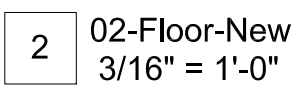
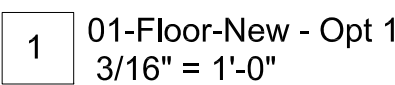


C:\Users\John R\Dropbox\DC\PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\REVIT\2020.08.20\1_17056_Zinfandel_Oal Knoll_#1_r1.rvt



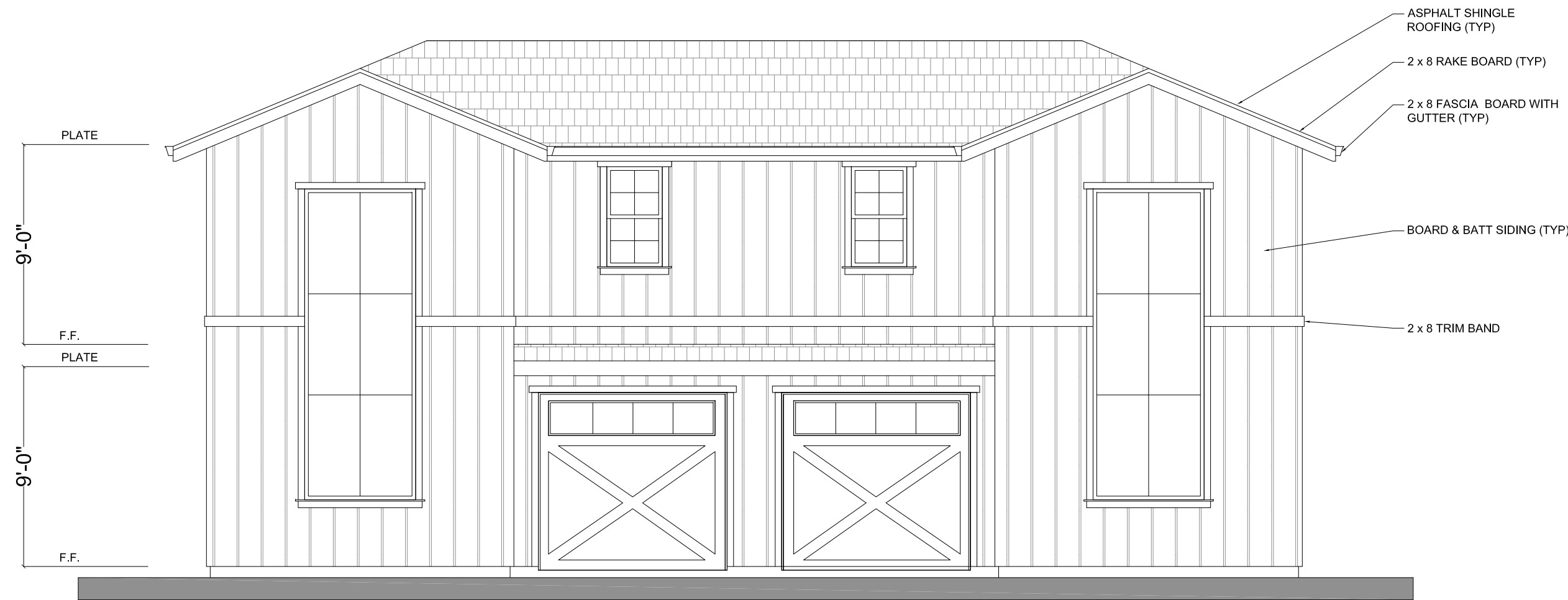
PROJECT DATA

<u>GARAGE AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage 2	1st Flr Level	219 SF
Garage 1	1st Flr Level	267 SF
Garage Area		486 SF

SHEET NO.
A201 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

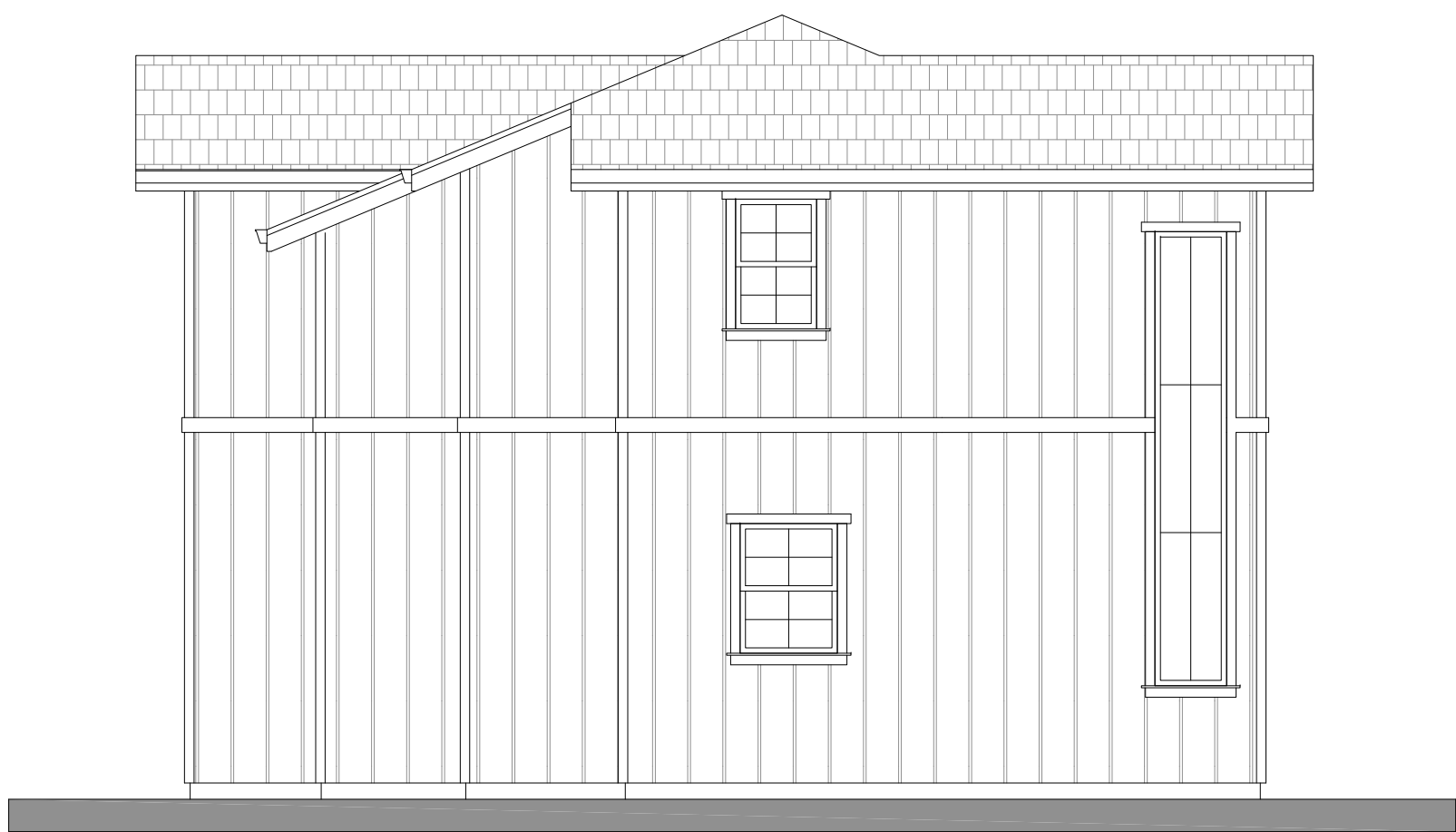
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Estates_REV\17056-8_Kirk_Zinfandel_Oak Knoll_#1_1.rvt
12/15/2020 11:12:01 AM



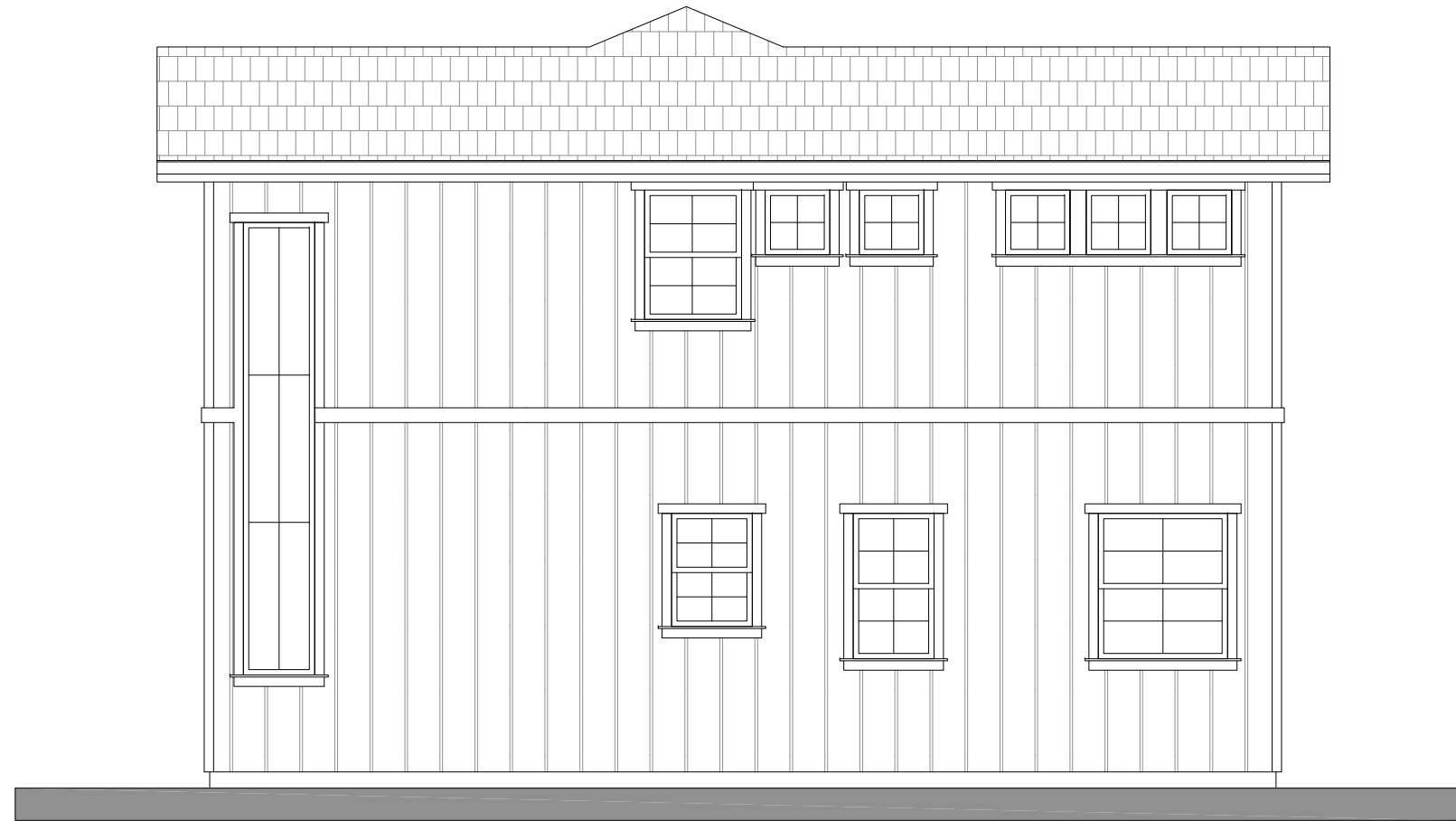
2 FRONT ELEVATION
3/16" = 1'-0"



1 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



4 RIGHT ELEVATION
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	

SHEET NO.
A321 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 11:12:02 AM

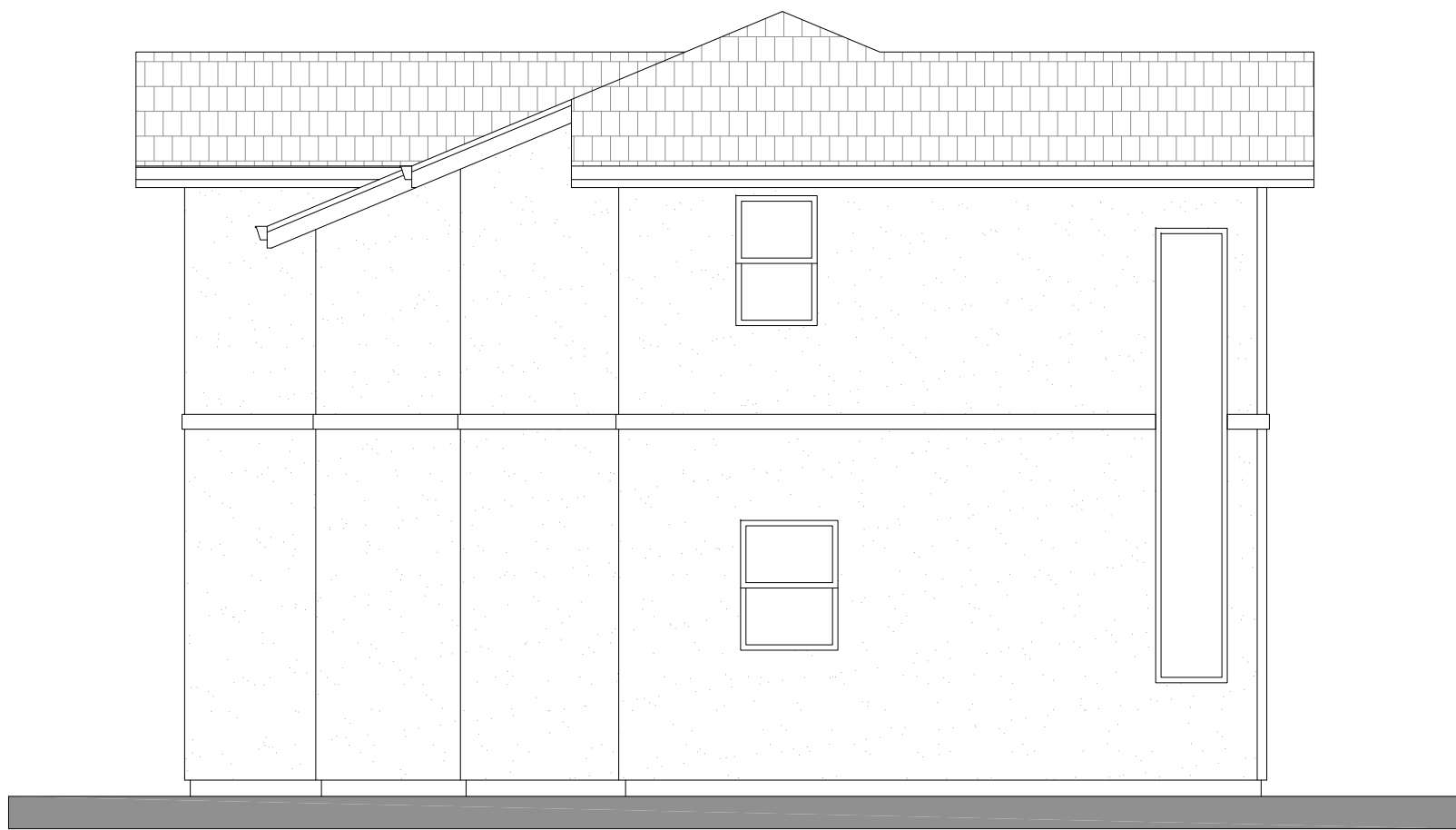
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Estates_REV\17056-8_Kirk_Zinfandel_Oak Knoll_#1_1.rvt



1 FRONT ELEVATION - OPT 2
3/16" = 1'-0"



2 REAR ELEVATION - OPT 2
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 2
3/16" = 1'-0"



4 RIGHT ELEVATION - OPT 2
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

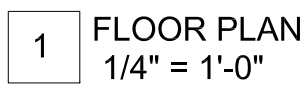
ELEVATIONS - OPT 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	

SHEET NO.

A322

of



CHECKED BY **K Geyer**
DRAWN BY **J Neal**
SCALE **$1/4" = 1'-0"$**
DATE **12.15.2020**
PROJECT NO.
17056
PHASE NO.
SHEET NO.



KIRK GEYER DESIGN / BUILD

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**

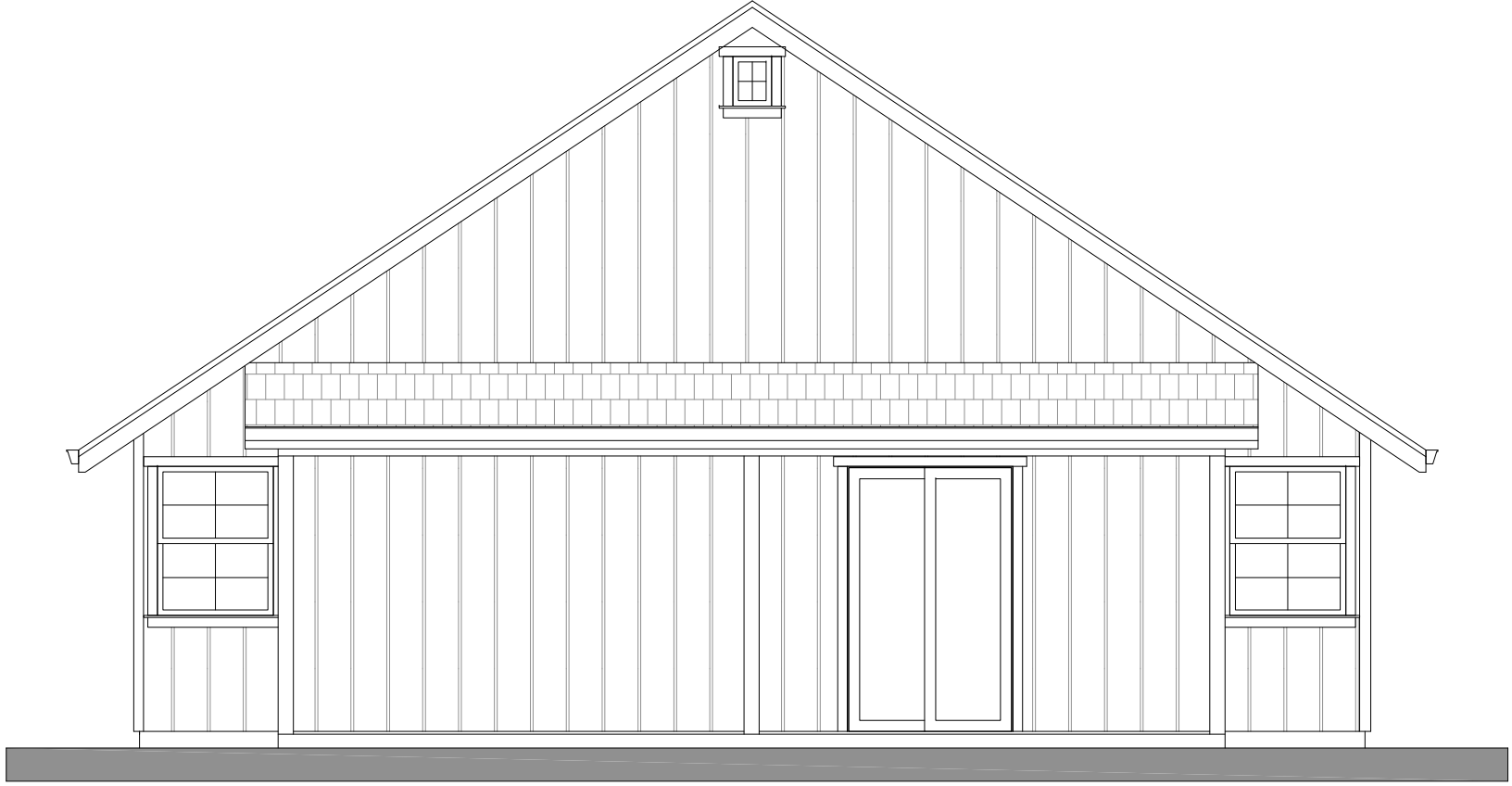
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE FIRM AND ARE CREATED, EVOLVED AND DELIVERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 11:22:58 AM

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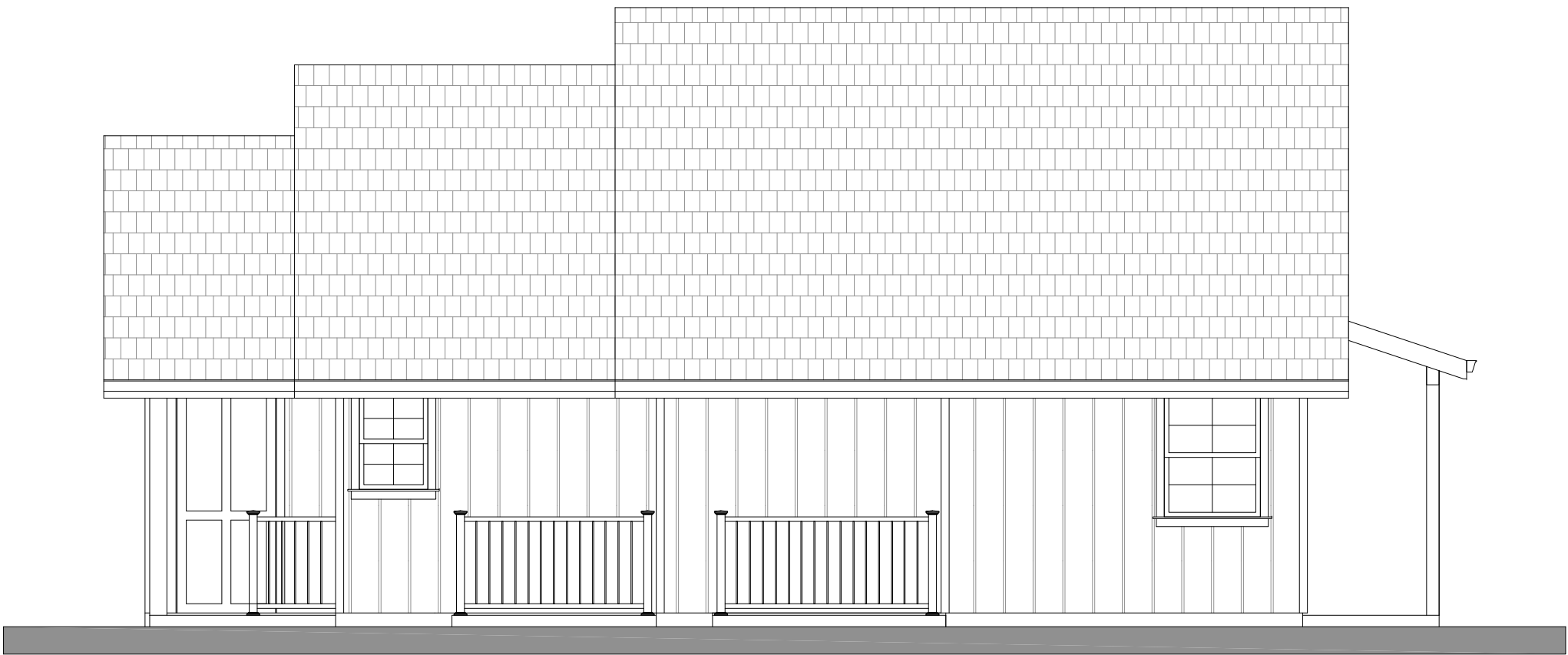
1 1-FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



4 RIGHT ELEVATION
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - Opt 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A321 of

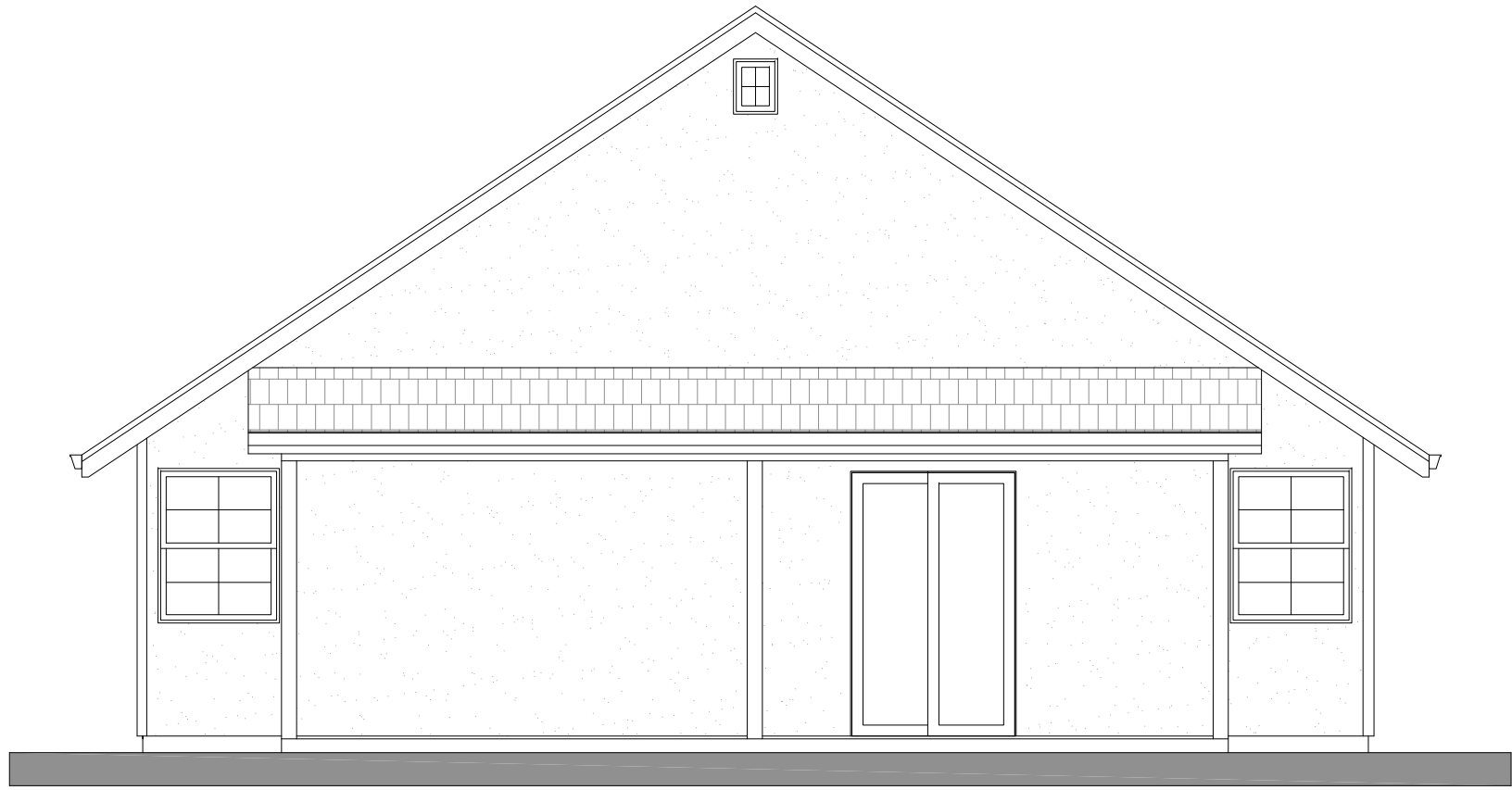
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 11:25:00 AM

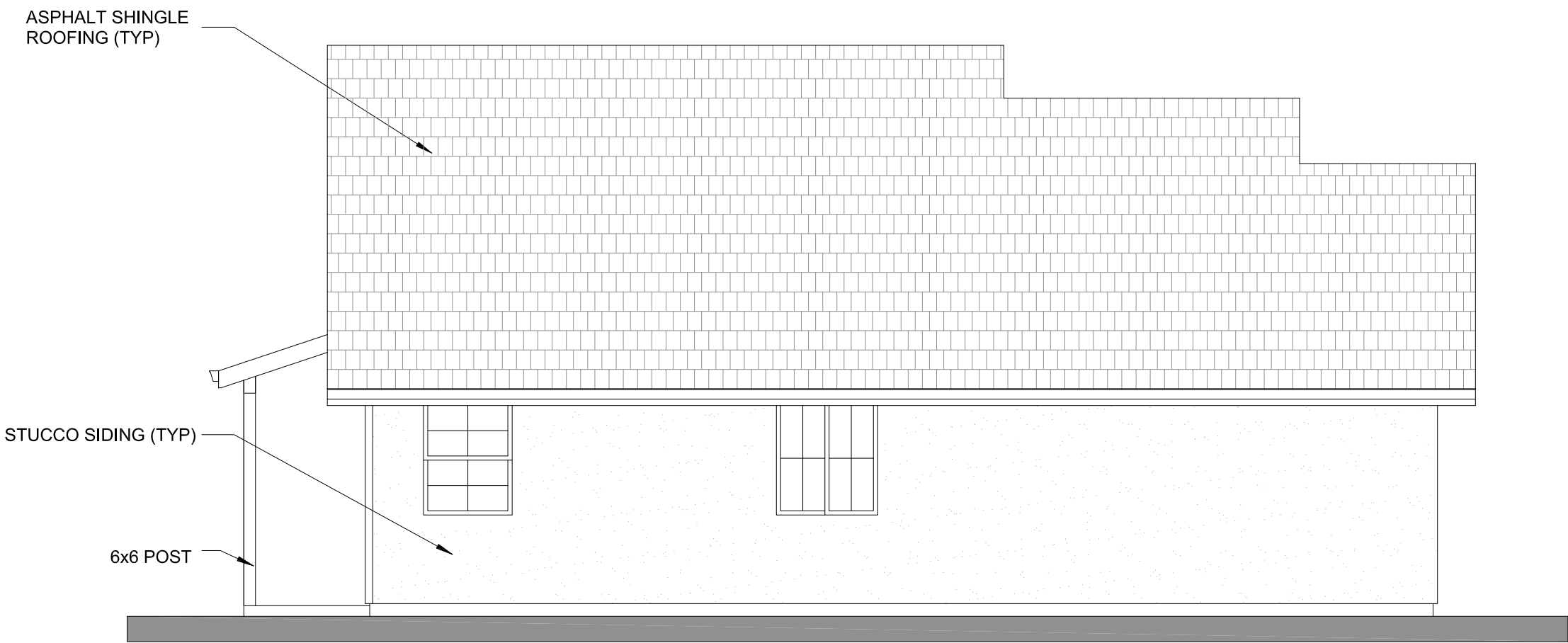
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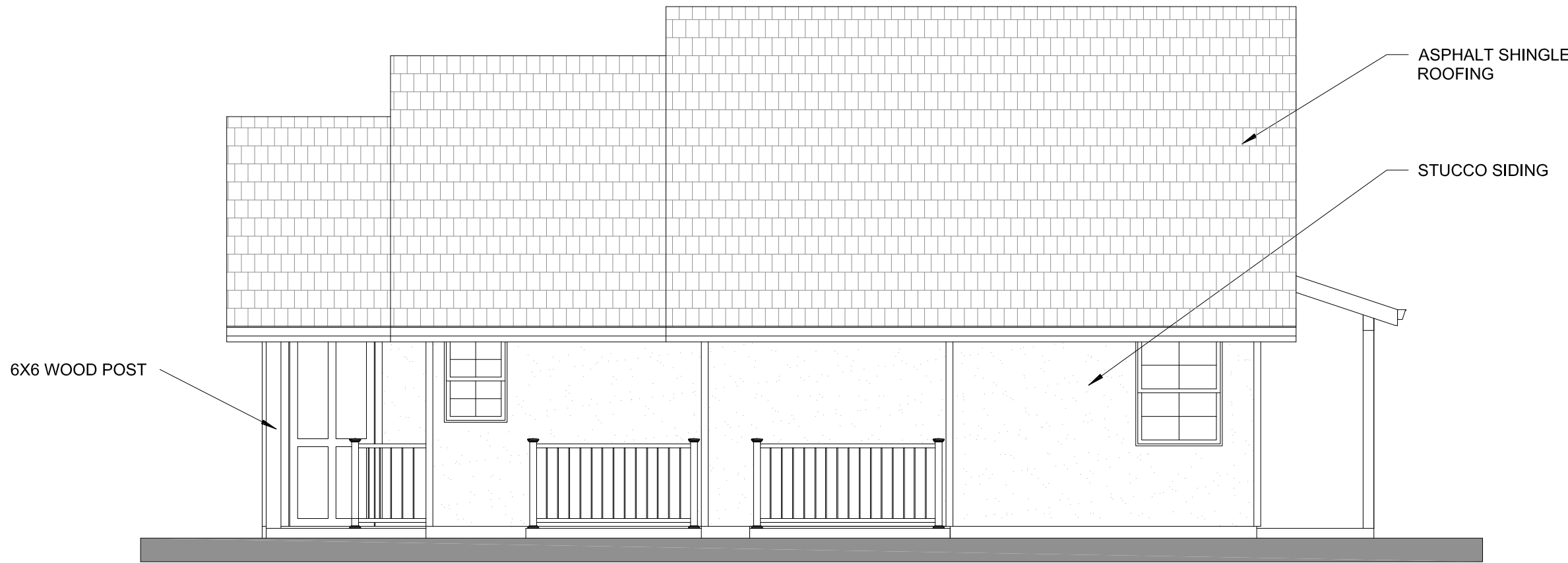
1 1-FRONT ELEVATION-Opt 2
3/16" = 1'-0"



2 REAR ELEVATION-Opt 2
3/16" = 1'-0"



3 LEFT ELEVATION-Opt 2
3/16" = 1'-0"



4 RIGHT ELEVATION-Opt 2
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - Opt 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A322

of

1583 El Centro Ave.
Napa, CA 94558

ABV.	ABOVE
ABF.	ABOVE FINISHED FLOOR
APX.	APPROXIMATE
B.D.D.	BUILDING
B.	BEAM
CL.G.	CEILING
CL.R.	CLEAR
COL.	COLUMN
CONC. A.A.	CONCRETE
CON.T.A.	CONTINUOUS
CTR.	CENTER
DET.	DETAIL
HN.	DOUBLE HUNG WINDOW
D.	DOWN
DWG.	DRAWING
(E)	EXISTING
E.A.	EACH
E.Q.	EQUAL
E.X.T.	EXTERIOR
F.A.	FINISH FLOOR
FIN.	FINISH
FOF	FACE OF FINISHED MATERIAL
FOS	FACE OF STUD
FIX.	FIXED WINDOW
G.	GAUGE
GC	GENERAL CONTRACTOR
GYP.BD.A.	GYPSUM BOARD
H.	HEAD
HDWR.	HARDWARE
HT.	HEIGHT
INT.	INTERIOR
JST.	JOIST
MAX.	MAXIMUM
MFR.	MANUFACTURER
MIN.	MINIMUM
MTD.	MOUNTED
(N)	NEW
NC	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OVERHANG
REQD.	REQUIRED
S.	SIMILAR
SIM.	SLIDER WINDOW
STD.	STANDARD
S.O.G.	SLAB ON GROUND
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.S.F.	TOP OF SUB-FLOOR
T.O.P.	TOP OF PLATE
T.O.WD	TOP OF WINDOW
TP.	TYPICAL
U.C.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
WDW	WINDOW



<u>NO.</u>	<u>NAME</u>
ARCHITECTURAL	
A000	COVER SHEET
A201	1st FLOOR PLAN
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: <http://www.gsmlainc.com>
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

BUILDING CODE:	2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
	2016 CALIFORNIA GREEN BUILDING CODE

NEW CUSTOM 1424 S.F. SINGLE FAMILY HOME

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

OCCUPANCY: R-2
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

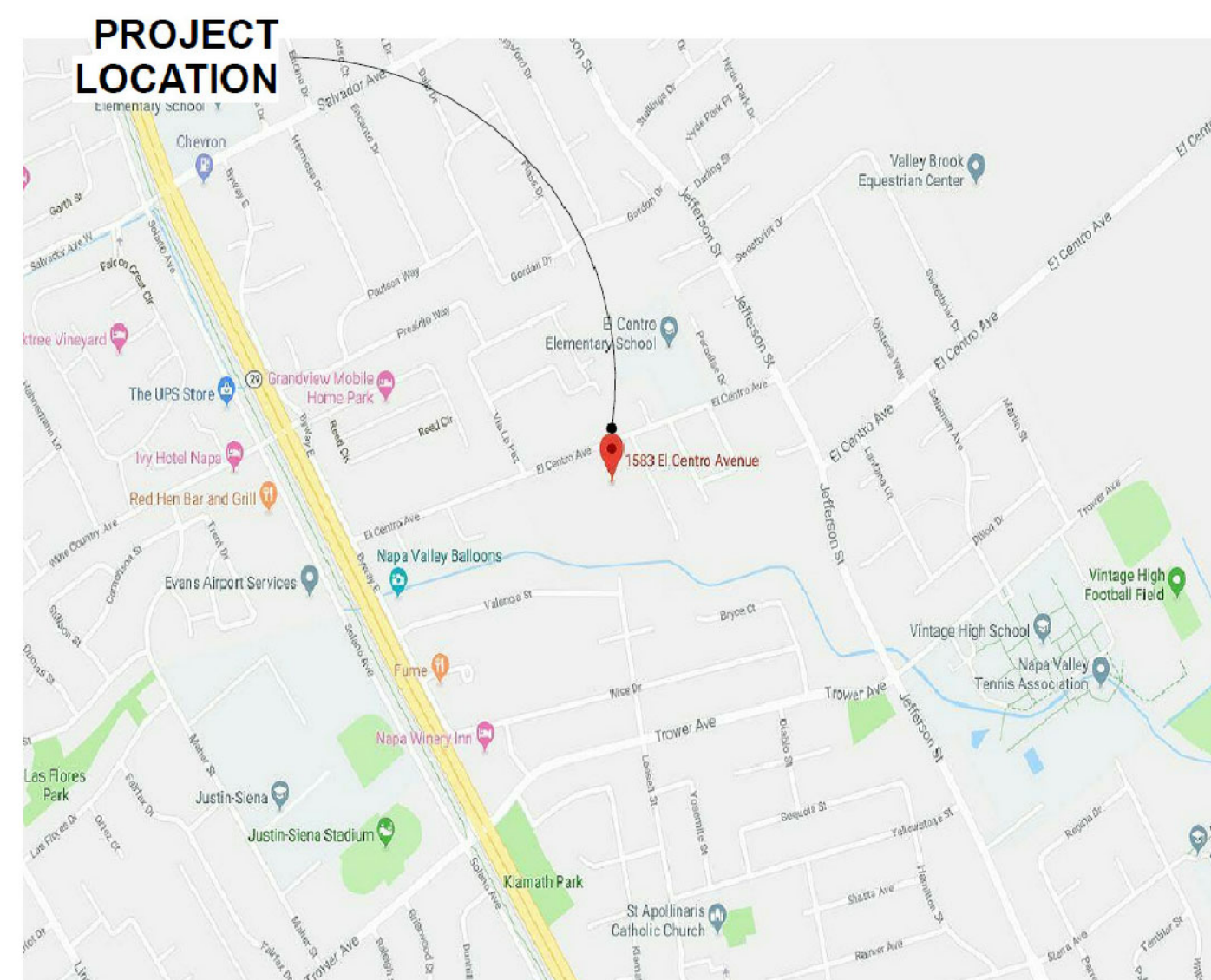
<u>Name</u>	<u>Level</u>	<u>Area</u>
Living Area	1st Flr Level	1170 SF
Total Living Area		1170 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	Garage Slab	267 SF
Front Porch	Garage Slab	77 SF
Rear Porch	Garage Slab	117 SF
Garage/Porch Area		461 SF

The diagram illustrates the relationship between various drawing views and their corresponding sheet numbers. It shows a vertical sequence of views, each with a callout to a specific sheet number:

- BUILDING SECTION (PLAN)**: A plan view of a building section, labeled **1 A101**. A callout points to **BUILDING SECTION NUMBER**.
- BUILDING SECTION (ELEVATION)**: An elevation view of a building section, labeled **1 A101**. A callout points to **SHEET NUMBER**.
- ELEVATIONS**: A general elevation view, labeled **1 A101**.
- WALL SECTION**: A wall section view, labeled **1 A101**.
- DETAIL CALLOUT**: A detail callout view, labeled **1 A101**. A callout points to **DETAIL NUMBER**. Another callout points to **SHEET NUMBER**.
- DETAIL CUT (PLAN/SECTION)**: A detail cut view, labeled **1 A101**. A callout points to **SHEET NUMBER**.
- RELATED DETAIL CUT BELOW OR ABOVE**: A related detail cut view, labeled **1 A101** and **1 A101**. A callout points to **SHEET NUMBER**.

NORTH ARROWS



THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

FIRE SPRINKLER SYSTEM.

ALL PORTION(S)/ITEM(S) BEING DEFERRED SHALL:

- A. BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- B. BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- C. REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
- D. NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

[illegible]

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

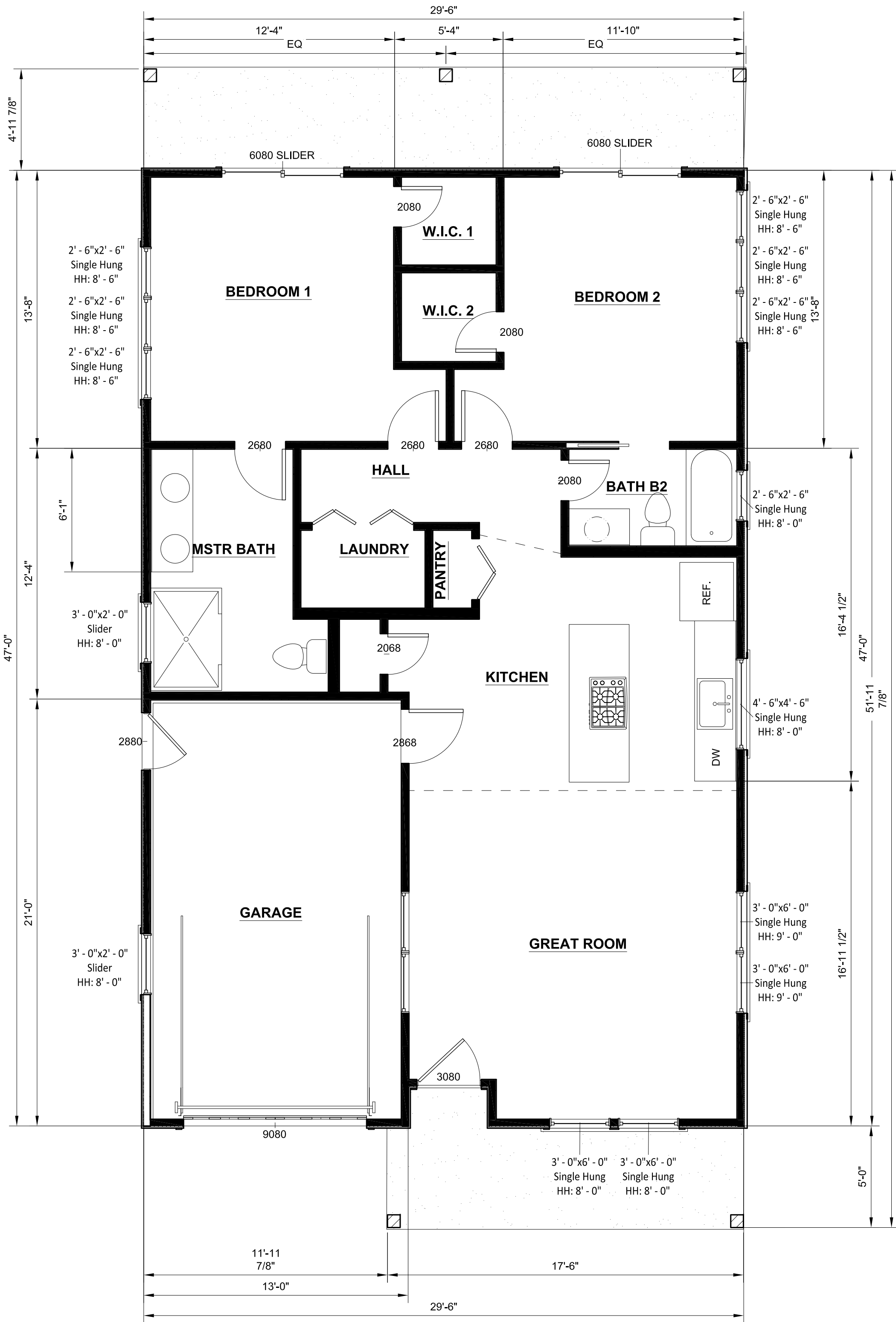
MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 4:24:59 PM

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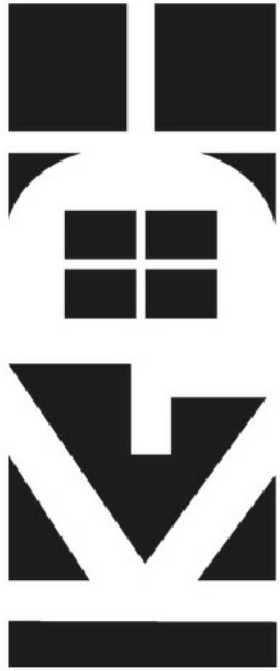
1 01-Floor-New
1/4" = 1'-0"

PROJECT DATA

LIVING AREA			
Name	Level	Area	
Living Area	1st Flr Level	1170 SF	
Total Living Area		1170 SF	
GARAGE / PORCH AREA			
Name	Level	Area	
Garage	Garage Slab	267 SF	
Front Porch	Garage Slab	77 SF	
Rear Porch	Garage Slab	117 SF	
Garage/Porch Area		461 SF	

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

ZINFANDEL
SUBDIVISION

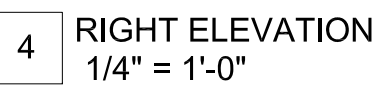
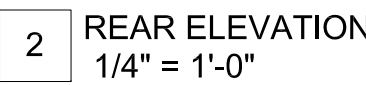
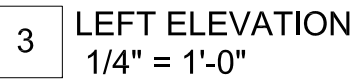
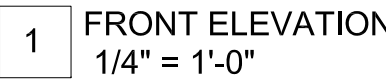
MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

1st FLOOR PLAN

CHECKED BY	kgeyer
DRAWN BY	jneal
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	A201

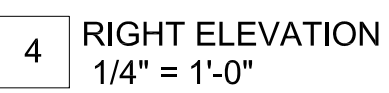
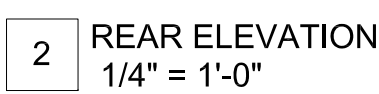
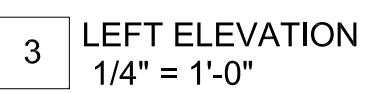
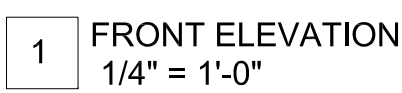
of

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SHEET NO.
A321 of

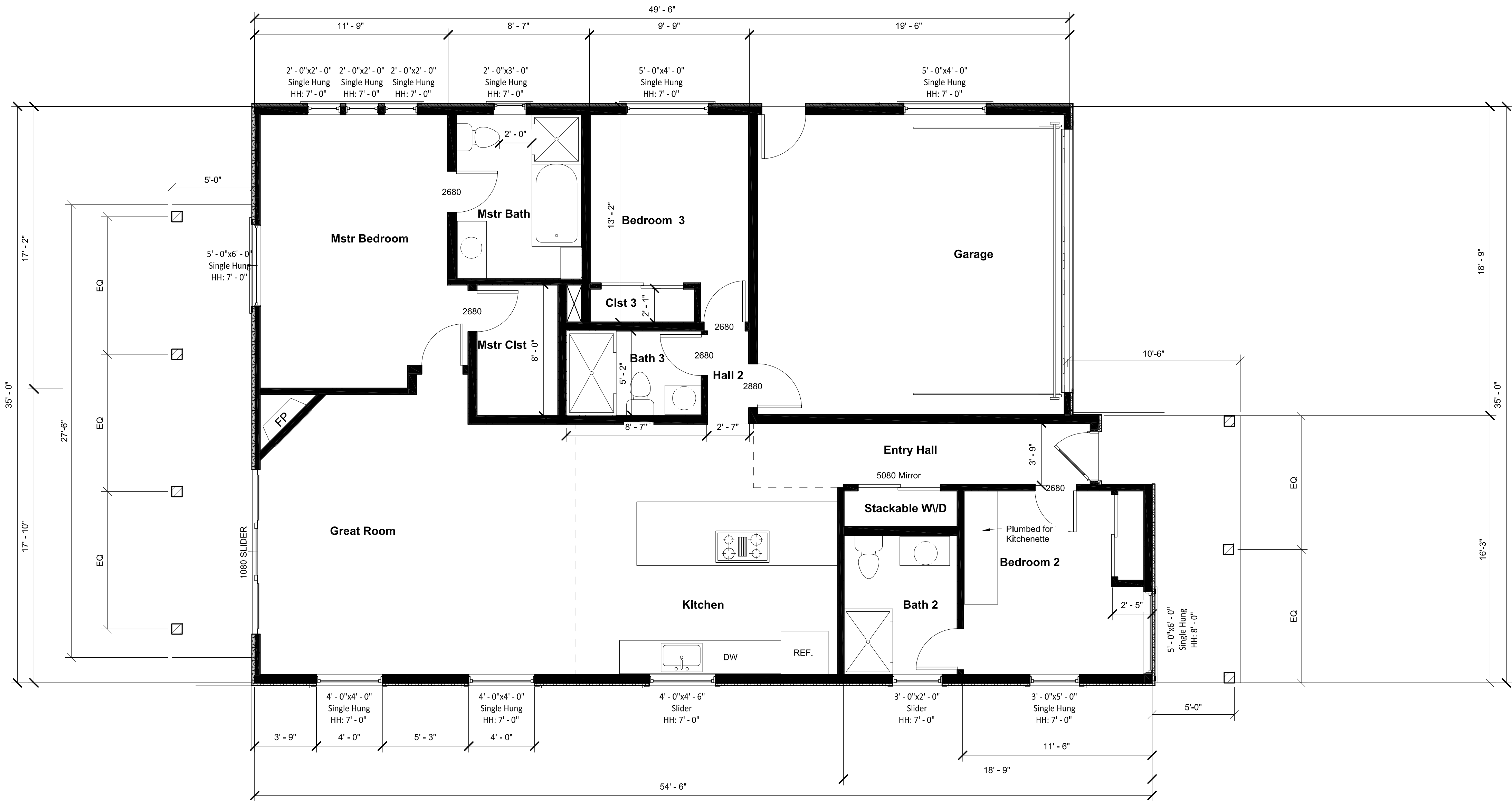
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Veeder #9.rvt



SHEET NO.
A322 of

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C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Coombsville_#4_2.rvt
Estate_REVIT\2022.12.05\4_17056_Zinfandel_Coombsville_#4_2.rvt



1 01-Floor-New
1/4" = 1'-0"

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1498 SF
Total Living Area		1498 SF
GARAGE AREA & COVERED AREAS		
Name	Level	Area
Garage	1st Flr Level	356 SF
FRONT PORCH	1st Flr Level	128 SF
REAR PATIO	1st Flr Level	166 SF
TOTAL		650 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

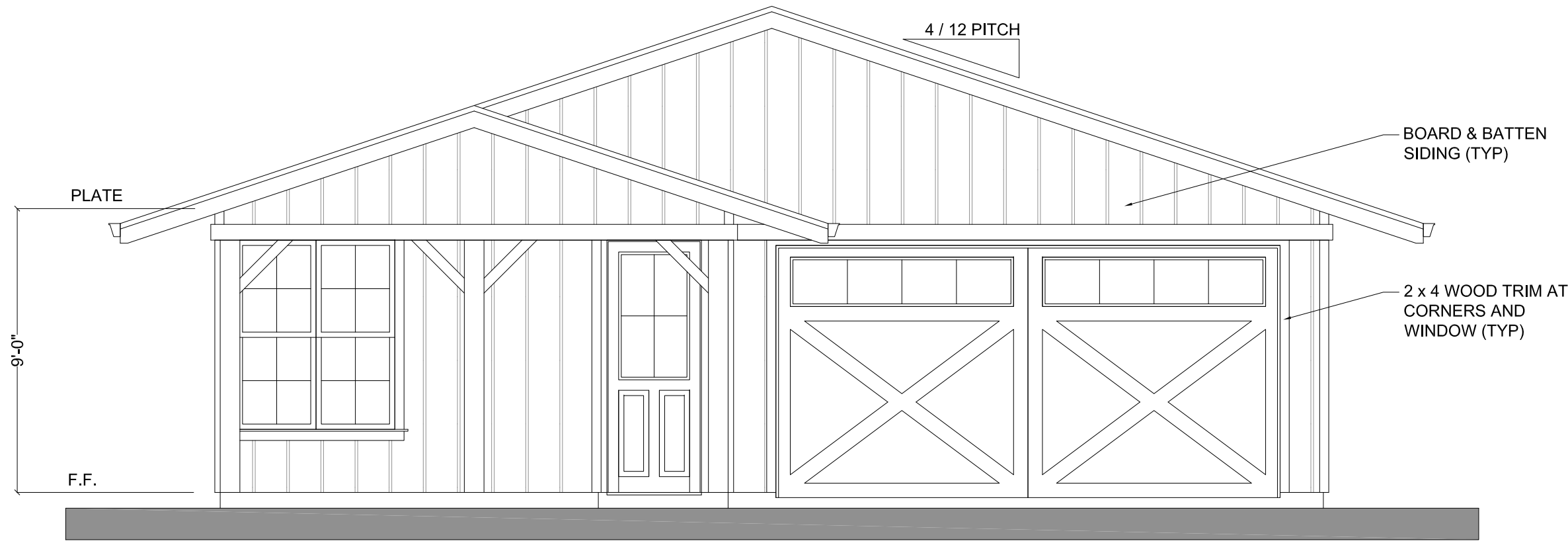
ZINFANDEL
SUBDIVISION

COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

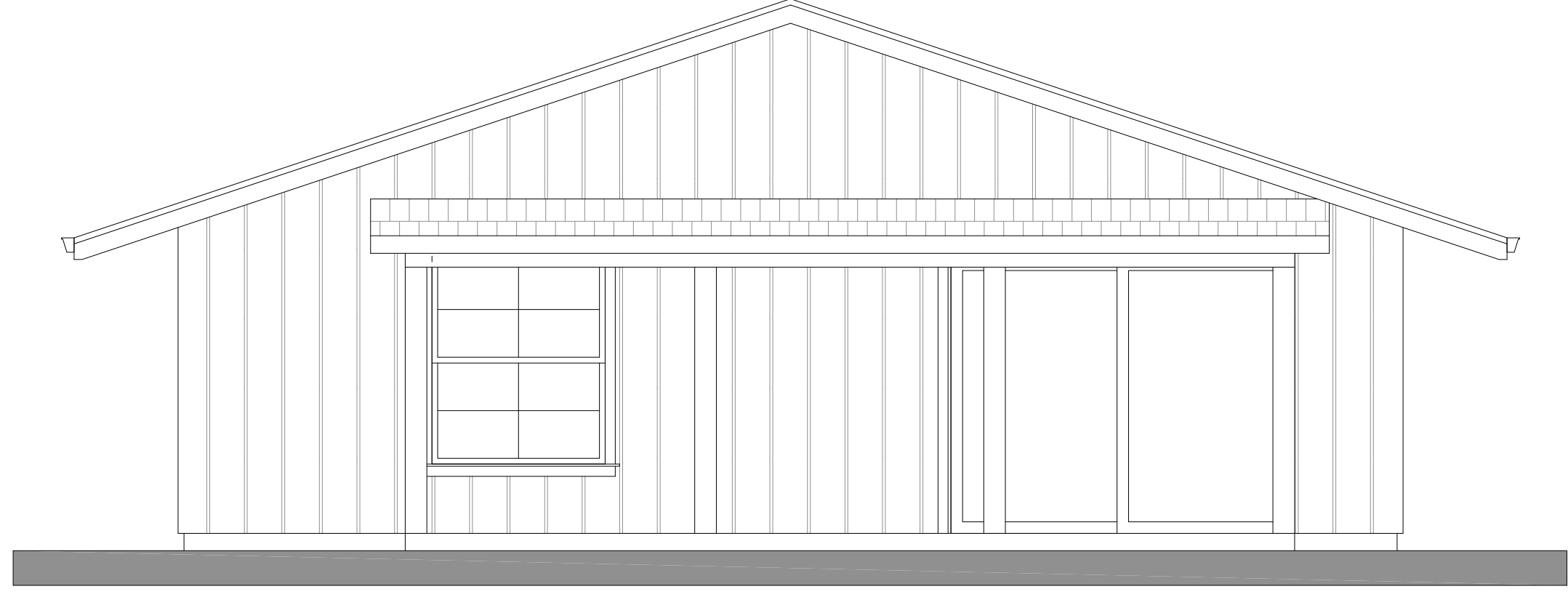
FLOOR PLAN	
CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	A201 of

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C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Coombsville_#4_r1.rvt
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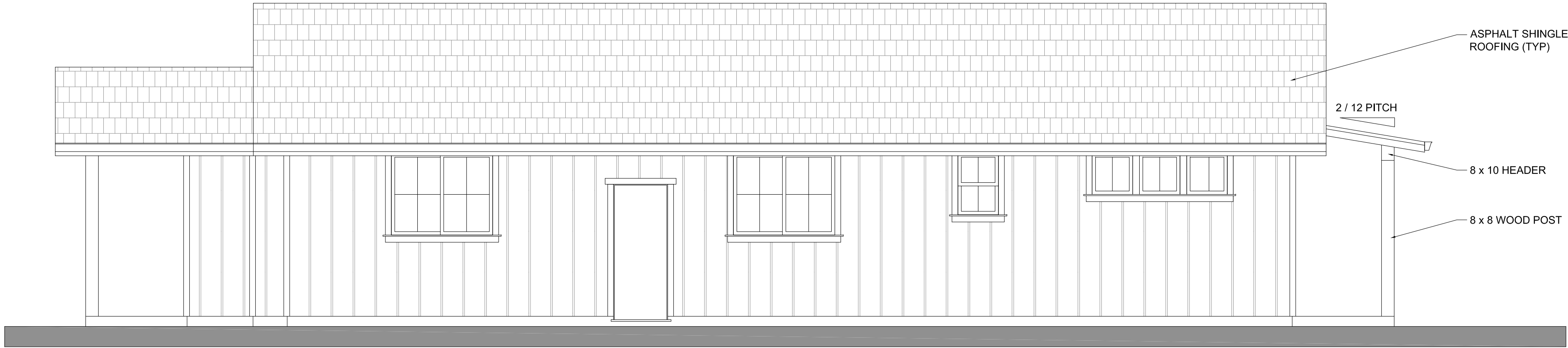


1 FRONT ELEVATION-Opt 1
1/4" = 1'-0"

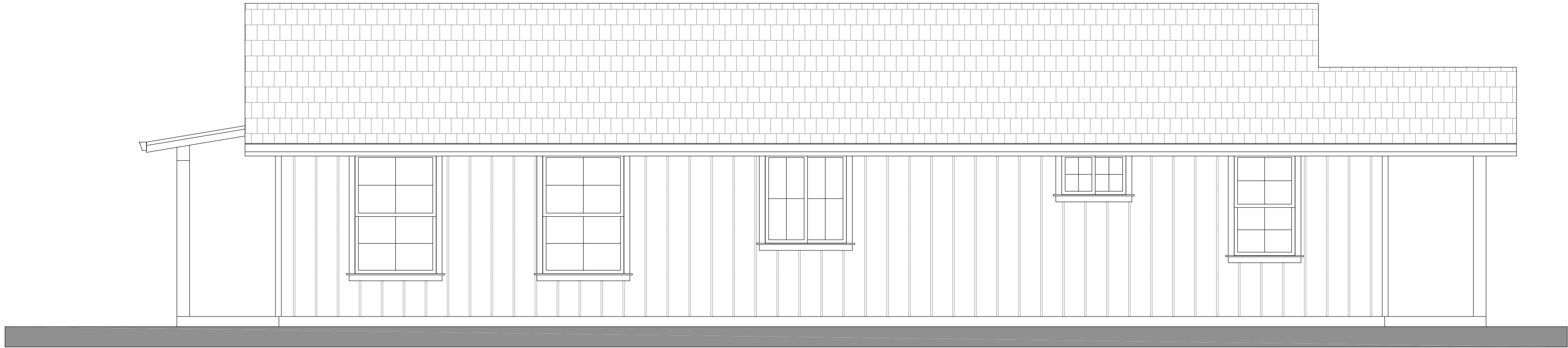


2 REAR ELEVATION-Opt 1
1/4" = 1'-0"

VT



3 RIGHT ELEVATION-Opt 1
1/4" = 1'-0"



4 LEFT ELEVATION-Opt 1
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 1

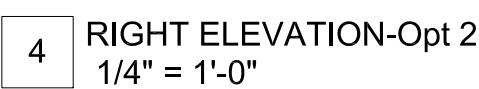
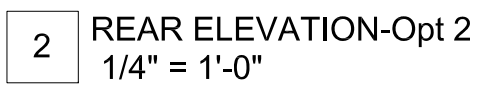
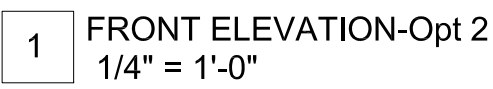
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DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

C:\Users\John.RIDropbox\DC\PROJECTS\2017\17056-8_Kirk_Zinfandel 12/15/2020 5:01:35 PM
Estates\ REVIT\2020.08.204_17056_Zinfandel Coombsville #4 r1.rvt



KIRK GEYER DESIGN / BUILD

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**

COOMBSVILLE
(Model #4)
583 El Centro Ave.
Napa, CA 94558

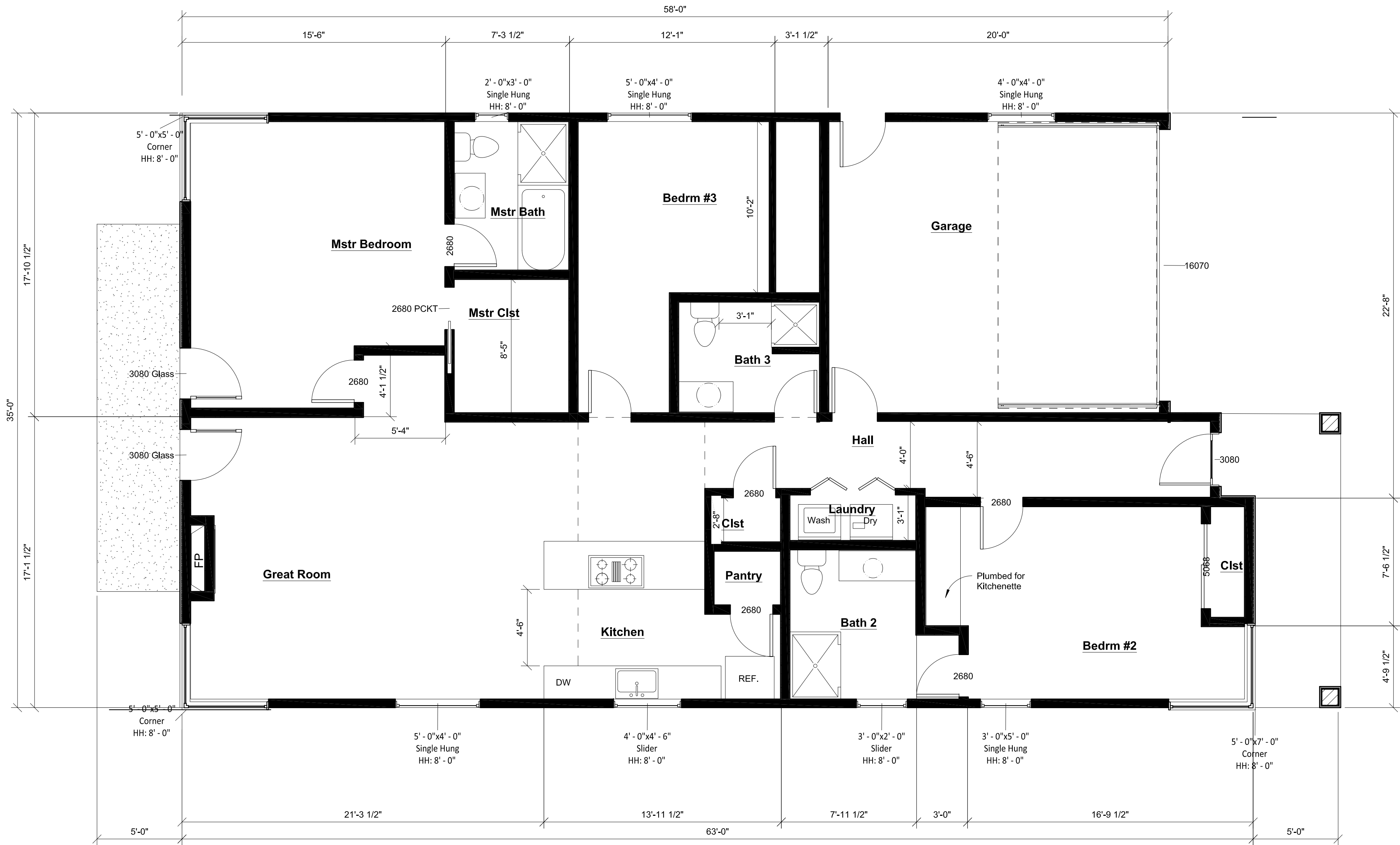
ELEVATIONS - OPT 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A322 of

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C:\Users\John R\Downloads\5_17056_Zinfandel_Chile's Valley_#5_1.rvt 8/14/2023 7:41:24 AM



1 01-Floor-New-Opt 2
1/4" = 1'-0"

KEYNOTES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1753 SF
Total Living Area		1753 SF

GARAGE / COVERED AREA

Name	Level	Area
Garage	Garage Slab	351 SF
Front Porch	Garage Slab	132 SF
Garage / Covered Area		483 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
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KIRK GEYER DESIGN / BUILD

ZINFANDEL
SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

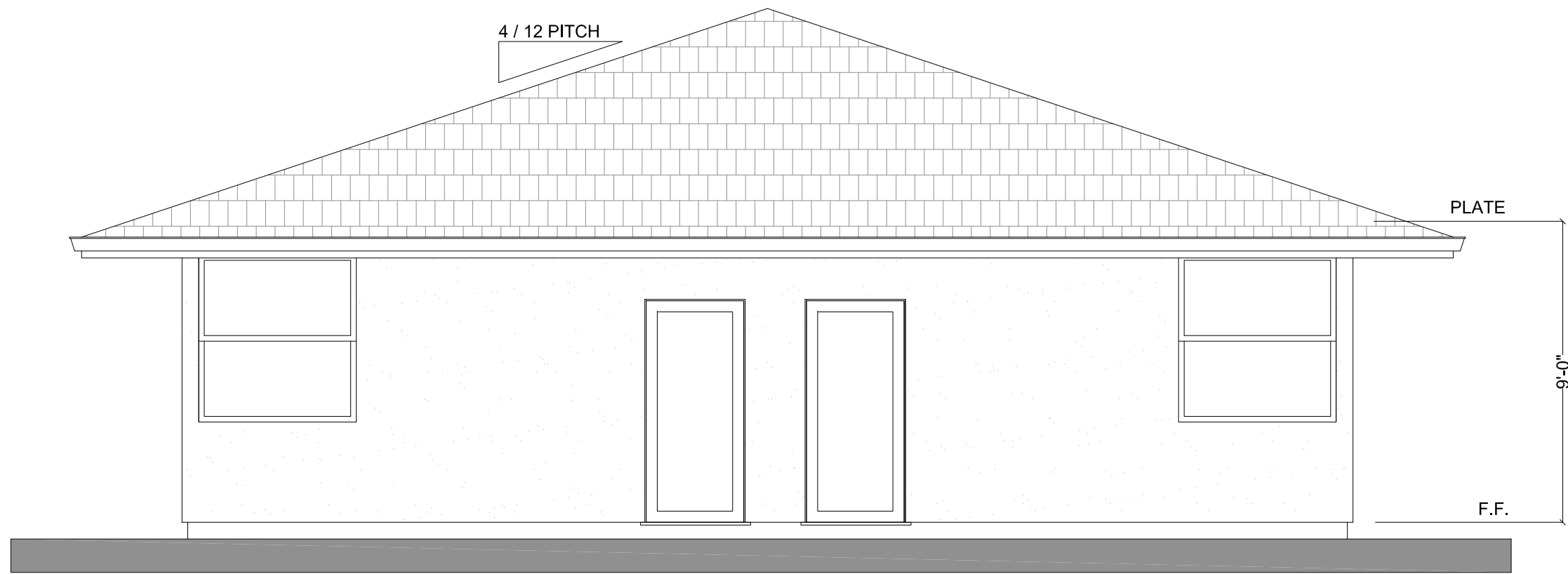
FLOOR PLAN

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	A201 of

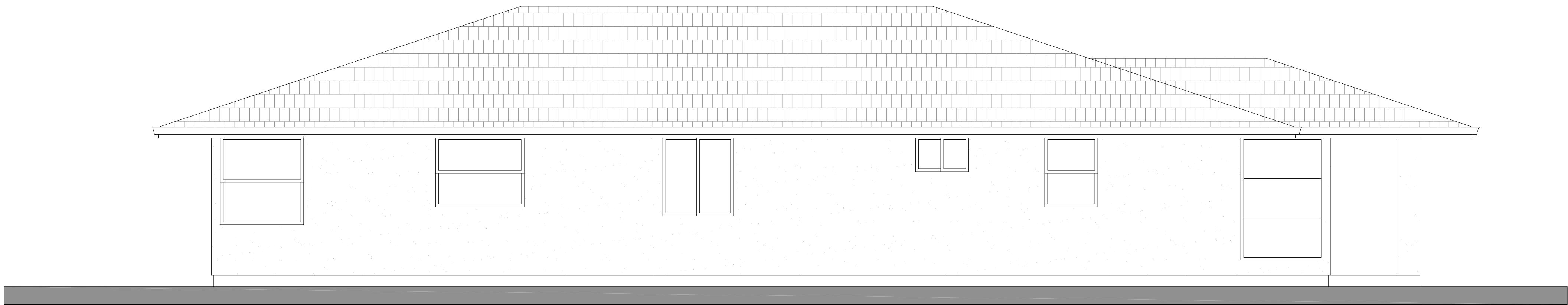
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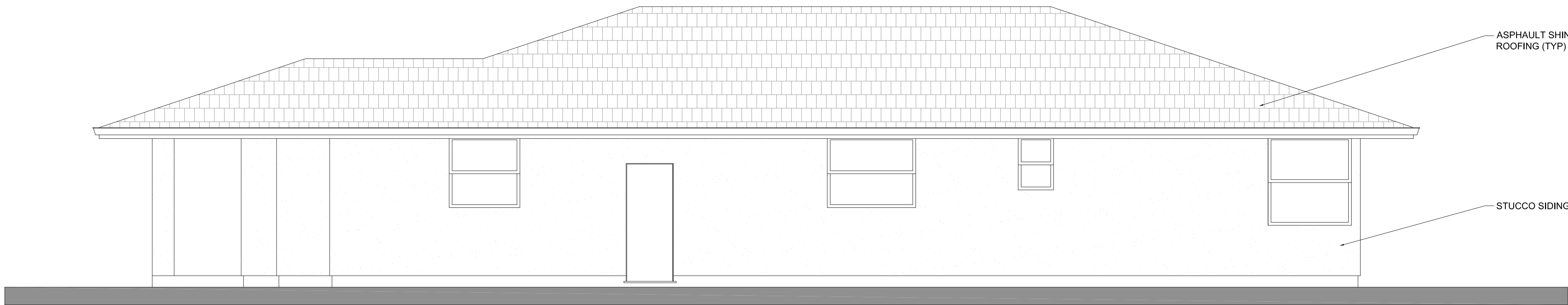
3 FRONT ELEVATION -Option 1
1/4" = 1'-0"



4 REAR ELEVATION - Option 1
1/4" = 1'-0"



1 LEFT ELEVATION - Option 1
1/4" = 1'-0"



2 RIGHT ELEVATION - Option 1
1/4" = 1'-0"

ASPHALT SHINGLE
ROOFING (TYP)

STUCCO SIDING

No.	Description	Date

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ZINFANDEL SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

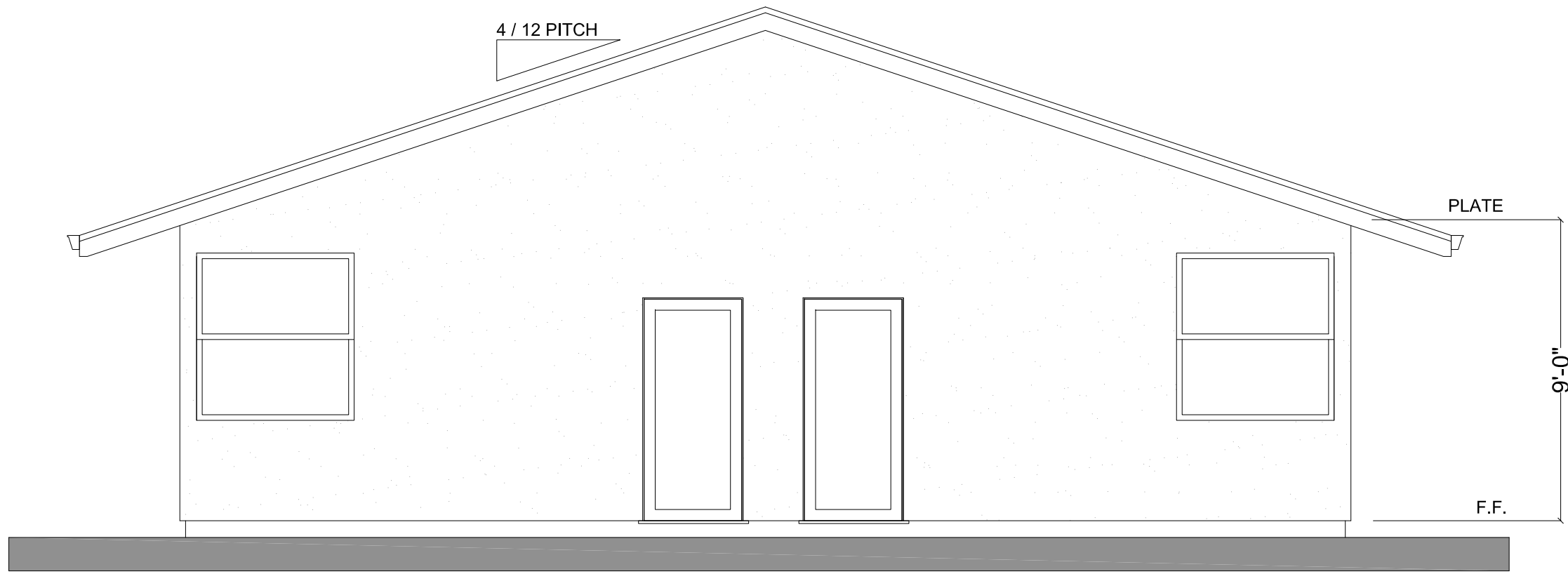
ELEVATIONS-Opt 1

CHECKED BY	KGeyer
DRAWN BY	Jneal
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	

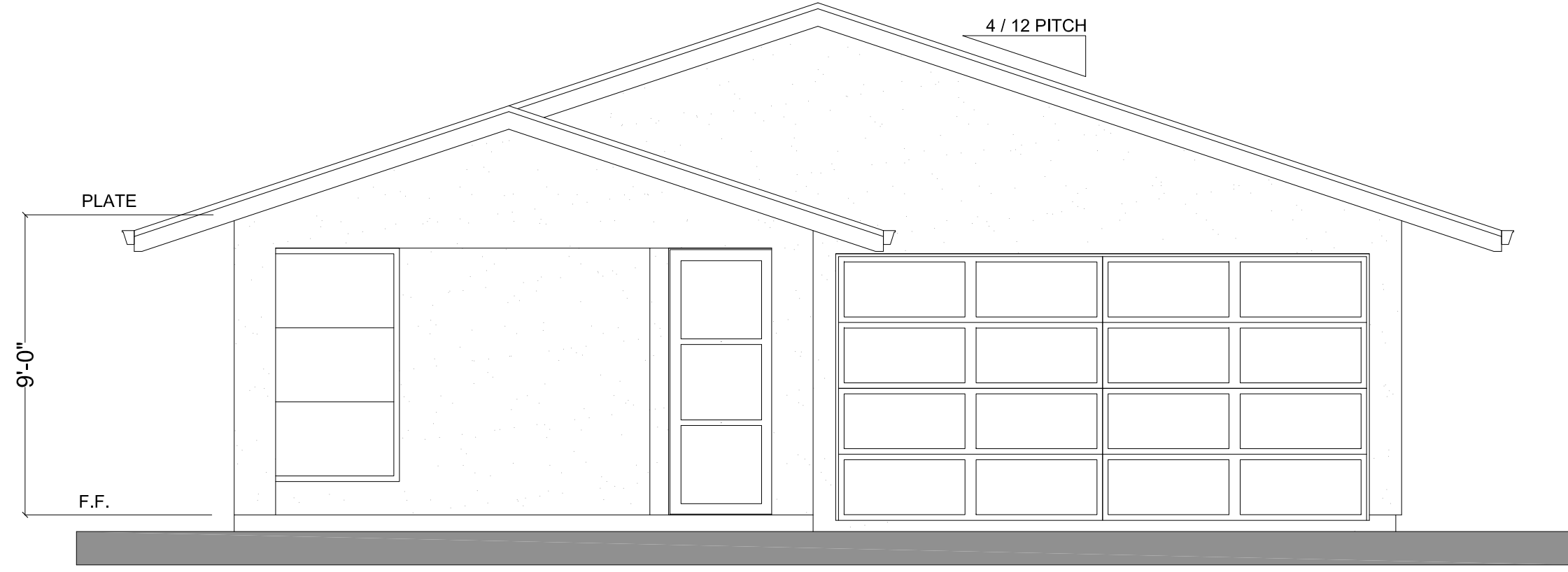
SHEET NO.
A321 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VIOLATION OF THIS NOTICE SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF THE ENGINEER. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

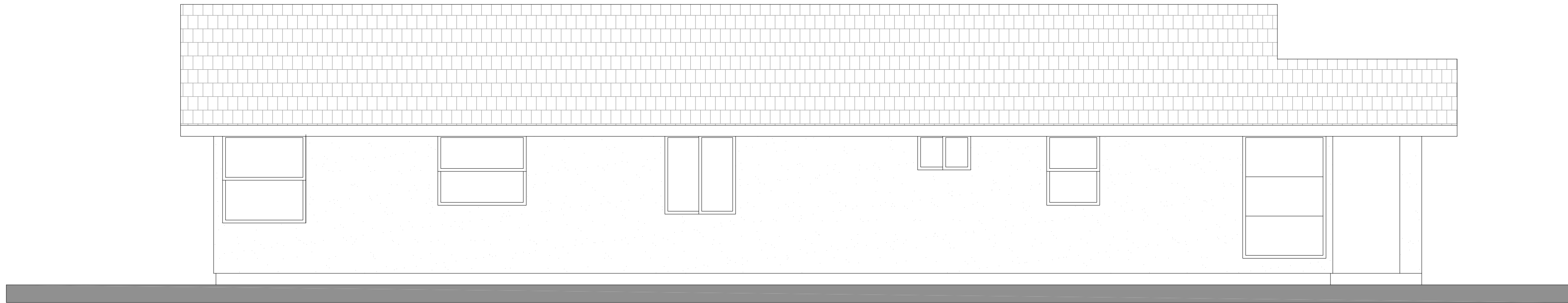
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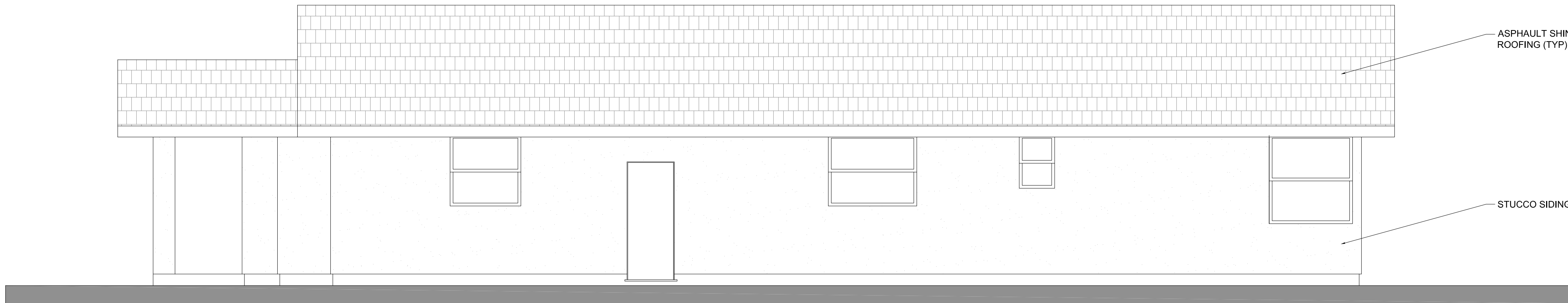
1 REAR ELEVATION-Opt 2
1/4" = 1'-0"



2 FRONT ELEVATION - Opt 2
1/4" = 1'-0"



3 LEFT ELEVATION - Opt 2
1/4" = 1'-0"



4 RIGHT ELEVATION - Opt 2
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
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KIRK GEYER DESIGN / BUILD

ZINFANDEL SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS-Opt 2

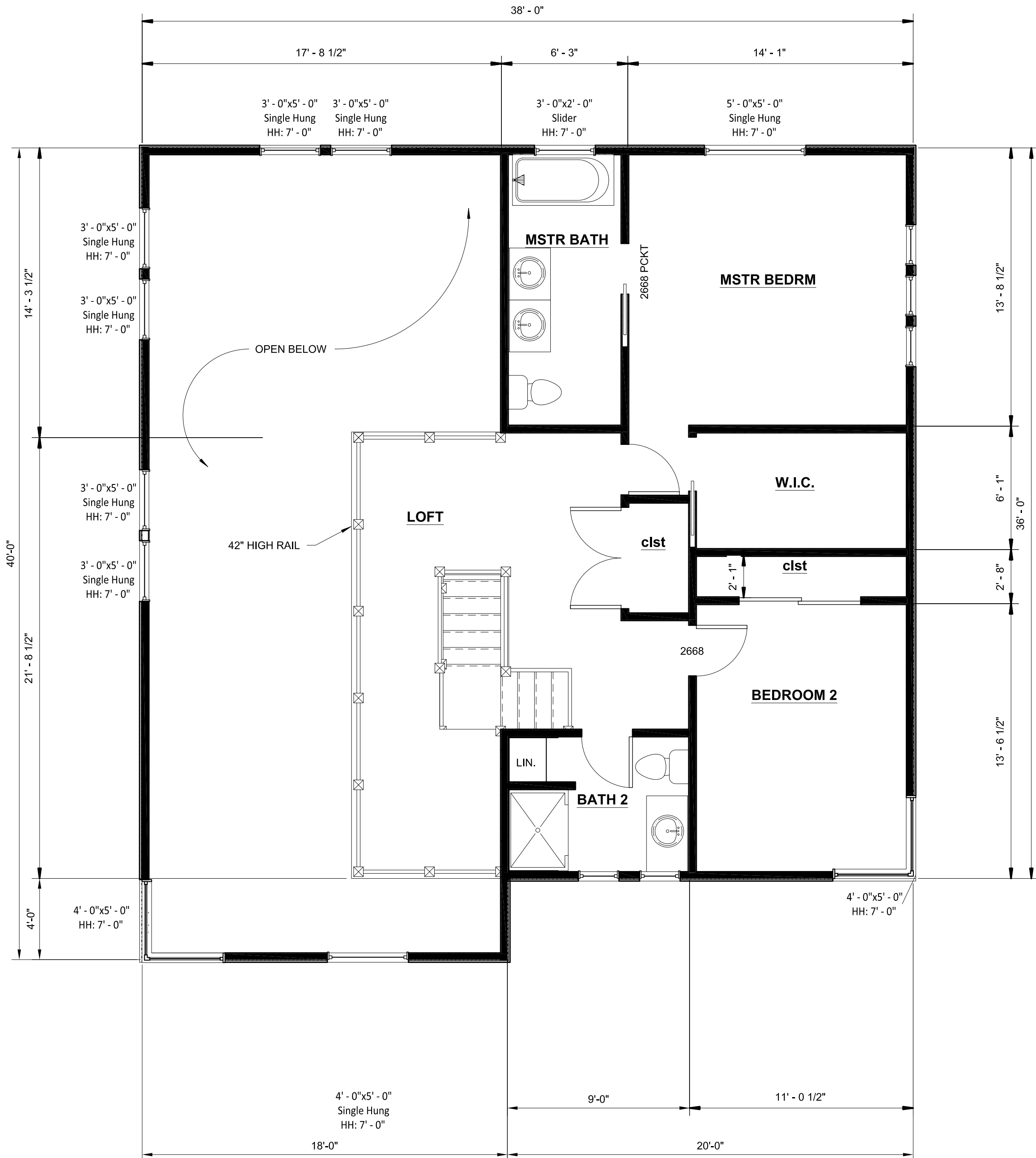
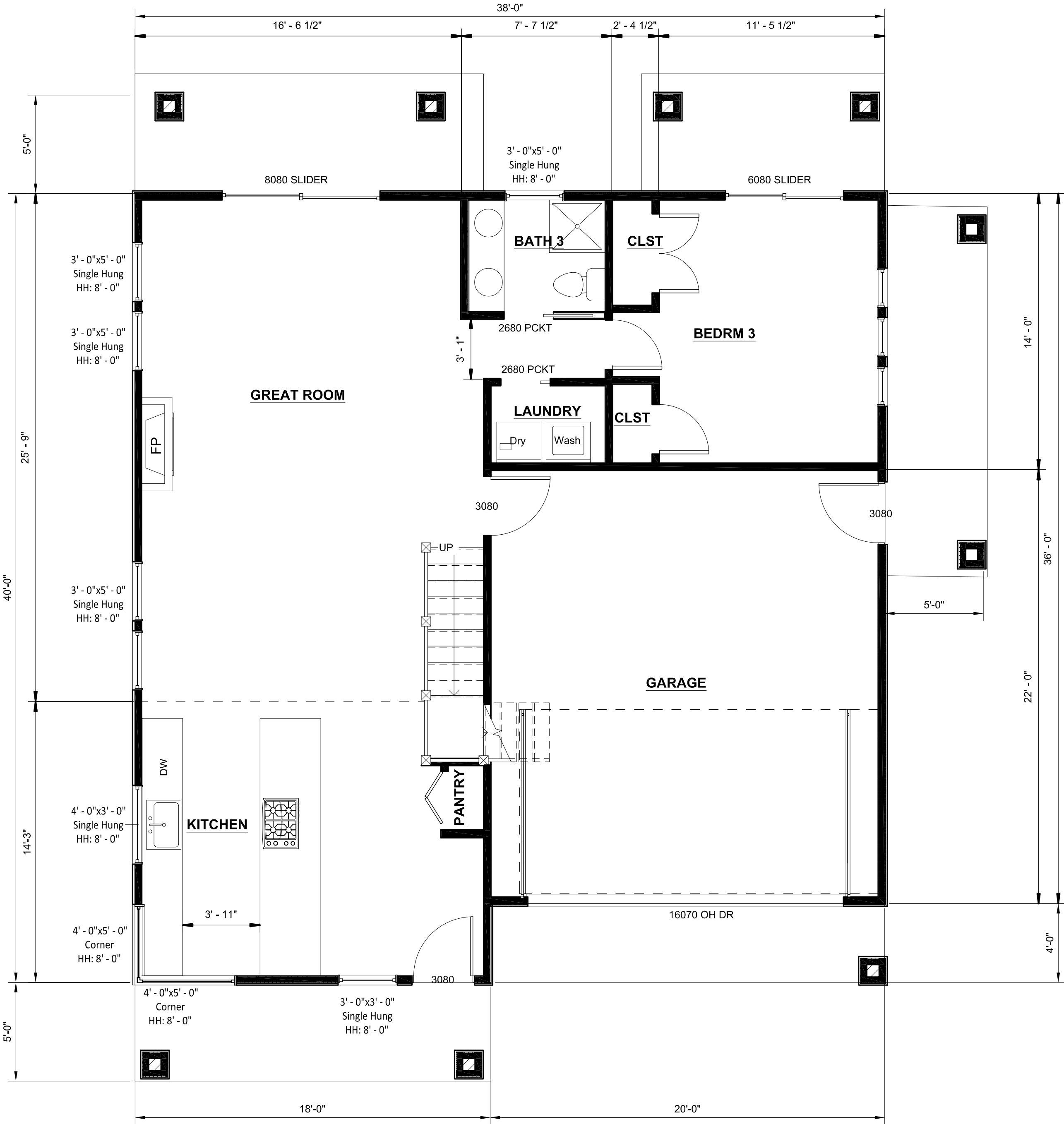
CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A322 of

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PROJECT DATA

LIVING AREA		
Name	Level	Area
1st Flr Area	1st Flr Level	1108 SF
2nd Flr Area	2nd Flr Level	856 SF
Total Living Area		1964 SF

GARAGE / COVERED AREA		
Name	Level	Area
Garage	1st Flr Level	440 SF
Front Porch	1st Flr Level	90 SF
Rear Porch 1	1st Flr Level	124 SF
Rear Porch 2	1st Flr Level	86 SF
Side Porch	1st Flr Level	116 SF
Driveway	1st Flr Level	200 SF
Garage / Covered Area		1056 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
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KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

FLOOR PLANS

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A201

of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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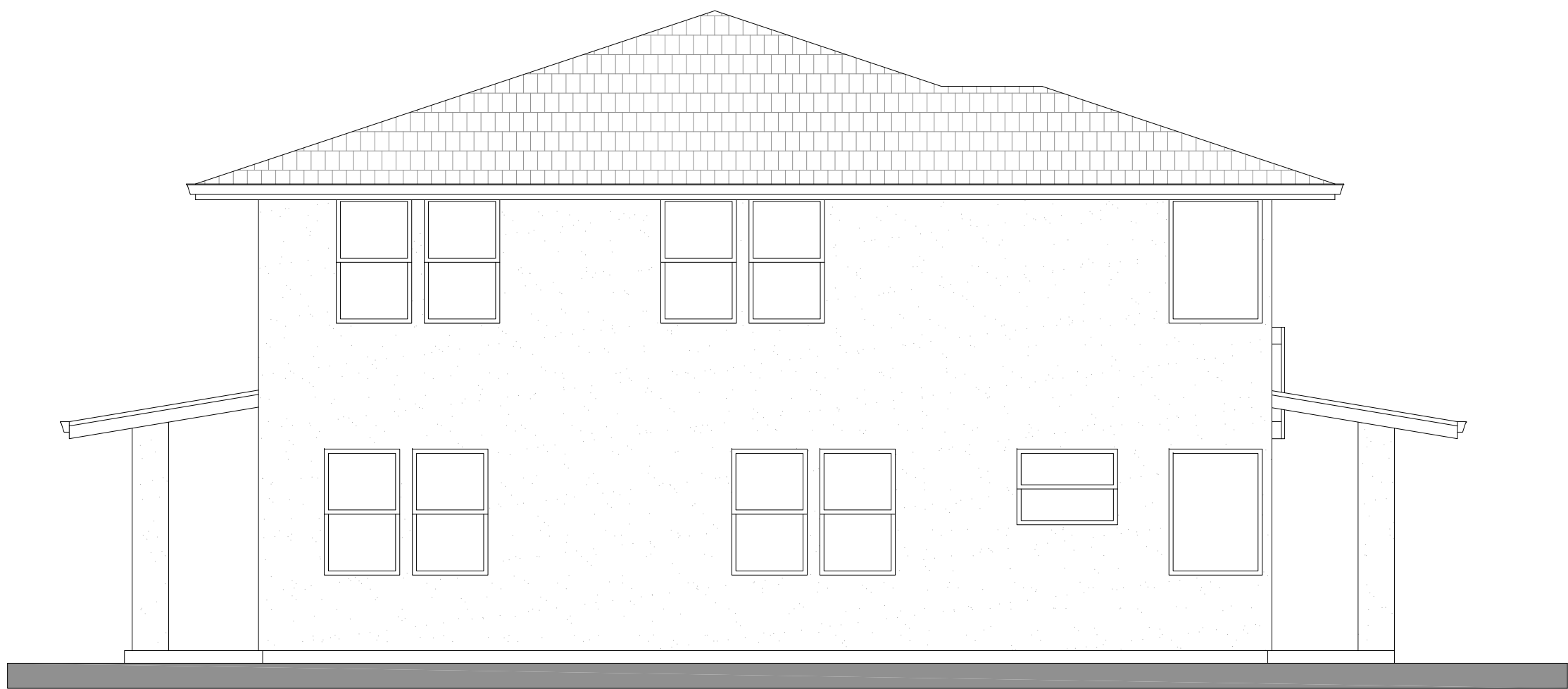
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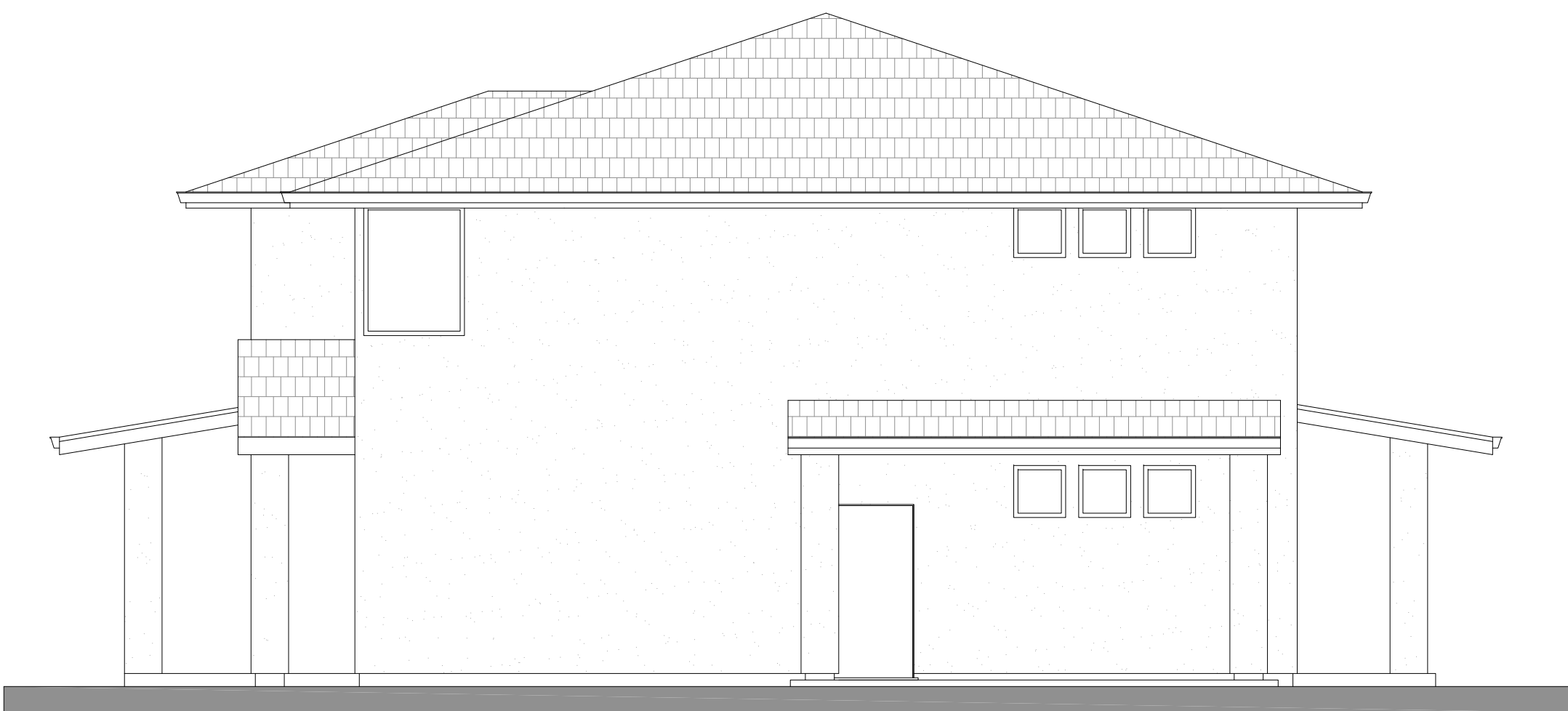
1 1-FRONT ELEVATION - Opt 1



2 REAR ELEVATION - OPT 1



3 3-LEFT ELEVATION-Opt 1



4 4-RIGHT ELEVATION-Opt 1

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

ELEVATIONS-Opt 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

C:\Users\John R\Dropbox\ DC\ PROJECTS\2017\17056-8 Kirk Zinfandel Estates\ REVIT\2020.08.20\6 17056 Zinfandel Stags



SHEET NO.
A322 of

TRINITY PROJECT, LLC
CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ABV. ABOVE
 AFF ABOVE FINISHED FLOOR
 APPROX.A. APPROXIMATE
 BLDG. BUILDING
 B. BEAM
 CL.G. CEILING
 CL.R. CLEAR
 COL. COLUMN
 CONC.A. CONCRETE
 CONT.A. CONTINUOUS
 CTR. CENTER
 DET. DETAIL
 DH DOWN HUNG WINDOW
 DN. DOWN
 DWG. DRAWING
 (E). EXISTING
 EA. EACH
 EQ. EQUAL
 EX.A. EXTERIOR
 F.A. FINISH FLOOR
 FIN. FINISH
 FOF FACE OF FINISHED MATERIAL
 FOS FACE OF STUD
 FX FIXED WINDOW
 GA. GAUGE
 GC GENERAL CONTRACTOR
 GYP.B.D.A. GYPSUM BOARD
 HDR. HEADER
 HDWR. HARDWARE
 HT. HEIGHT
 INT. INTERIOR
 JST. JOIST
 MAX. MAXIMUM
 MFR. MANUFACTURER
 MIN. MINIMUM
 MTD. MOUNTED
 (N). NEW
 NG NOT IN CONTRACT
 N.T.S. NOT TO SCALE
 O.C. ON CENTER
 O.H. OVERHUNG
 REQD. REQUIRED
 SIM. SIMILAR
 S. SLIDER WINDOW
 STD. STANDARD
 S.O.G. SLAB ON GRADE
 T.O.C. TOP OF CURB
 T.O.S. TOP OF SLAB
 T.O.S.F. TOP OF SUB-FLOOR
 T.O.P. TOP OF PLATE
 T.O.WD.W. TOP OF WINDOW
 TYP. TYPICAL
 U.O. UNLESS NOTED OTHERWISE
 V.I.F. VERIFY IN FIELD
 WDW WINDOW



<u>NO.</u>	<u>NAME</u>
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLANS
A321	ELEVATIONS - OPT 1
A322	ELEVATION - OPT 2

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: <http://www.gsmlainc.com>
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

BUILDING CODE:	2016 CALIFORNIA BUILDING CODE (C.B.C.) 2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING CODE

NEW CUSTOM 1997 S.F. SINGLE FAMILY HOME

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

OCCUPANCY: R-2
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Flr Area	1st Flr Level	911 SF
2nd Flr Area	2nd Flr Level	1037 SF
Total Living Area		1948 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	524 SF
Garage Area		524 SF

	BUILDING SECTION NUMBER		ROOM NAME WITH FLOOR FINISH	ROOM NAME FLOOR FINISH
BUILDING SECTION (PLAN)		SHEET NUMBER	WINDOW TAG	
BUILDING SECTION (ELEVATION)			DOOR TAG	3068 = 36" WIDE BY 6'-8" TALL
ELEVATIONS			REVISION TAG	
WALL SECTION			LEVEL TAGS	NAME ELEVATION NAME ELEVATION
DETAIL CALLOUT		Detailed drawing area with dashed lines and labels: DETAIL NUMBER, SHEET NUMBER	DRAWING TITLE	
DETAIL CUT (PLAN/SECTION)			NORTH ARROWS	
RELATED DETAIL CUT BELOW OR ABOVE				



THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

1. TRUSS CALCULATIONS AND SHOP DRAWINGS.
2. FIRE SPRINKLER SYSTEM.

ALL PORTION(S)/ITEM(S) BEING DEFERRED SHALL:

- A. BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- B. BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL SIMILAR wording INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- C. REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
- D. NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

[illegible]

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

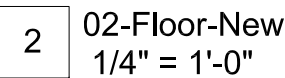
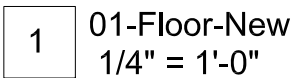
CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/2" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	Design Development
SHEET NO.	

A000 of

C:\Users\John R\Dropbox (Design Collaborative)_DC_PROJECTS\2017117056-8_Kirk_Zinfandel Estates_REVIT\2020.08.2017_17056 Zinfandel
Carners #7 r3.rvt

5/28/2021 6:13:48 PM



<u>LIVING AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Flr Area	1st Flr Level	911 SF
2nd Flr Area	2nd Flr Level	1037 SF
Total Living Area		1948 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	524 SF
Garage Area		524 SF

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



CARNEROS (Model
(Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	

SHEET NO.

A201

of

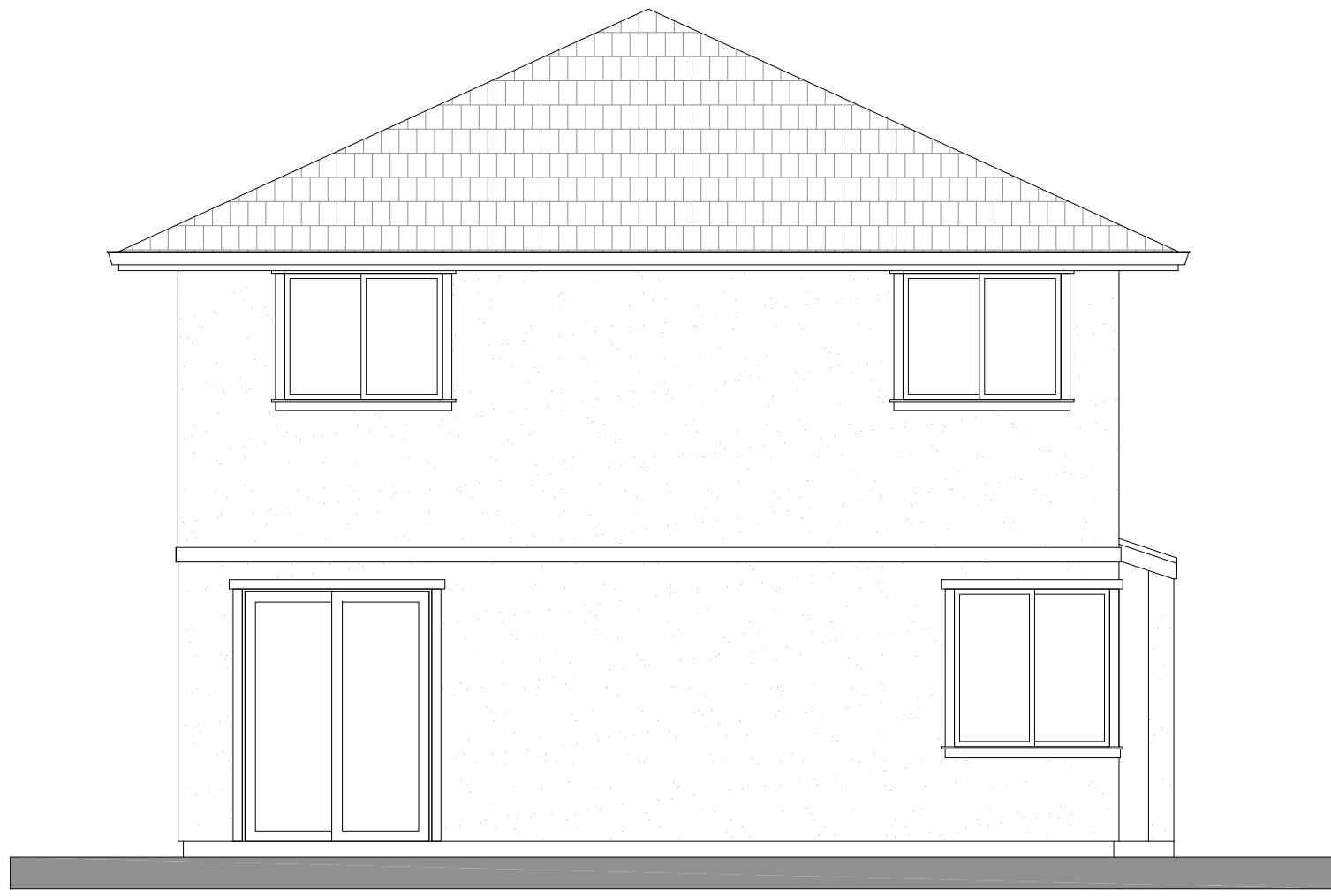
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12/16/2020 10:17:16 AM

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1 FRONT ELEVATION - OPT 1
3/16" = 1'-0"



2 REAR ELEVATION - OPT 1
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 1
3/16" = 1'-0"



4 RIGHT ELEVATION - OPT 1
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
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707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

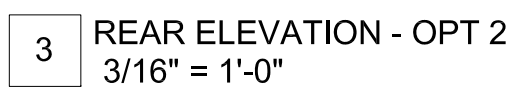
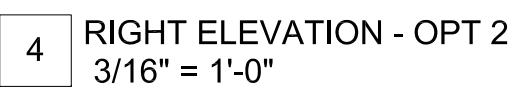
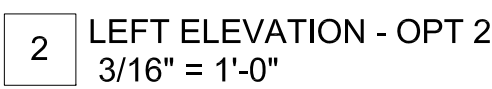
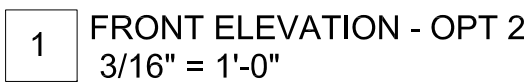
CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.16.2020
PROJECT NO.	17037
PHASE NO.	

SHEET NO.
A321 of

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**ZINFANDEL
SUBDIVISION**

CARNEROS (Model
(Model #7)
583 EL CENTRO AVE
Napa, CA 94558

KIRK GEYER DESIGN/BUILD

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**

CHECKED BY
Checker
DRAWN BY
Author
SCALE
3/16" = 1'-0"
DATE
05.28.21
PROJECT NO.
17037
PHASE NO.
SHEET NO.
A322 of

ABBREVIATIONS

ABV. ABOVE
AFF. ABOVE FINISHED FLOOR
APPROX.A. APPROXIMATE
BLDG. BUILDING
B. BEAM
CLG. CEILING
CLR. CLEAR
COL. COLUMN
CONC..A.A. CONCRETE
CONT.A. CONTINUOUS
CTR. CENTER
DET. DETAIL
DH. DOUBLE HUNG WINDOW
DN. DOWN
DWG. DRAWING
(E) EXISTING
EA. EACH
EQ. EQUAL
EXT. EXTERIOR
F.A. FINISH FLOOR
FIN. FINISH
FOP. FACE OF FINISHED MATERIAL
FOS. FACE OF STUD
FX. FIXED WINDOW
GA. GAUGE
GC. GENERAL CONTRACTOR
GYP.BD.A. GYPSUM BOARD
HDR. HEADER
HDWR. HARDWARE
HT. HEIGHT
INT. INTERIOR
JST. JOIST
MAX. MAXIMUM
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED
(N) NEW
NIC. NOT IN CONTRACT
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.H. OVERHANG
REQD. REQUIRED
SIM. SIMILAR
S. SLIDER WINDOW
STD. STANDARD
S.O.G. SLAB ON GRADE
T.O.C. TOP OF CURB
T.O.S. TOP OF SLAB
T.O.SF. TOP OF SUB-FLOOR
T.O.P. TOP OF PLATE
T.O.WDW. TOP OF WINDOW
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
V.I.F. VERIFY IN FIELD
WDW. WINDOW

ZINFANDEL SUBDIVISION
TRINITY PROJECT, LLC
ATLAS PEAK (with ADU) (Model #8)
1583 EL CENTRO AVE.
NAPA, CA 94558



1 COVER SHEET VIEW - OPT 1



2 COVER SHEET VIEW - OPT 2

DRAWING INDEX

NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLANS
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

PROJECT DIRECTORY

OWNER

TRINITY PROJECT, LLLC
977 SALVADOR AVE.
NAPA CA 94558
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

DESIGNER

KIRK GEYER
2276 LOMA HEIGHTS RD.
NAPA CA 94559
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

CIVIL ENGINEER

RSA
1515 Fourth Street
NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

LANDSCAPE ARCHITECT

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: http://www.gsmlainc.com
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

SCOPE OF WORK

NEW CUSTOM 1,999 S.F. SINGLE FAMILY HOME

TITLE 24

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

PROJECT DATA

LIVING AREA		
Name	Level	Area
1st Floor Area	1st Flr Level	936 SF
2nd Floor Area	2nd Flr Level	1042 SF
ADU	1st Flr Level	384 SF
Total Living Area		2362 SF

GARAGE / PORCH AREA

Name	Level	Area
Garage Area	Garage Slab	475 SF
Front Porch Area	Garage Slab	355 SF
Garage/Porch Area		830 SF

CODE INFORMATION

BUILDING CODE: 2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE: 2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE: 2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE: 2016 CALIFORNIA PLUMBING CODE
FIRE CODE: 2016 CALIFORNIA FIRE CODE
ENERGY CODE: 2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

- TRUSS CALCULATIONS AND SHOP DRAWINGS.
- FIRE SPRINKLER SYSTEM.
- ALL PORTION(S)ITEM(S) BEING DEFERRED SHALL:
- BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
 - BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
 - REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
 - NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

LEGEND

BUILDING SECTION (PLAN) 1 A101

BUILDING SECTION (ELEVATION) 1 A101

ELEVATIONS 1 A101

WALL SECTION 1 A101

DETAIL CALLOUT 1 A101

DETAIL CUT (PLAN/SECTION) 1 A101

RELATED DETAIL CUT BELOW OR ABOVE 1 A101

ROOM NAME WITH FLOOR FINISH ROOM NAME FLOOR FINISH

WINDOW TAG 1t

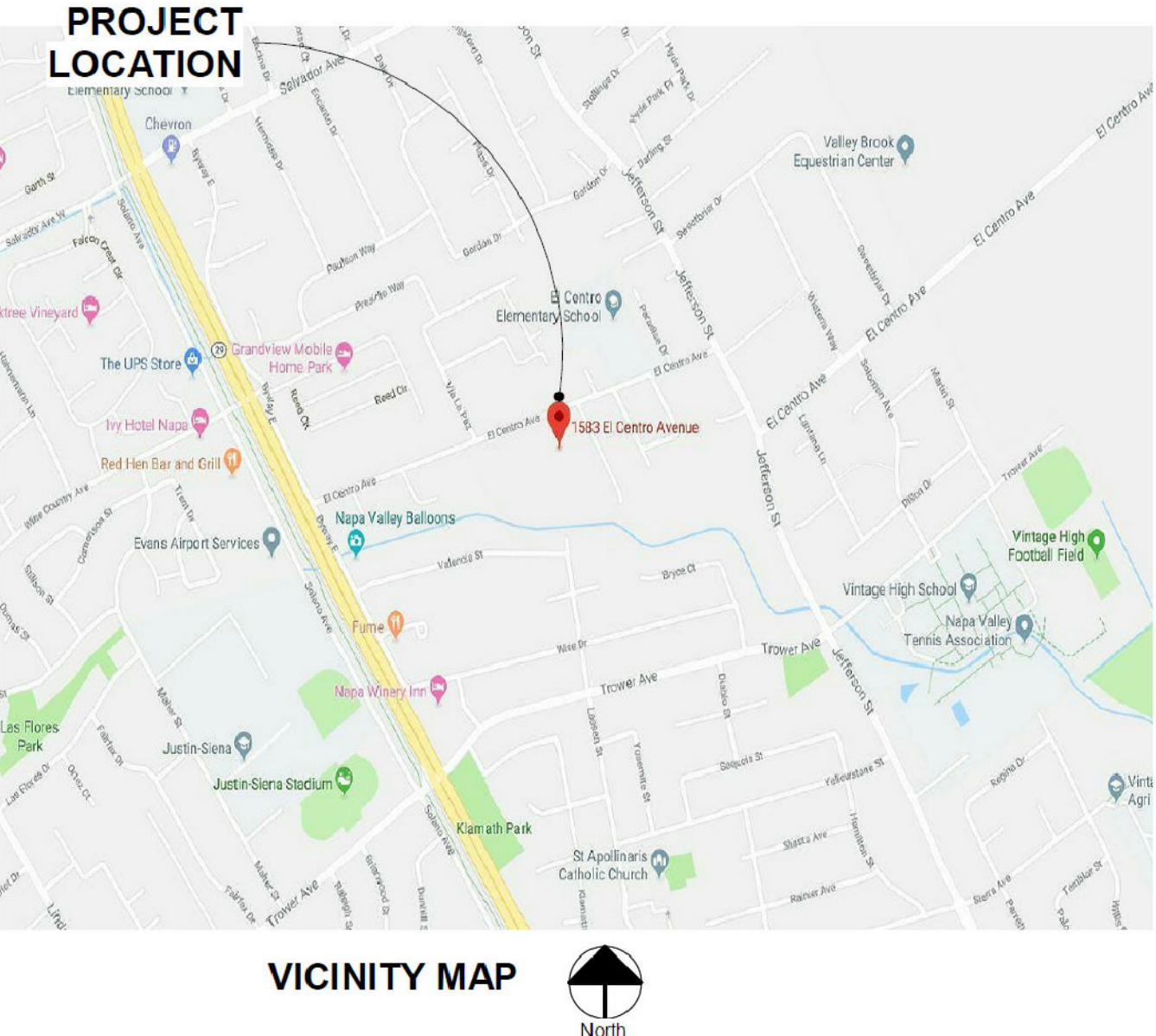
DOOR TAG 3068 = 36" WIDE BY 6'-8" TALL

REVISION TAG 1

LEVEL TAGS NAME ELEVATION LEVEL ELEVATION

DRAWING TITLE 1 DRAWING NAME SCALE

NORTH ARROWS North WORKING NORTH



2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



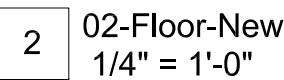
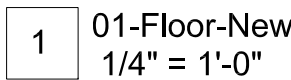
ZINFANDEL
SUBDIVISION

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

COVER SHEET

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000

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<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Floor Area	1st Flr Level	936 SF
2nd Floor Area	2nd Flr Level	1042 SF
ADU	1st Flr Level	384 SF
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Front Porch Area	Garage Slab	355 SF
Garage/Porch Area		830 SF



KIRK GEYER DESIGN/BUILD

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

CHECKED BY	KGeyer
DRAWN BY	The Digital Realm
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THE DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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1 FRONT ELEVATION - OPT 1
3/16" = 1'-0"



2 RIGHT ELEVATION - OPT 1
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 1
3/16" = 1'-0"



4 REAR ELEVATION - OPT 1
3/16" = 1'-0"

No.	Description	Date

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NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

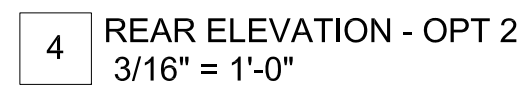
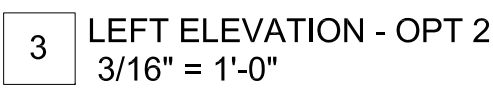
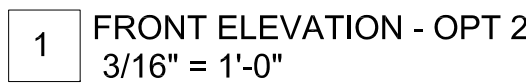
ZINFANDEL
SUBDIVISION

ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	A321

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NAPA CA 94558
707 / 337-3025
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ATLAS PEAK (with
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ELEVATIONS - OPT 2

A322 of