD OF SURVEY PERFORMED BY RSA+ IN OCTOBER 2017.
- PORTIONS OF THE SUBJECT PROPERTY DO LIE WITHIN THE 100 YEAR FLOODPLAIN PER THE BFE'S SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON SHEETS TM4 AND TM5.
- THIS MAP SHOWS ALL CONTIGUOUS PROPERTY OF THE OWNER.
- ONE RESIDENTIAL HOUSE AND A BARN EXIST ON THE SUBJECT PROPERTY.
- EXISTING AND PROPOSED EASEMENTS ARE SHOWN.
- EXISTING AND PROPOSED UTILITIES ARE SHOWN. EXISTING UNDERGROUND UTILITIES AS SHOWN WERE DRAWN FROM RECORD SOURCES ONLY. BURIED PIPES WERE NOT VERIFIED, NOR WAS ANY SUBSURFACE EXPLORATION CONDUCTED.
- ALL EXISTING UTILITY POLES AND OVERHEAD LINES ALONG STREET FRONTAGE SHALL BE UNDERGROUND.
- CONTOUR LINES AS SHOWN ON SHEETS TM2, TM4 AND TM5 ARE AT 1 FOOT INTERVALS.
- THE EXISTING WELL FOR THE EXISTING HOUSE WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS A SEPTIC TANK FOR THE EXISTING HOUSE WHICH WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS NO PHASING PLANNED FOR THIS PROJECT.
- THERE ARE NO PUBLIC RECREATION SITES OR PARKS PROPOSED IN THIS SUBDIVISION. THERE ARE PATHS PROPOSED IN THIS PROJECT AS SHOWN ON PLANS.
- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.

ABBREVIATIONS			
AB	AGGREGATE BASE	FM	FINAL MAP
AC	ASPHALT CONCRETE	FT	FEET
AD	AREA DRAIN	GAR	GARAGE
ADA	AMERICAN WITH DISABILITIES ACT	GB	GRADE BREAK
APN	ASSESSOR'S PARCEL NUMBER	GF	GARAGE FLOOR
APPROX	APPROXIMATE	GM	GAS METER
AT&T	AMERICAN TELEPHONE & TELEGRAPH	GFS	GLOBAL POSITIONING SYSTEM
BASHAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION	GR	GRADE
BFE	BASE FLOOD ELEVATION	HB	HOSE BIB
BFP	BACKFLOW PREVENTER DEVICE	HOA	HOMEOWNERS ASSOCIATION
BIO	BIORETENTION	HP	HIGH POINT
BMP	BEST MANAGEMENT PRACTICE	ICV	IRRIGATION CONTROL VALVE
BO	BLOW OFF	INV	INVERT ELEVATION
BRF	BIORETENTION FACILITY	JP	JOINT POLE
BSW	BACK OF SIDEWALK	L	LENGTH
BN	BOTTOM OF WALL ELEVATION	LA	LOT LINE ADJUSTMENT
CATV	CABLE TELEVISION	LP	LOW POINT
CB	CATCH BASIN	MAX	MAXIMUM
CI	CAST IRON	MB	MAILBOX
C	CENTERLINE	MIN	MINIMUM
CO	CONCRETE	N	NORTH
CONC	CURB RETURN	NAD	NORTH AMERICAN DATUM
CONFORM	CONFORM	NAPASAN	NAPA SANITATION DISTRICT
DET	DETENTION	NAV	NORTH AMERICAN VERTICAL DATUM
DIP	DUCTILE IRON PIPE	NCR	NAPA COUNTY RECORDS
DMA	DRAINAGE MANAGEMENT AREA	NCRCHD	NAPA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
E	EAST	NO	NUMBER
EG	EXISTING GRADE	OH	OVERHEAD UTILITIES
ELEV	ELEVATION	OR	OFFICIAL RECORDS
EP	EDGE OF PAVEMENT	P	PARKING SPACE
ELEC	ELECTRIC	PGL	PARCEL
EX	EXISTING	PAE	PRIVATE ACCESS EASEMENT
FB	FLAT BOTTOM ELEVATION	PGE	PACIFIC GAS & ELECTRIC
FC	FACE OF CURB	PR	PRIVATE
FF	FINISH FLOOR ELEVATION	PSDE	PRIVATE STORM DRAIN EASEMENT
FH	FIRE HYDRANT	PUE	PUBLIC UTILITY EASEMENT
FL	FLOW LINE	PVC	POLYVINYL CHLORIDE
		PVT	PRIVATE
		R	RADIUS
		RC	RETAINING CURB
		RC	REINFORCED CONCRETE PIPE
		RET	RETAINING
		ROW	RIGHT OF WAY LINE
		RW	RETAINING WALL
		RS	RECORD SURVEY
		S	SLOPE, SOUTH
		SCP	STORMWATER CONTROL PLAN
		SD	STORM DRAIN
		SDCO	STORM DRAIN CLEANOUT
		SDE	STORM DRAIN EASEMENT
		SDH	STORM DRAIN MANHOLE
		SDMS	STORM DRAIN METERING STRUCTURE
		SQ FT, SF	SQUARE FEET
		SFR	SINGLE FAMILY RESIDENCE
		SL	STREET LIGHT
		SL	SANITARY LATERAL
		SS	SANITARY SEWER
		SSCO	SANITARY SEWER CLEANOUT
		SSS	SANITARY SEWER EASEMENT
		SSPH	SANITARY SEWER FLUSH HOLE
		SSMH	SANITARY SEWER MANHOLE
		STD	STANDARD
		SW	SIDEWALK
		TA	TOTAL
		TA	TREATMENT AREA
		TC	TOP OF CURB ELEVATION
		TEL	TELEPHONE
		TEL	TELEPHONE POLE
		TYP	TYPICAL
		TM	TOP OF WALL
		UE	UTILITY EASEMENT
		VAR	VARIES
		W	WATER
		WM	WATER METER
		WS	WATER SERVICE
		WSE	WATER SURFACE ELEVATION
		WV	WATER VALVE



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710



LEGEND

- 10" TREE EX TREE TO REMAIN
- ✕ 10" TREE EX TREE TO BE REMOVED
- [Hatched Box] INDICATES EX AC PAVEMENT, CONCRETE, SHEDS, BARN & HOUSE TO BE REMOVED
- +++++ EX FENCE TO BE REMOVED

- NOTES:**
- ALL EXISTING STRUCTURES, SHEDS, DRIVEWAYS AND SHRUBS WITHIN SUBJECT PROPERTY SHALL BE REMOVED.
 - ALL EXISTING UTILITY SERVICES (SEWER, WATER, GAS, ELECTRIC, CABLE & AT&T) TO EXISTING HOUSE AND BARN SHALL BE PROPERLY REMOVED OR ABANDONED PER THEIR RESPECTIVE AGENCY'S STANDARD.
 - ALL VINEYARD ON THE SUBJECT PROPERTIES SHALL BE REMOVED.
 - BEFORE CONSTRUCTION AND CONNECTION TO THE NAPA SANITATION DISTRICT, A PERMIT MUST BE SECURED FROM THE NAPA COUNTY ENVIRONMENTAL HEALTH DIVISION FOR DEMOLITION OF THE EXISTING SEPTIC TANK. ADDITIONALLY ANY WELLS TO BE DESTROYED MUST ALSO BE DESTROYED UNDER PERMIT WITH THE NAPA COUNTY ENVIRONMENTAL HEALTH DIVISION BY A LICENSED C-51 WELL DRILLER.
 - THE OWNER SHALL OBTAIN A DEMOLITION PERMIT FROM NAPASAN PRIOR TO REMOVAL OF THE EXISTING BUILDING LATERAL. DEMOLITION CREDITS SHALL BE VALID FOR A PERIOD OF TWO YEARS FROM THE DATE THE DEMOLITION PERMIT IS ISSUED. DEMOLITION WORK WITHIN THE PUBLIC RIGHT OF WAY OR ON NAPASAN MAINS SHALL BE PERFORMED BY A CLASS A CONTRACTOR.

REVISIONS		DATE	NO.	BY	APPD.

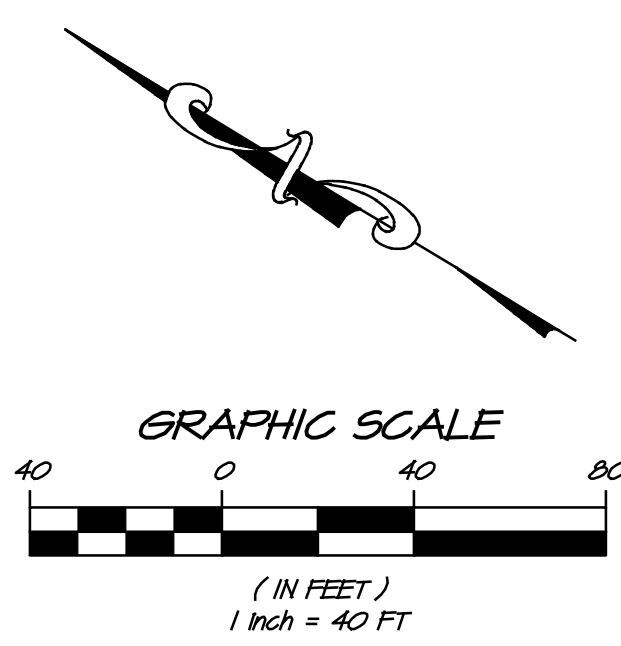
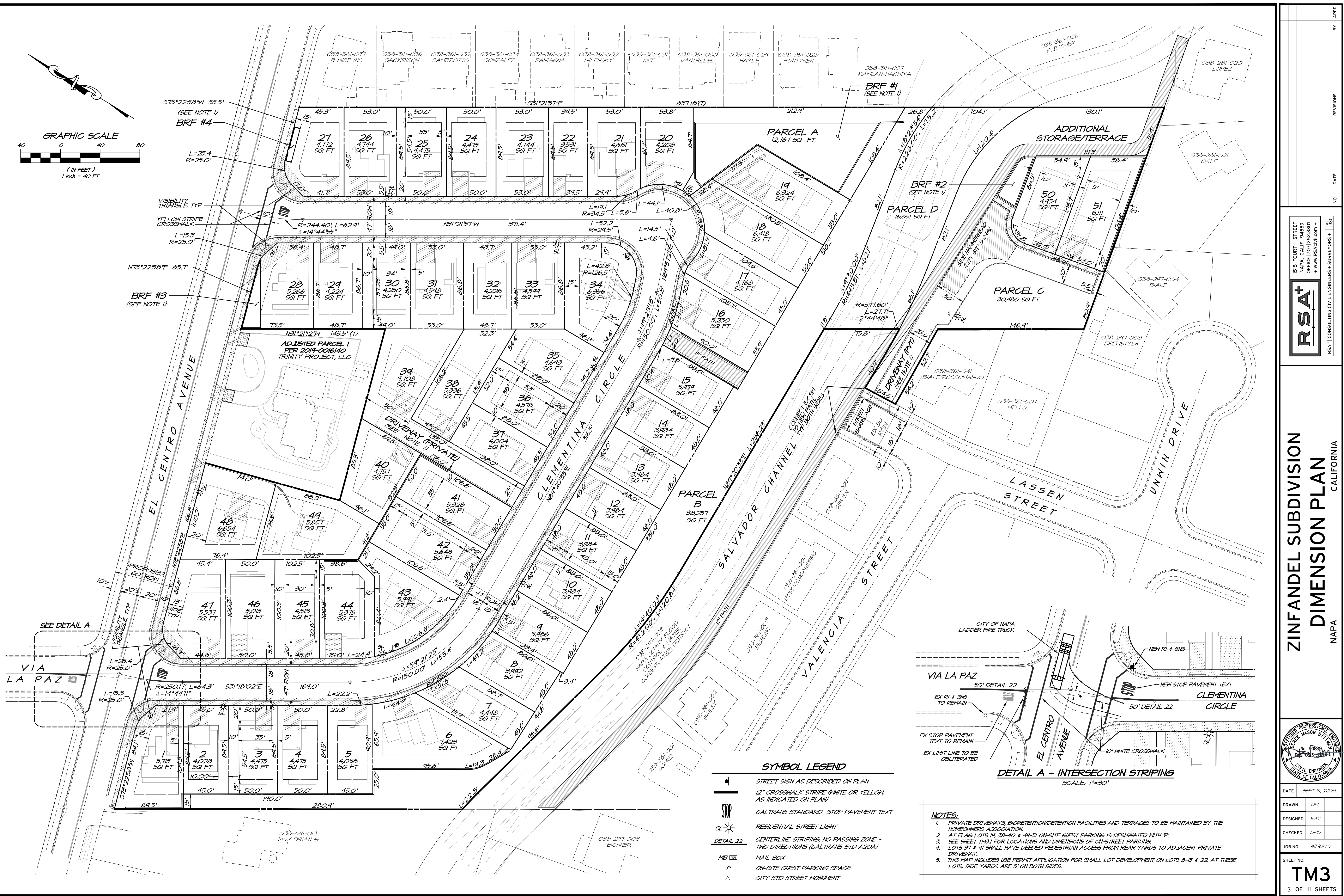
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NAPA, CALIF. 94559
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ZINFANDEL SUBDIVISION
EXISTING CONDITIONS
CALIFORNIA

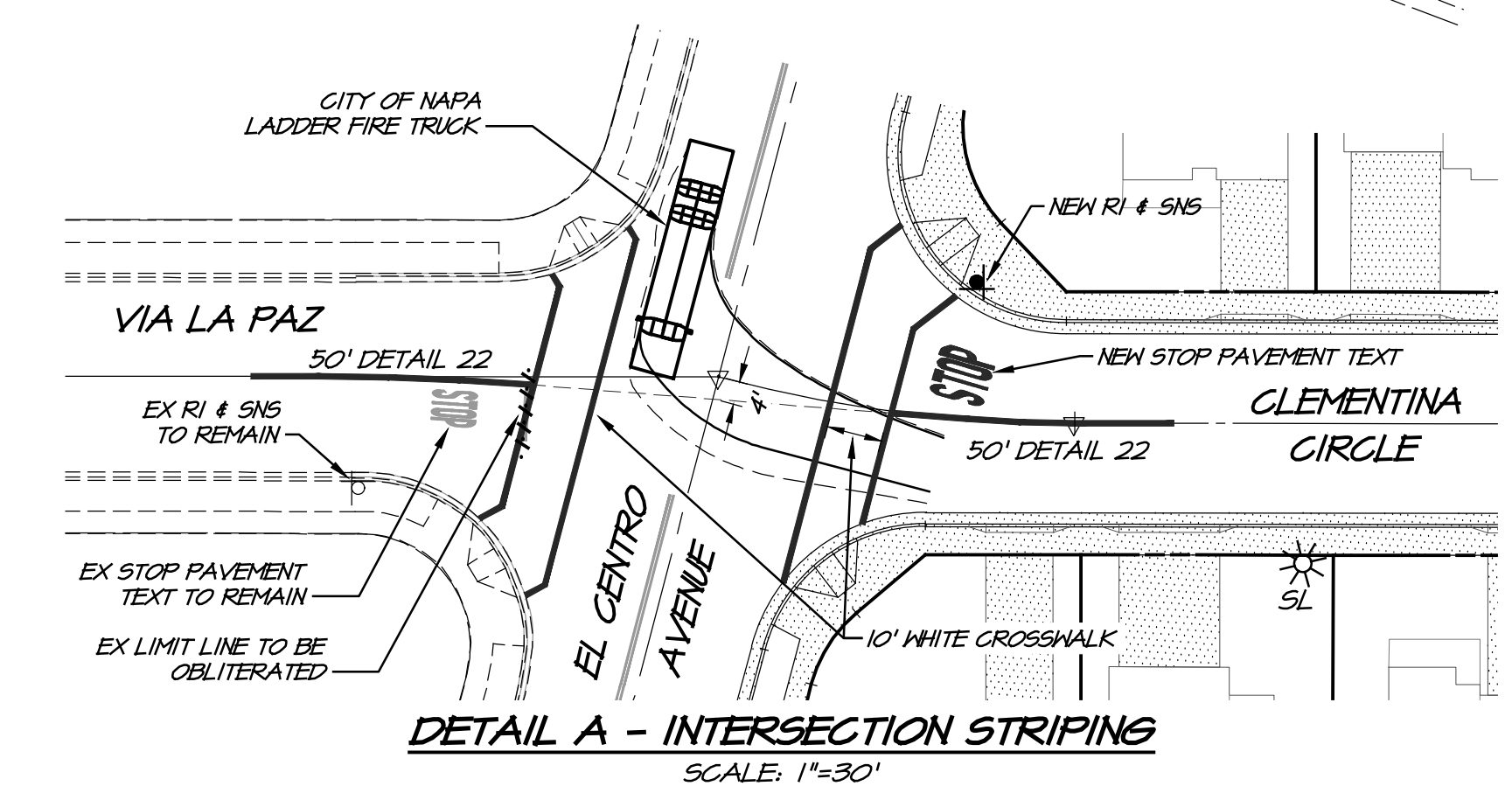
NAPA

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMG
JOB NO.: 4171010
SHEET NO.: **TM2**
2 OF 11 SHEETS



- SYMBOL LEGEND**
- STREET SIGN AS DESCRIBED ON PLAN
 - 12" CROSSWALK STRIPE (WHITE OR YELLOW, AS INDICATED ON PLAN)
 - CALTRANS STANDARD STOP PAVEMENT TEXT
 - RESIDENTIAL STREET LIGHT
 - CENTERLINE STRIPING, NO PASSING ZONE - TWO DIRECTIONS (CALTRANS STD A20A)
 - MAIL BOX
 - ON-SITE GUEST PARKING SPACE
 - CITY STD STREET MONUMENT

- NOTES:**
- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - AT FLAG LOTS 19, 38-40 & 44-51 ON-SITE GUEST PARKING IS DESIGNATED WITH "P".
 - SEE SHEET TMB1 FOR LOCATIONS AND DIMENSIONS OF ON-STREET PARKING.
 - LOTS 31 & 41 SHALL HAVE DEEDED PEDESTRIAN ACCESS FROM REAR YARDS TO ADJACENT PRIVATE DRIVEWAY.
 - THIS MAP INCLUDES USE PERMIT APPLICATION FOR SMALL LOT DEVELOPMENT ON LOTS 8-15 & 22. AT THESE LOTS, SIDE YARDS ARE 5' ON BOTH SIDES.



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ZINFANDEL SUBDIVISION
DIMENSION PLAN
CALIFORNIA

NAPA

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMG

JOB NO.: 4170110

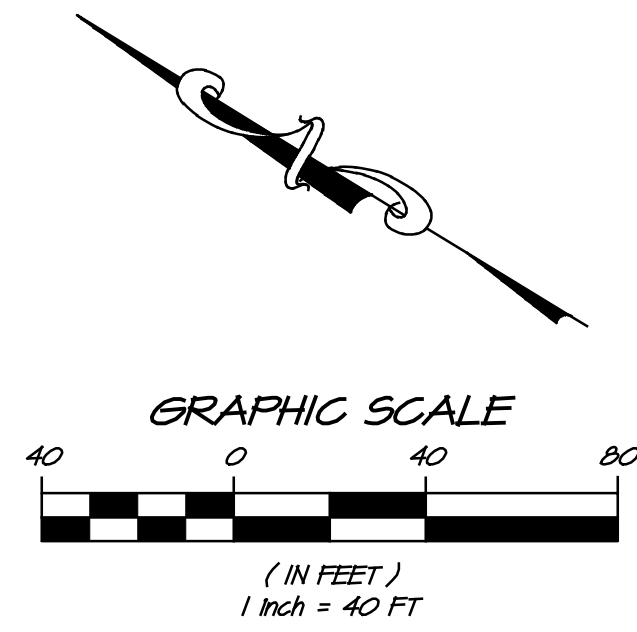
SHEET NO.: TMB3

3 OF 11 SHEETS

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PRELIMINARY - NOT FOR CONSTRUCTION



SYMBOL LEGEND	
SYMBOL	CONTRACTOR TO INSTALL
—	INDICATES PAINT CURB RED
☼	RESIDENTIAL STREET LIGHT
MB	MAIL BOX
● FH	FIRE HYDRANT

- NOTES**
- GARAGES ARE TYPICALLY SET BACK 20' MINIMUM FROM THE BACK OF SIDEWALK OR EDGE OF PRIVATE DRIVEWAY TO PROVIDE ON-SITE PARKING WITHIN THE DRIVEWAYS.
 - ON FLAG LOTS 14, 38-40, AND 44-51, ADDITIONAL ON-SITE GUEST PARKING IS DESIGNATED WITH P1.
 - ON-STREET PARKING SPACES ARE SHOWN ABOVE.
 - CURBS TO BE PAINTED RED AT 15' EACH SIDE OF ALL FIRE HYDRANTS OR AS SHOWN.
 - CURBS TO BE PAINTED RED AT MAIL BOXES AS SHOWN.
 - INTERSECTION CURBS SHALL BE PAINTED RED PER CITY STANDARDS 5-25 VISIBILITY TRIANGLE REQUIREMENTS.

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REGISTERED PROFESSIONAL ENGINEER
No. 98885
DATE 01/11/2024
CIVIL ENGINEER
STATE OF CALIFORNIA

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

JOB NO.: 41710110

SHEET NO.: **TM3.1**

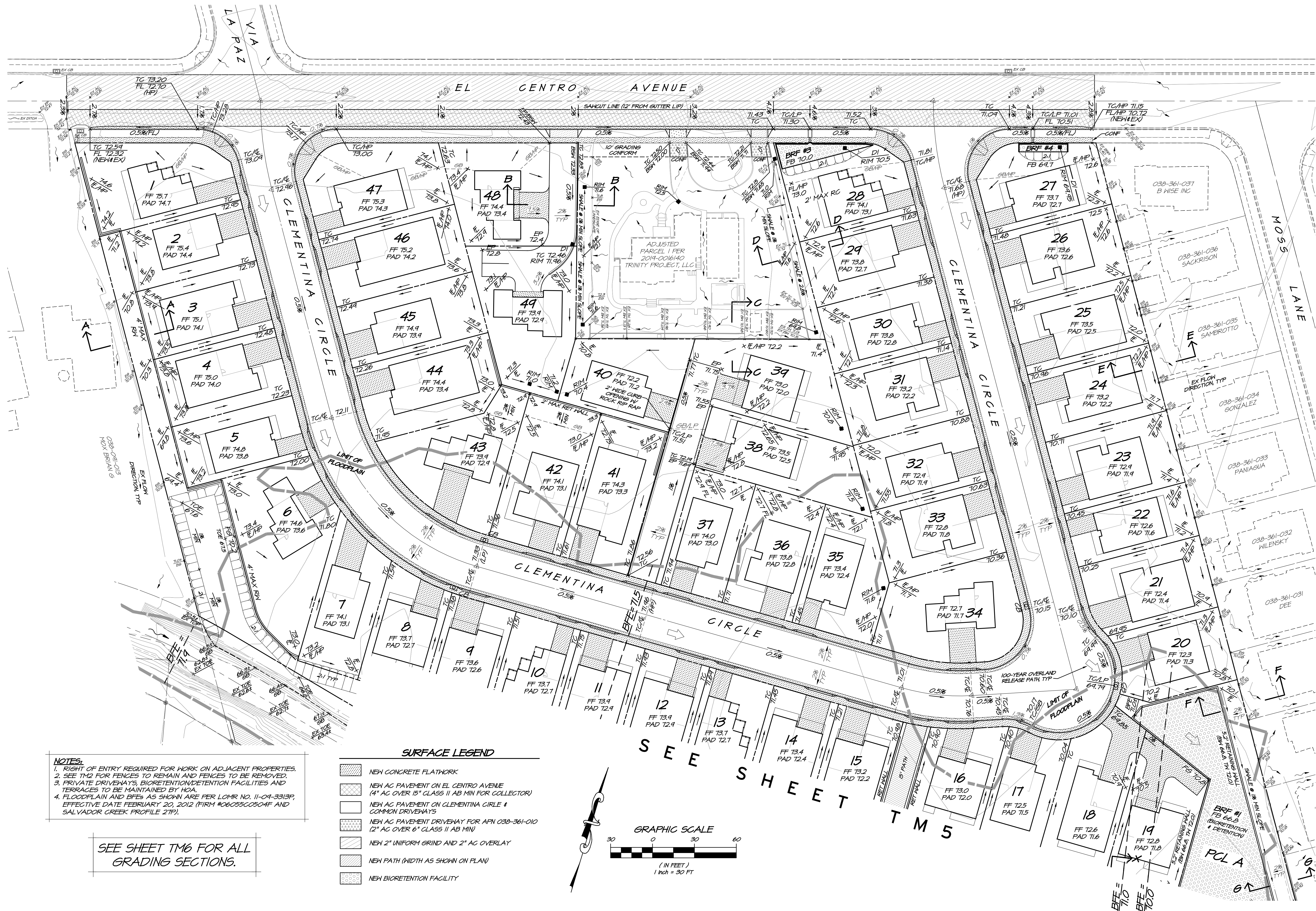
4 OF 11 SHEETS

ZINFANDEL SUBDIVISION
PARKING PLAN
NAPA
CALIFORNIA

REVISIONS
NO. DATE
BY APPD

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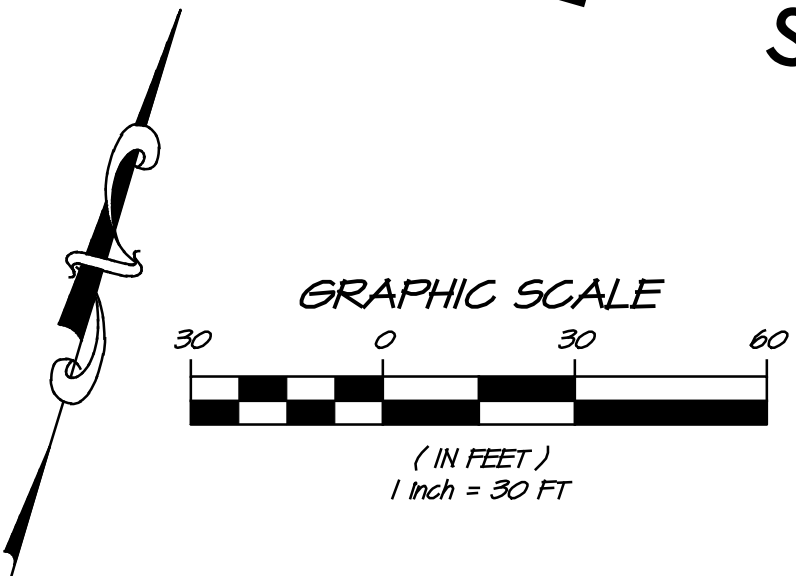
PRELIMINARY - NOT FOR CONSTRUCTION



NOTES:
1. RIGHT OF ENTRY REQUIRED FOR WORK ON ADJACENT PROPERTIES.
2. SEE TM2 FOR FENCES TO REMAIN AND FENCES TO BE REMOVED.
3. PRIVATE DRIVEWAYS, BIORETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
4. FLOODPLAIN AND BFEs AS SHOWN ARE PER LOMR NO. 11-04-3313P, EFFECTIVE DATE FEBRUARY 20, 2012 (FIRM #06055C0504F AND SALVADOR CREEK PROFILE 2TP).

SEE SHEET TM6 FOR ALL GRADING SECTIONS.

- SURFACE LEGEND**
- NEW CONCRETE FLATWORK
 - NEW AC PAVEMENT ON EL CENTRO AVENUE (4" AC OVER 15" CLASS II AB MIN FOR COLLECTOR)
 - NEW AC PAVEMENT ON CLEMENTINA CIRCLE & COMMON DRIVEWAYS
 - NEW AC PAVEMENT DRIVEWAY FOR APN 038-361-010 (2" AC OVER 6" CLASS II AB MIN)
 - NEW 2" UNIFORM GRIND AND 2" AC OVERLAY
 - NEW PATH (WIDTH AS SHOWN ON PLAN)
 - NEW BIORETENTION FACILITY



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GRADING PLAN (North Portion)
CALIFORNIA

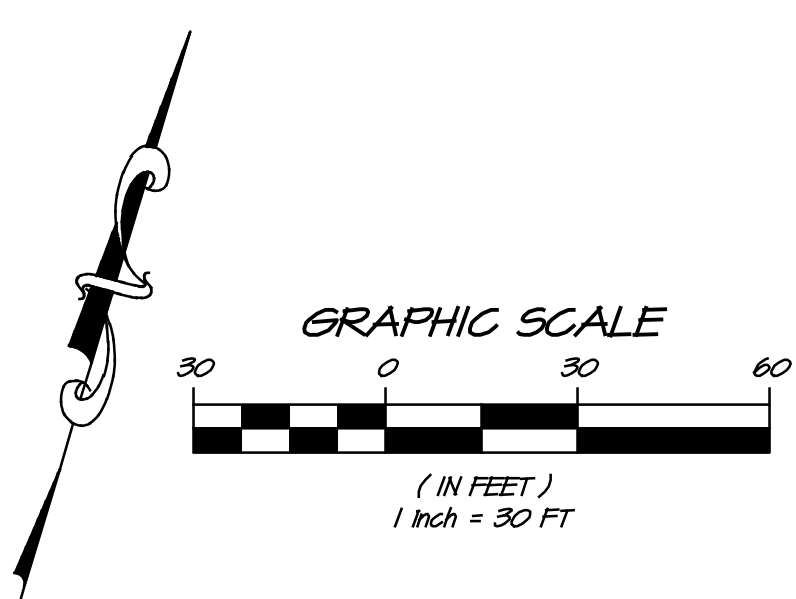
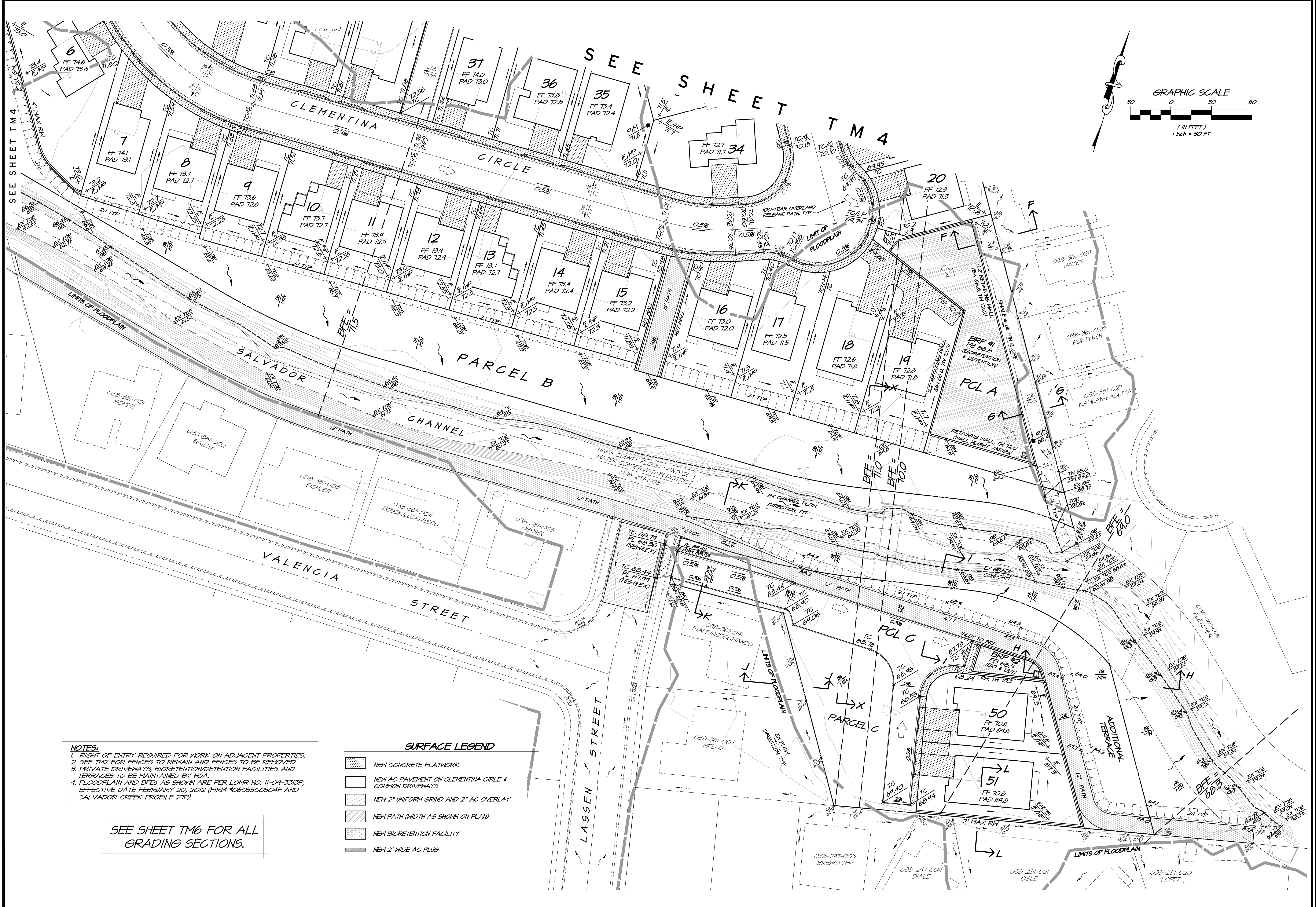
REGISTERED PROFESSIONAL ENGINEER
No. 90885
DAVID MASON
CIVIL ENGINEER
STATE OF CALIFORNIA

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMD
JOB NO.: 41701710
SHEET NO.: **TM4**
5 OF 11 SHEETS

REVISIONS
NO. DATE BY APPD

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- NOTES:**
- 1. RIGHT OF ENTRY REQUIRED FOR WORK ON ADJACENT PROPERTIES.
 - 2. SEE TM2 FOR FENCES TO REMAIN AND FENCES TO BE REMOVED.
 - 3. PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
 - 4. FLOODPLAIN AND BFEs AS SHOWN ARE PER LOMR NO. 11-04-3313P, EFFECTIVE DATE FEBRUARY 20, 2012 (FIRM #06055C0504F AND SALVADOR CREEK PROFILE 21P).

SEE SHEET TM6 FOR ALL GRADING SECTIONS.

- SURFACE LEGEND**
- [Pattern] NEW CONCRETE FLATWORK
 - [Pattern] NEW AC PAVEMENT ON CLEMENTINA CIRCLE & COMMON DRIVEWAYS
 - [Pattern] NEW 2" UNIFORM GRIND AND 2" AC OVERLAY
 - [Pattern] NEW PATH (WIDTH AS SHOWN ON PLAN)
 - [Pattern] NEW BIORETENTION FACILITY
 - [Pattern] NEW 2" WIDE AC PLUG

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DATE: 09/15/2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

JOB NO.: 4170710

SHEET NO.: **TM5**
6 OF 11 SHEETS

REGISTERED PROFESSIONAL
CIVIL ENGINEER
No. 9885
DATE OF CALIFORNIA EXAM: 04/24/2004

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

JOB NO.: 4170710

SHEET NO.: **TM5**
6 OF 11 SHEETS

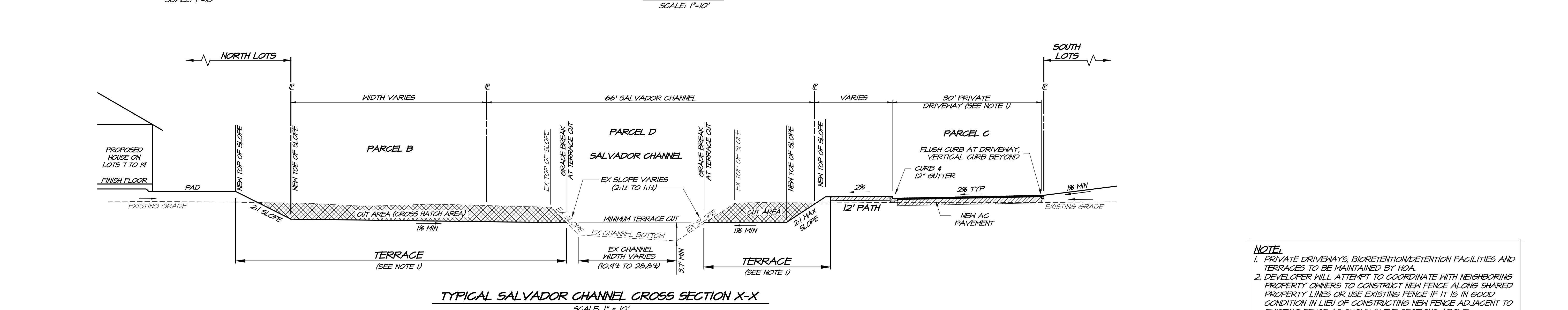
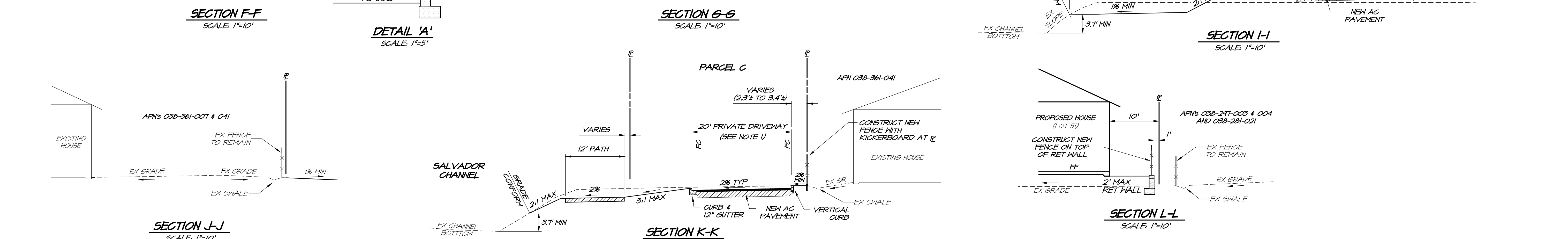
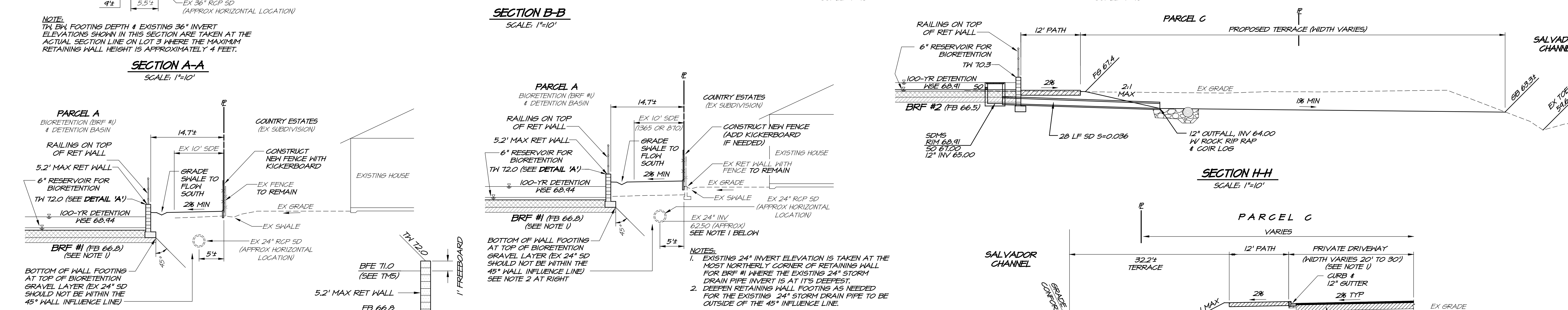
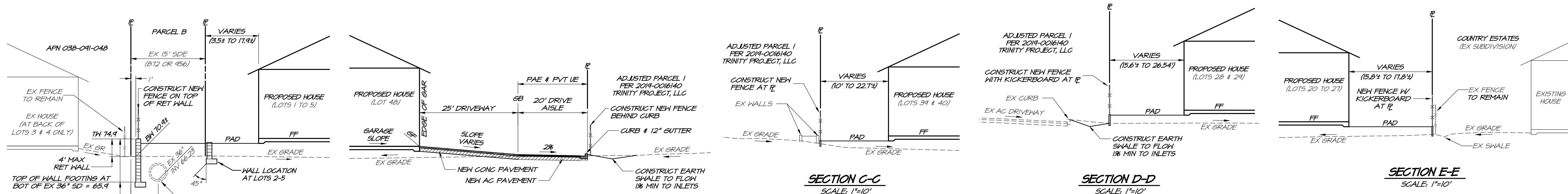
ZINFANDEL SUBDIVISION
GRADING PLAN (South Portion)
CALIFORNIA
NAPA

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NOTE:
1. PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
2. DEVELOPER WILL ATTEMPT TO COORDINATE WITH NEIGHBORING PROPERTY OWNERS TO CONSTRUCT NEW FENCE ALONG SHARED PROPERTY LINES OR USE EXISTING FENCE IF IT IS IN GOOD CONDITION IN LIEU OF CONSTRUCTING NEW FENCE ADJACENT TO EXISTING FENCE AS SHOWN IN THE SECTIONS ABOVE.

REVISIONS

DATE

NO.

BY

APPD

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ZINFANDEL SUBDIVISION

GRADING SECTIONS

CALIFORNIA

NAPA

DATE OF GRADING

REGISTERED PROFESSIONAL CIVIL ENGINEER
No. 90885
Exp. 12/31/2024

STATE OF CALIFORNIA

DATE: SEPT 15, 2023

DRAWN: DEL

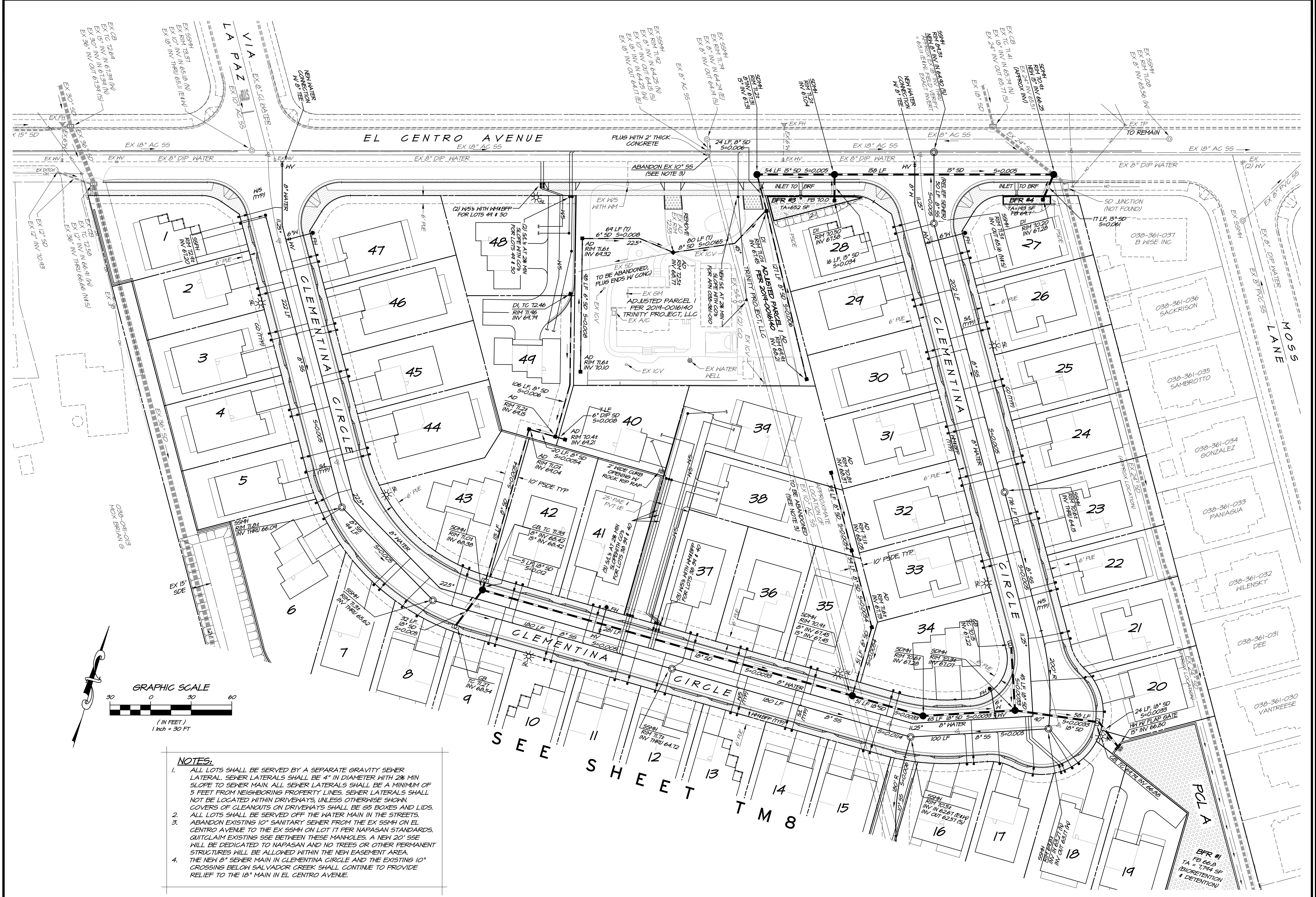
DESIGNED: RAY

CHECKED: DMG

JOB NO.: 4170710

SHEET NO.: **TM6**

7 OF 11 SHEETS



- NOTES:**
- ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 66 BOXES AND LIDS.
 - ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX 55MH ON EL CENTRO AVENUE TO THE EX 55MH ON LOT 17 PER NAPANAS STANDARDS. QUITCLAIM EXISTING S&E BETWEEN THESE MANHOLES. A NEW 20" S&E WILL BE DEDICATED TO NAPANAS AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
 - THE NEW 8" SEWER MAIN IN CLEMENTINA CIRCLE AND THE EXISTING 10" CROSSINGS BELOW SALVADOR CREEK SHALL CONTINUE TO PROVIDE RELIEF TO THE 18" MAIN IN EL CENTRO AVENUE.

BY: APPD

REVISIONS

DATE

NO.

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ZINFANDEL SUBDIVISION
UTILITY PLAN (North Portion)
CALIFORNIA

NAPA

REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEER
No. 80885
DATE OF CALIFORNIA EXAMINATION: 01/12/2023 11:51:02 AM
PROJECT: 2023-001-013

DATE: SEPT 15, 2023

DRAWN: DEL

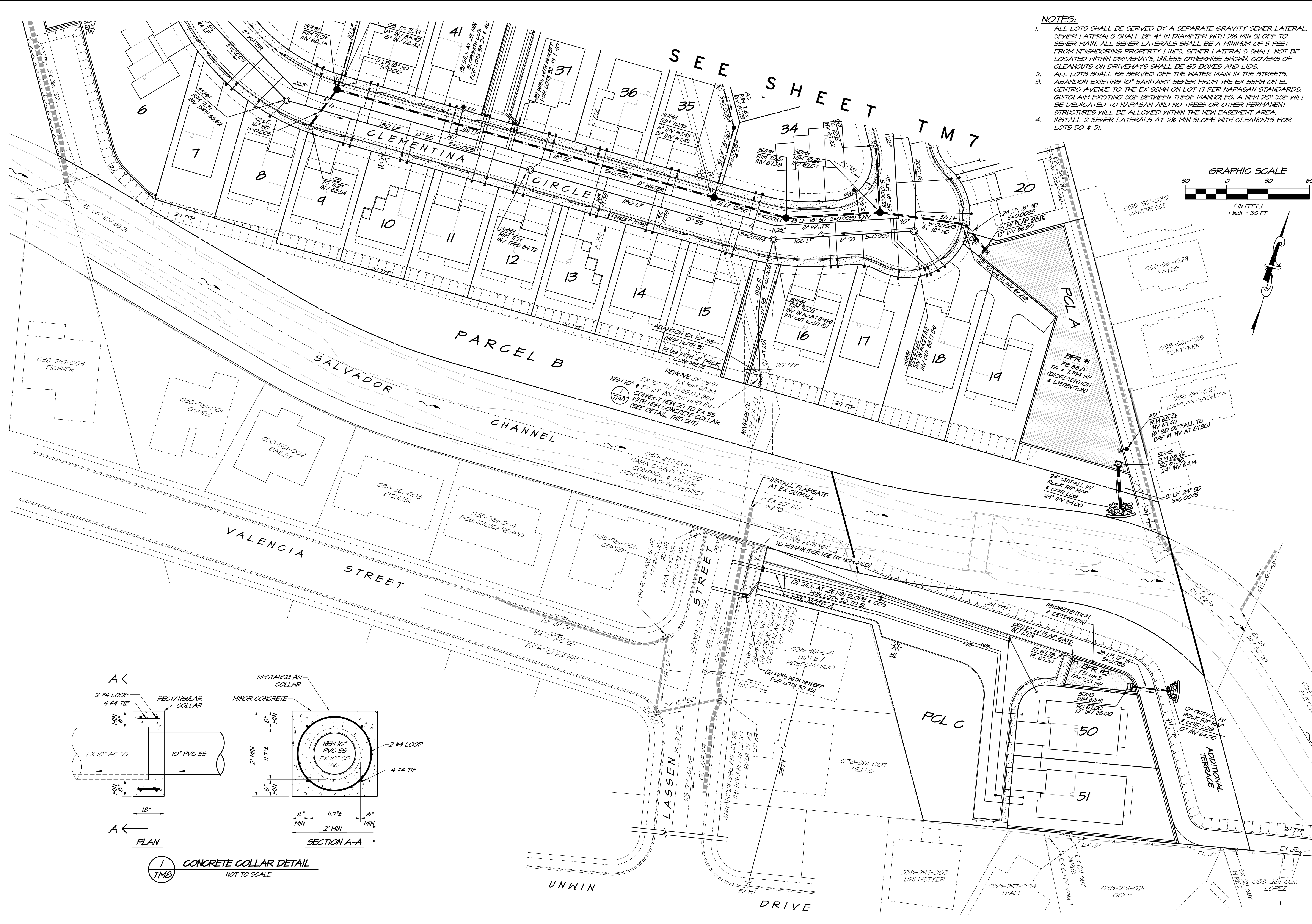
DESIGNED: RAY

CHECKED: DMD

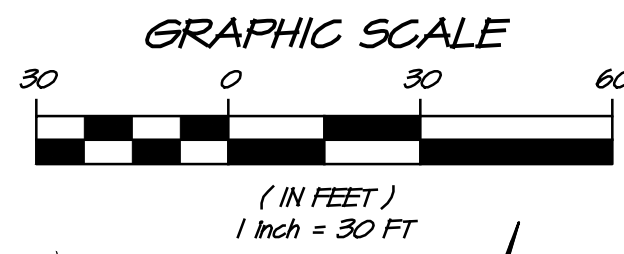
JOB NO.: 4170710

SHEET NO.: **TM7**

8 OF 11 SHEETS



- NOTES:**
1. ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 65 BOXES AND LIDS.
 2. ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX SSMH ON EL CENTRO AVENUE TO THE EX SSMH ON LOT 17 PER NAPASAN STANDARDS. QUITCLAIM EXISTING SSE BETWEEN THESE MANHOLES. A NEW 20" SSE WILL BE DEDICATED TO NAPASAN AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
 3. INSTALL 2 SEWER LATERALS AT 2% MIN SLOPE WITH CLEANOUTS FOR LOTS 50 & 51.



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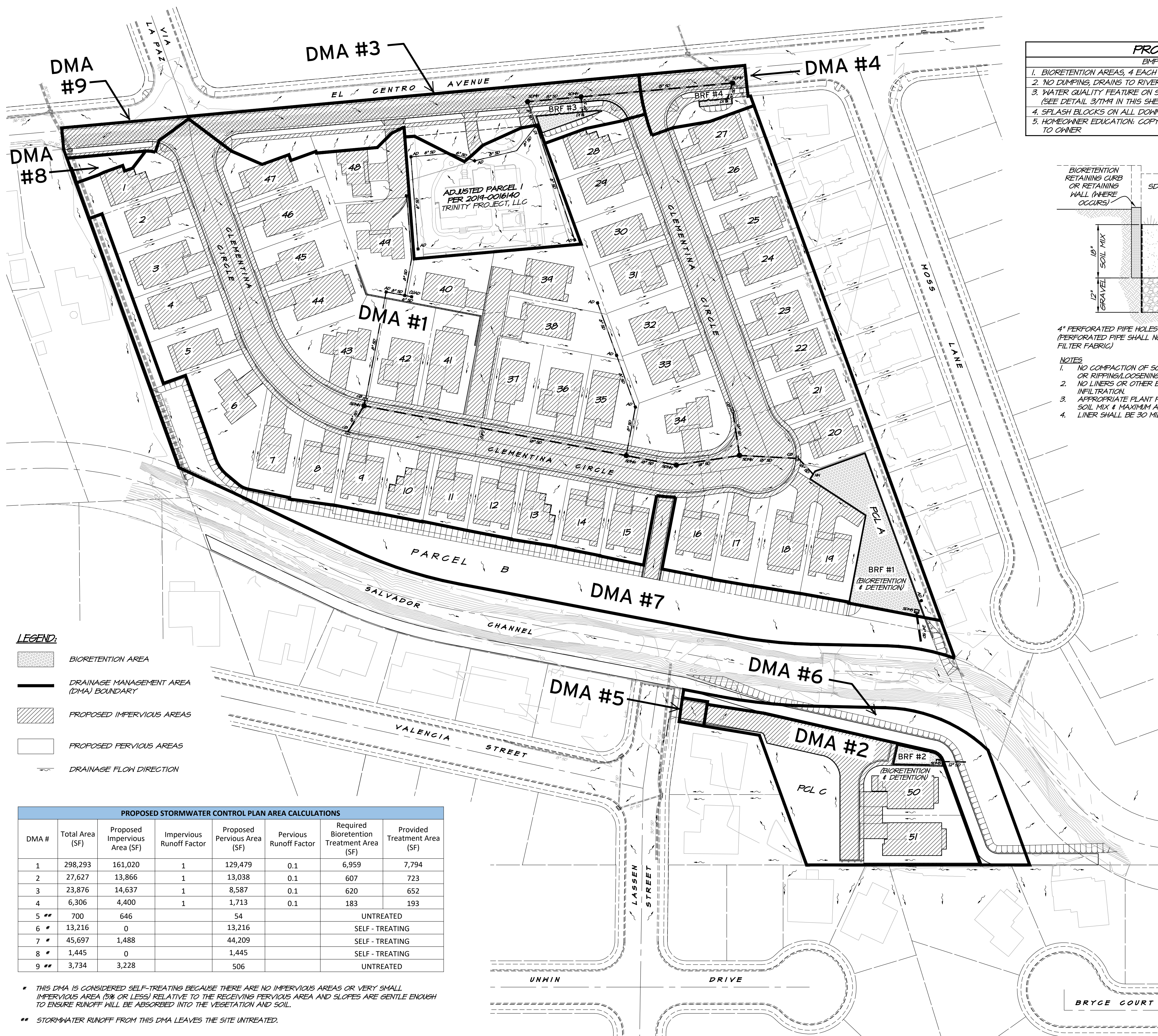
DATE: _____
NO. _____
BY: _____

ZINFANDEL SUBDIVISION
UTILITY PLAN (South Portion)
CALIFORNIA

NAPA

REGISTERED PROFESSIONAL
CIVIL ENGINEER
No. 90885
DATE OF CALIFORNIA EXAMINATION: 04/22/2023
P:\Villagegas - COPYRIGHT RSA+

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMD
JOB NO.: 4170710
SHEET NO.: **TM8**
9 OF 11 SHEETS



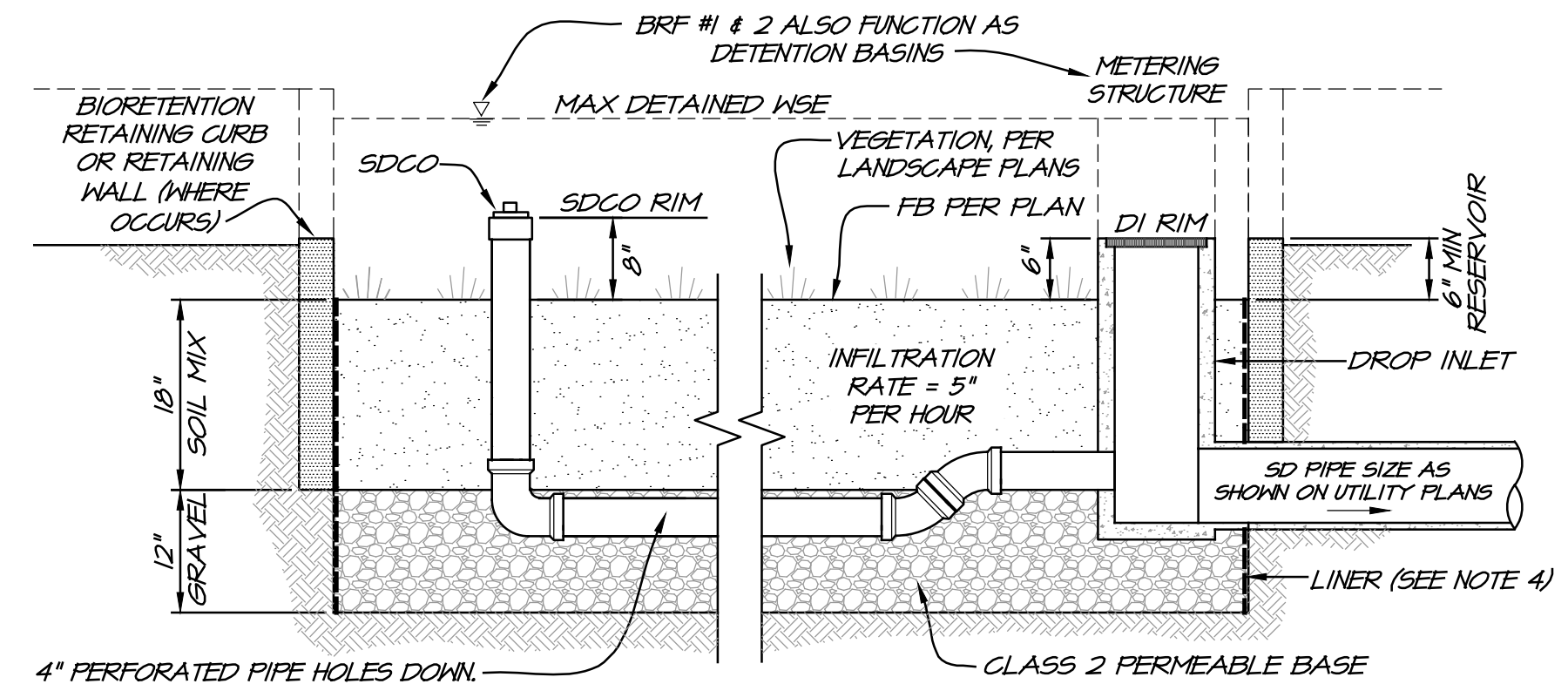
- LEGEND:**
- BIORETENTION AREA
 - DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - PROPOSED IMPERVIOUS AREAS
 - PROPOSED PERVIOUS AREAS
 - DRAINAGE FLOW DIRECTION

PROPOSED STORMWATER CONTROL PLAN AREA CALCULATIONS						
DMA #	Total Area (SF)	Proposed Impervious Area (SF)	Impervious Runoff Factor	Proposed Pervious Area (SF)	Pervious Runoff Factor	Required Bioretention Treatment Area (SF)
1	298,293	161,020	1	129,479	0.1	6,959
2	27,627	13,866	1	13,038	0.1	607
3	23,876	14,637	1	8,587	0.1	620
4	6,306	4,400	1	1,713	0.1	183
5 **	700	646		54		UNTREATED
6 *	13,216	0		13,216		SELF - TREATING
7 *	45,697	1,488		44,209		SELF - TREATING
8 *	1,445	0		1,445		SELF - TREATING
9 **	3,734	3,228		506		UNTREATED

* THIS DMA IS CONSIDERED SELF-TREATING BECAUSE THERE ARE NO IMPERVIOUS AREAS OR VERY SMALL IMPERVIOUS AREA (3% OR LESS) RELATIVE TO THE RECEIVING PERVIOUS AREA AND SLOPES ARE GENTLE ENOUGH TO ENSURE RUNOFF WILL BE ABSORBED INTO THE VEGETATION AND SOIL.

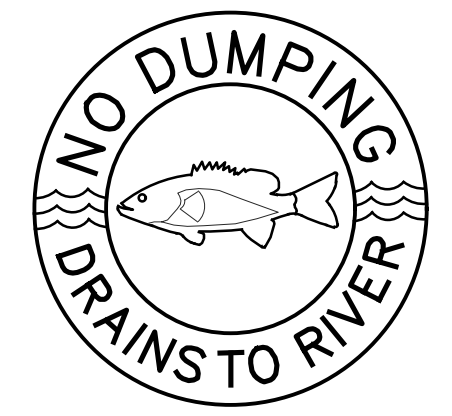
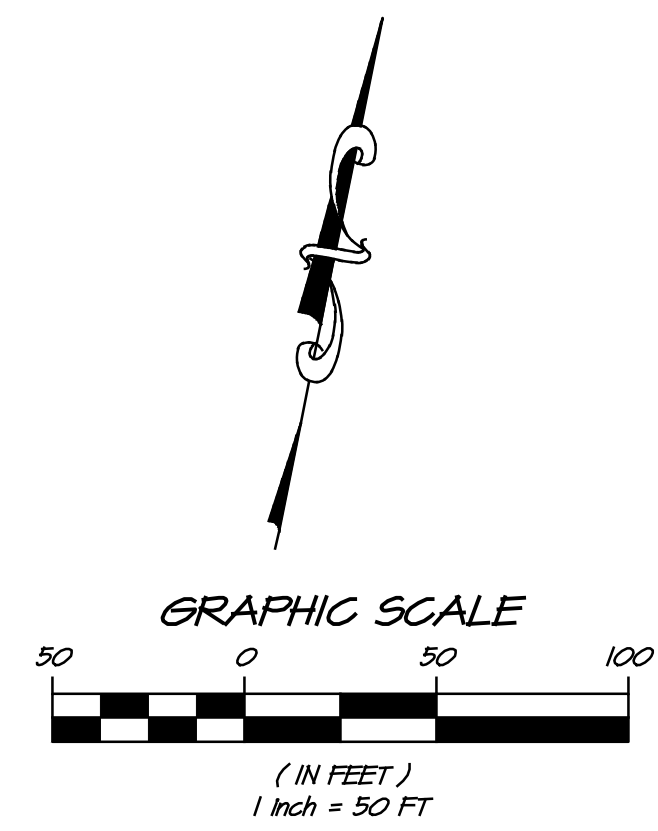
** STORMWATER RUNOFF FROM THIS DMA LEAVES THE SITE UNTREATED.

PROPOSED POST CONSTRUCTION BMP's	
BMP (BEST MANAGEMENT PRACTICES)	
1. BIORETENTION AREAS, 4 EACH (SEE DETAIL 1/TM9 IN THIS SHEET)	TREATMENT AREA
2. NO DUMPING, DRAINS TO RIVER STAMPING ON ALL INLETS (SEE DETAIL 2/TM9 IN THIS SHEET)	ENTIRE PROJECT
3. WATER QUALITY FEATURE ON SITE STAMPING ON ALL BIORETENTION INLETS (SEE DETAIL 3/TM9 IN THIS SHEET)	ENTIRE PROJECT
4. SPLASH BLOCKS ON ALL DOWNSPOUTS (SEE DETAIL 4/TM9 IN THIS SHEET)	ENTIRE PROJECT
5. HOMEOWNER EDUCATION, COPY OF SCP AND MAINTENANCE AGREEMENT TO BE PROVIDED TO OWNER	ENTIRE PROJECT



- NOTES:**
- NO COMPACTION OF SOILS BENEATH THE FACILITY, OR RIPPING/LOOSENING OF SOILS IF COMPACTED.
 - NO LINERS OR OTHER BARRIERS INTERFERING WITH INFILTRATION.
 - APPROPRIATE PLANT PALETTE FOR THE SPECIFIED SOIL MIX & MAXIMUM AVAILABLE WATER USE.
 - LINER SHALL BE 30 MIL LINER.
- BIORETENTION PLAN LIST:** REFER TO BASHAA PLANT MATRIX IN APPENDIX F (SEE LANDSCAPE PLANS)
- SOIL MIX NOTE:** A MIXTURE OF SAND (60%-70%) MEETING THE SPECIFICATIONS OF ASTM C33 AND COMPOST (30%-40%) PER BASHAA PHASE II SOIL MIX ENGINEER TO CERTIFY SOIL MIX PRIOR TO INSTALLATION.
- GRAVEL NOTE:** "CLASS 2 PERMEABLE," CALTRANS SPECIFICATION 608-2.02(F3)

1/TM9 BIORETENTION AREA DETAIL NOT TO SCALE

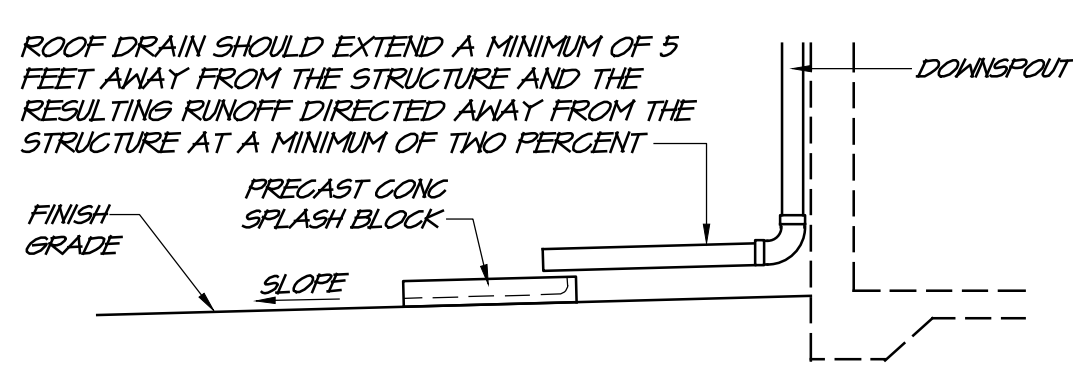


2/TM9 DROP INLET MARKER NOT TO SCALE

- NOTES:**
- EACH BIORETENTION FACILITY WITHIN THE CITY LIMITS SHALL BE MARKED WITH A "WATER QUALITY FEATURE ON SITE - DO NOT ALTER OR REMOVE" MARKER.
 - CONTRACTOR IS TO PURCHASE THESE MARKERS FROM THE PUBLIC WORKS DEPARTMENT LOCATED AT 1600 FIRST STREET.



3/TM9 BIORETENTION FACILITY MARKER NOT TO SCALE



4/TM9 SPLASH BLOCK DETAIL NOT TO SCALE

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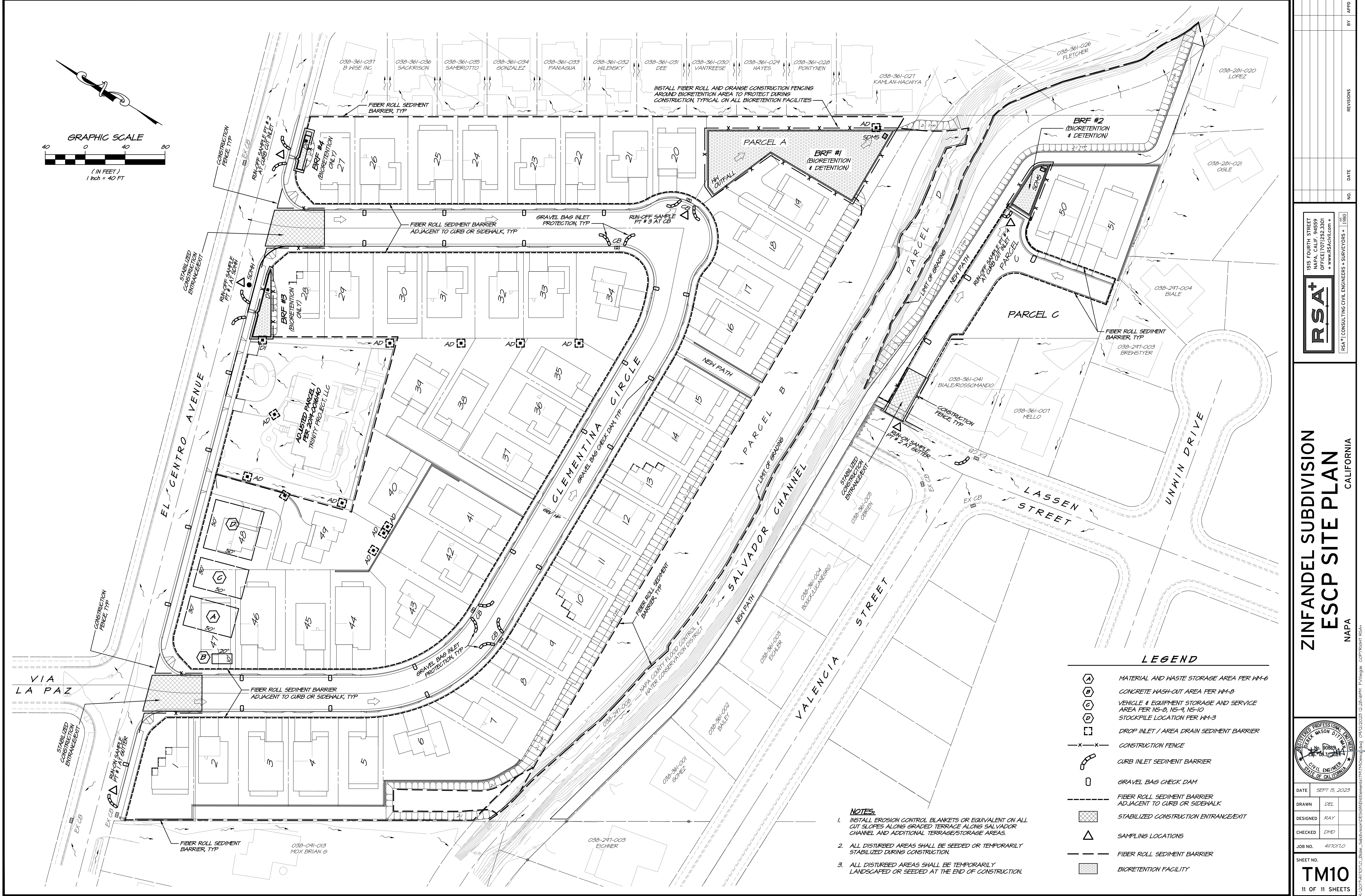
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ZINFANDEL SUBDIVISION
STORMWATER CONTROL PLAN
CALIFORNIA

NAPA

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMD
JOB NO.: 4171010
SHEET NO.: TM9
10 OF 11 SHEETS

REVISIONS
NO. DATE BY APPD



- NOTES:**
1. INSTALL EROSION CONTROL BLANKETS OR EQUIVALENT ON ALL CUT SLOPES ALONG GRADED TERRACE ALONG SALVADOR CHANNEL AND ADDITIONAL TERRACE/STORAGE AREAS.
 2. ALL DISTURBED AREAS SHALL BE SEEDED OR TEMPORARILY STABILIZED DURING CONSTRUCTION.
 3. ALL DISTURBED AREAS SHALL BE TEMPORARILY LANDSCAPED OR SEEDED AT THE END OF CONSTRUCTION.

LEGEND	
	MATERIAL AND WASTE STORAGE AREA PER WM-6
	CONCRETE WASH-OUT AREA PER WM-8
	VEHICLE & EQUIPMENT STORAGE AND SERVICE AREA PER NS-8, NS-9, NS-10
	STOCKPILE LOCATION PER WM-3
	DROP INLET / AREA DRAIN SEDIMENT BARRIER
	CONSTRUCTION FENCE
	CURB INLET SEDIMENT BARRIER
	GRAVEL BAG CHECK DAM
	FIBER ROLL SEDIMENT BARRIER ADJACENT TO CURB OR SIDEWALK
	STABILIZED CONSTRUCTION ENTRANCE/EXIT
	SAMPLING LOCATIONS
	FIBER ROLL SEDIMENT BARRIER
	BIORETENTION FACILITY

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REVISIONS

DATE

NO.

BY

APPD

ZINFANDEL SUBDIVISION
ESCP SITE PLAN
CALIFORNIA

NAPA

REGISTERED PROFESSIONAL ENGINEER
MASON DITTMER
NO. 10000
DATE OF LICENSE 10/17/2014

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMG

JOB NO.: 4170110

SHEET NO.: TM10

11 OF 11 SHEETS

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