

TENTATIVE SUBDIVISION MAP

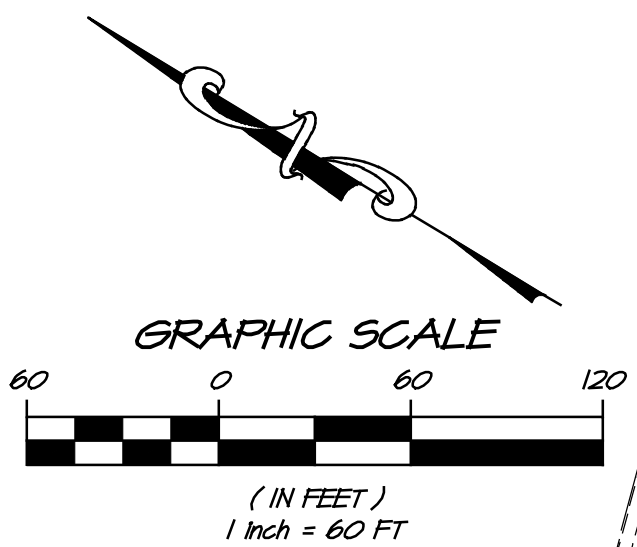
ZINFANDEL SUBDIVISION

NAPA

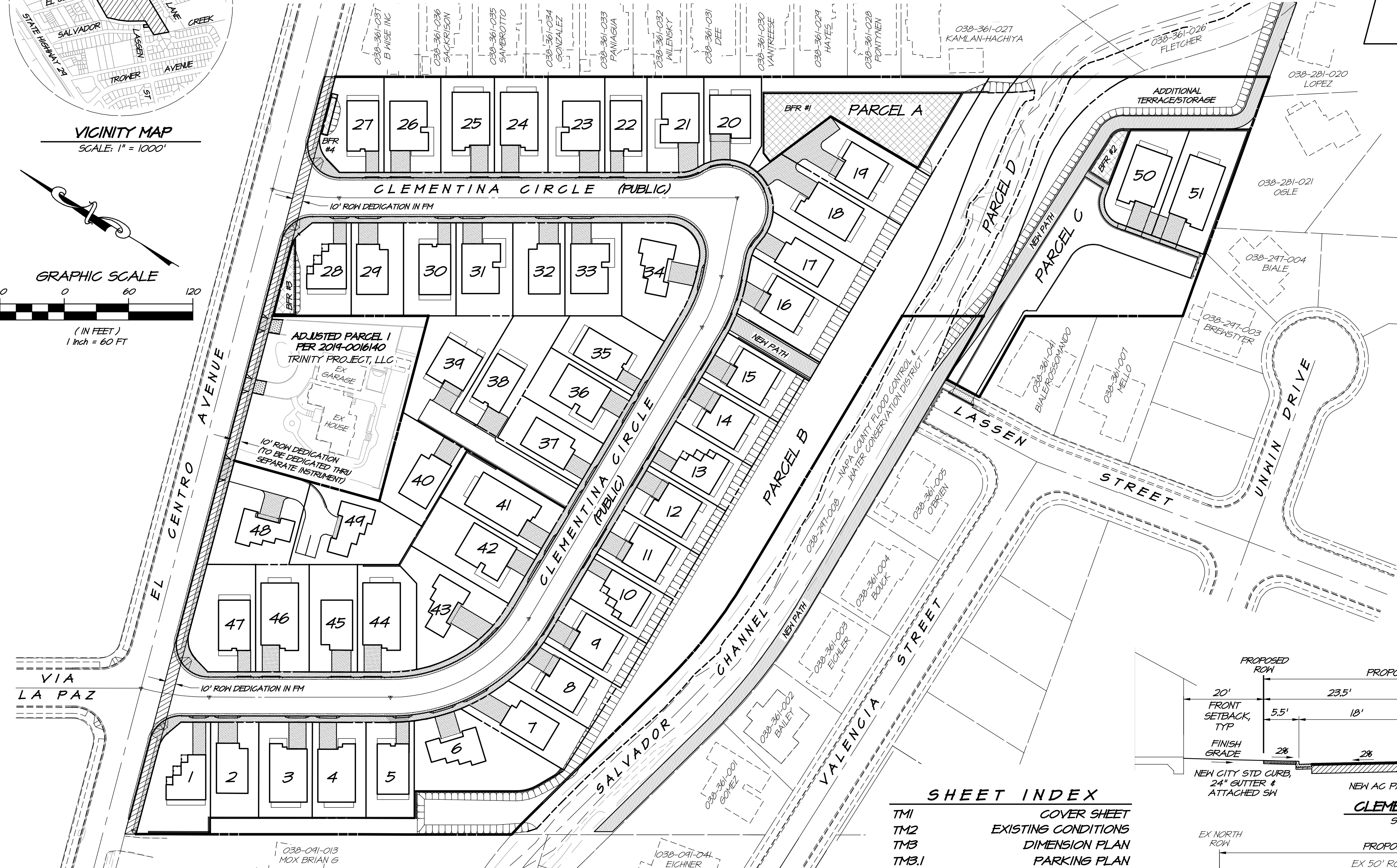
CALIFORNIA



VICINITY MAP
SCALE: 1" = 1000'



GRAPHIC SCALE
(IN FEET)
1 inch = 60 FT



FORMER PARCELS
SCALE: 1" = 300'

EXISTING PARCELS
(RECORDED LLA)
SCALE: 1" = 300'

PROPOSED PARCELS
SCALE: 1" = 300'

SYMBOL LEGEND

EXISTING	EXISTING	PROPOSED
EX 30' EDGE OF PAVEMENT	EX AD 0 AREA DRAIN	PROPOSED EDGE OF PAVEMENT/CONCRETE
EX 30' STORM DRAIN LINE	EX AD 1 BLOW OFF	PROPOSED WATER LINE
EX 30' SANITARY SEWER LINE	EX AD 2 DROP INLET	PROPOSED STANDARD SIDEWALK
EX 30' WATER LINE	EX AD 3 WATER WELL	PROPOSED STD CURB AND GUTTER
EX 30' SANITARY SEWER MANHOLE	EX AD 4 HOSE BIB	PROPOSED STD WATER VALVE
EX 30' STORM DRAIN MANHOLE	EX AD 5 WATER METER	PROPOSED DROP INLET
EX 30' CURB AND GUTTER	EX AD 6 GAS METER	PROPOSED RETAINING WALL/CURB
EX 30' CATCH BASIN	EX AD 7 SEWER CLEANOUT	PROPOSED 100-YEAR OVERLAND RELEASE PATH
EX 30' SIDEWALK	EX AD 8 SEWER LATERAL	PROPOSED FLOW DIRECTION
EX 30' FIRE HYDRANT	EX AD 9 WATER SERVICE	PROPOSED STANDARD DRIVEWAY
EX 30' WATER VALVE		PROPOSED STREET MONUMENT
EX 30' WOOD FENCE		PROPOSED STORM DRAIN LINE
EX 30' DRIVEWAY		PROPOSED SANITARY SEWER LINE
EX 30' CONTOUR LINE		PROPOSED CATCH BASIN
EX 30' SPOT ELEVATION		PROPOSED FIRE HYDRANT
EX 30' RETAINING WALL		PROPOSED STORM DRAIN MANHOLE
EX 30' STREET SIGN		PROPOSED SANITARY SEWER MANHOLE
EX 30' HANDICAP RAMP		PROPOSED CURB RAMP
EX 30' UTILITY VAULT		PROPOSED SANITARY SEWER FLUSH HOLE
EX 30' IRRIGATION CONTROL VALVE		PROPOSED SLOPE AS NOTED ON PLANS

PROJECT INFORMATION

OWNERS: TRINITY PROJECT, LLC
977 SALVADOR AVENUE
NAPA, CALIFORNIA 94558

ARCHITECT: KIRK BEYER
1038 ROSS CIRCLE
NAPA, CALIFORNIA 94558
(707) 337-3025

LANDSCAPE ARCHITECT: GSH LANDSCAPE ARCHITECTS, INC.
1700 SOKOL AVENUE, STE. 23
NAPA, CALIFORNIA 94559
(707) 255-4630

GEOTECHNICAL ENGINEER: RGH CONSULTANTS
1305 NORTH DUTTON AVENUE
SANTA ROSA, CALIFORNIA 95401
(707) 554-1072

ARBORIST: PRAMUK, TREES AND ASSOCIATES, LLC
P.O. BOX 25
NAPA, CALIFORNIA 94559
(707) 226-2884

CIVIL ENGINEER & SURVEYOR: RSA+
1515 FOURTH STREET
NAPA, CALIFORNIA 94559
(707) 252-3301

PARCEL NO: ADJUSTED PARCEL 2 (RECORDED LLA)
PARCEL AREA: 9.7± ACRES
EXISTING USE: RESIDENTIAL
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
WATER: CITY OF NAPA
SEWER: NAPA SANITATION DISTRICT

EXISTING ZONING: RS 4
PROPOSED ZONING: RS 4

GENERAL PLAN DESIGNATION AT THE TIME OF PROJECT COMPLETION NOTIFICATION (JULY 1, 2021): SFR-20

SHEET INDEX

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TM3.1	PARKING PLAN
TM4	GRADING PLAN (North Portion)
TM5	GRADING PLAN (South Portion)
TM6	GRADING SECTIONS
TM7	UTILITY PLAN (North Portion)
TM8	UTILITY PLAN (South Portion)
TM9	STORMWATER CONTROL PLAN
TM10	ESCP SITE PLAN

SITE PLAN

SCALE: 1" = 60'

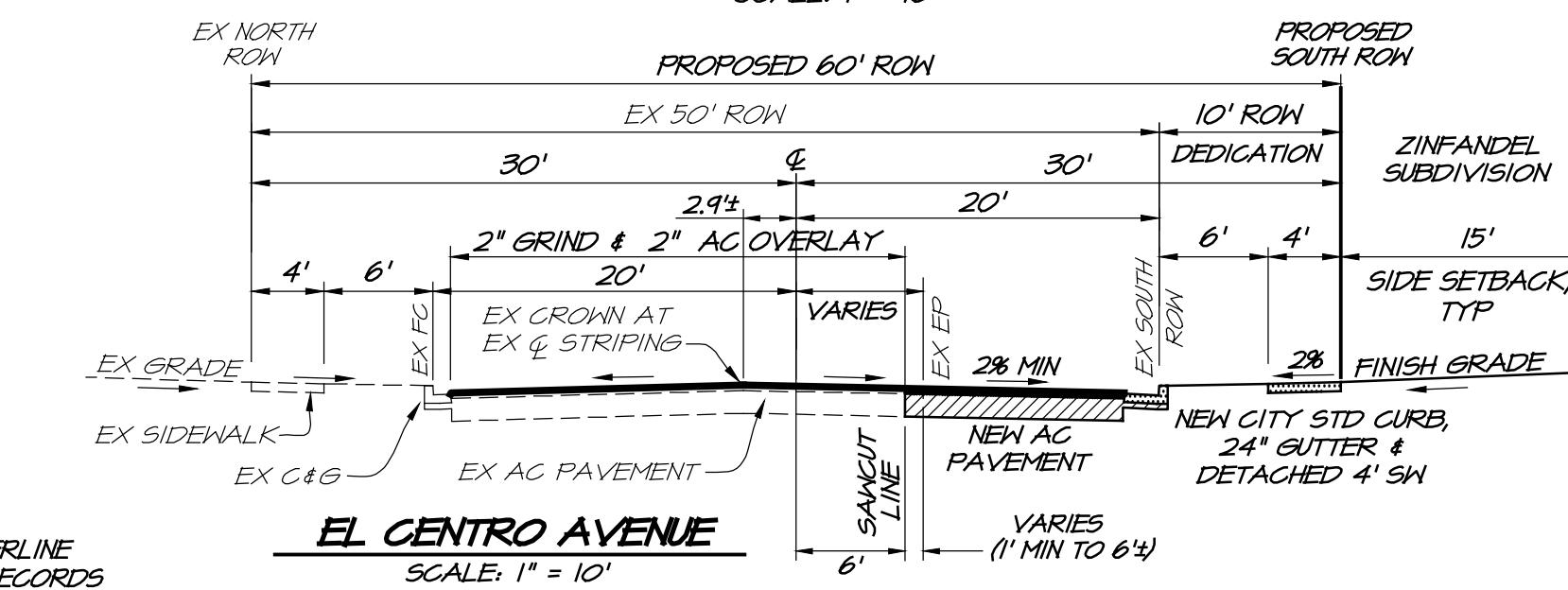
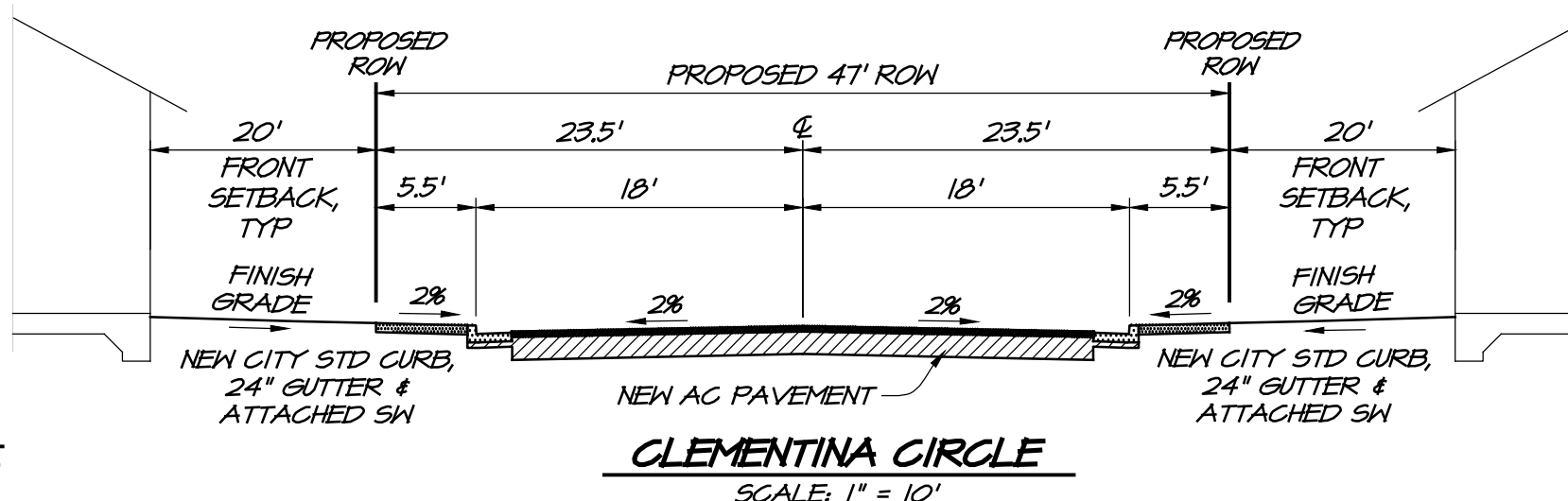
BASIS OF BEARINGS

THE BEARING OF NORTH 79°22'58" EAST BETWEEN THE FOUND MONUMENTS ON THE CENTERLINE OF EL CENTRO AVENUE PER BOOK 14 OF RECORD MAPS AT PAGE 100, NAPA COUNTY RECORDS AND BOOK 20 OF RECORD MAPS AT PAGES 7-10, NAPA COUNTY RECORDS.

TOPOGRAPHY NOTE

TOPOGRAPHY SHOWN ON THESE PLANS WAS COMPILED FROM A FIELD SURVEY BY RSA+ DONE ON JUNE 2017.

HORIZONTAL AND VERTICAL BENCHMARKS				
G.P.S. CONTROL COORDINATE DATA				
NAD 1983/NAVD 1988 PER 41 RS 44/47, NAPA COUNTY RECORDS				
#	GROUND NORTHING	GROUND EASTING	ELEVATION	DESCRIPTION
22	1882664.801	6410711.274	70.227'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & GASK DRIVE
26	1885246.580	6412246.291	70.212'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & SWEETBRIAR DRIVE (IN NORTHBOUND LANE OF JEFFERSON STREET)
27	1886684.244	6411049.718	76.951'	2" BRASS DISC IN WELL IN WESTBOUND LANE OF SALVADOR AVENUE AT JEFFERSON STREET
38	1883934.840	6414442.546	60.247'	3" BRASS DISC IN WELL AT INTERSECTION OF TRONER AVENUE & STOVER STREET



PROJECT NOTES

- TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS FROM A FIELD SURVEY PERFORMED BY RSA+ IN JUNE 2017.
- BOUNDARY INFORMATION SHOWN IS FROM A RECORD OF SURVEY PERFORMED BY RSA+ IN OCTOBER 2017.
- PORTIONS OF THE SUBJECT PROPERTY DO LIE WITHIN THE 100 YEAR FLOODPLAIN PER THE BFE'S SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON SHEETS TM4 AND TM5.
- THIS MAP SHOWS ALL CONTIGUOUS PROPERTY OF THE OWNER.
- ONE RESIDENTIAL HOUSE AND A BARN EXIST ON THE SUBJECT PROPERTY.
- EXISTING AND PROPOSED EASEMENTS ARE SHOWN.
- EXISTING AND PROPOSED UTILITIES ARE SHOWN. EXISTING UNDERGROUND UTILITIES AS SHOWN WERE DRAWN FROM RECORD SOURCES ONLY. BURIED PIPES WERE NOT VERIFIED, NOR WAS ANY SUBSURFACE EXPLORATION CONDUCTED.
- ALL EXISTING UTILITY POLES AND OVERHEAD LINES ALONG STREET FRONTAGE SHALL BE UNDERGROUND.
- CONTOUR LINES AS SHOWN ON SHEETS TM2, TM4 AND TM5 ARE AT 1 FOOT INTERVALS.
- THE EXISTING WELL FOR THE EXISTING HOUSE WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS A SEPTIC TANK FOR THE EXISTING HOUSE WHICH WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS NO PHASING PLANNED FOR THIS PROJECT.
- THERE ARE NO PUBLIC RECREATION SITES OR PARKS PROPOSED IN THIS SUBDIVISION. THERE ARE PATHS PROPOSED IN THIS PROJECT AS SHOWN ON PLANS.
- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.

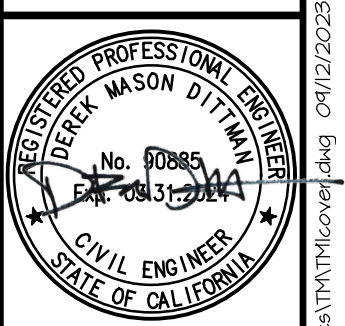
ABBREVIATIONS			
AB	AGGREGATE BASE	FM	FINAL MAP
AC	ASPHALT/CONCRETE	FT	FEET
AD	AREA DRAIN	GAR	GARAGE
ADA	AMERICAN WITH DISABILITIES ACT	GB	GRADE BREAK
APN	ASSESSOR'S PARCEL NUMBER	GF	GARAGE FLOOR
APPROX	APPROXIMATE	GM	GAS METER
AT&T	AMERICAN TELEPHONE & TELEGRAPH	GFS	GLOBAL POSITIONING SYSTEM
BASHAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION	GR	GRADE
BFE	BASE FLOOD ELEVATION	HB	HOSE BIB
BFP	BACKFLOW PREVENTER DEVICE	HOA	HOMEOWNERS ASSOCIATION
BIO	BIORETENTION	HP	HIGH POINT
BMP	BEST MANAGEMENT PRACTICE	ICV	IRRIGATION CONTROL VALVE
BO	BLOW OFF	INV	INVERT ELEVATION
BRF	BIORETENTION FACILITY	JP	JOINT POLE
BSW	BACK OF SIDEWALK	L	LENGTH
BW	BOTTOM OF WALL ELEVATION	LJA	LOT LINE ADJUSTMENT
CATV	CABLE TELEVISION	LF	LINEAL FOOT/FEET
CB	CATCH BASIN	LP	LOW POINT
CI	CAST IRON	MAX	MAXIMUM
C	CENTERLINE	MB	MAILBOX
CO	CONCRETE	MIN	MINIMUM
CONC	CONCRETE	N	NORTH
CR	CURB RETURN	NAD	NORTH AMERICAN DATUM
CONFORM	CONFORM	NAPASAN	NAPA SANITATION DISTRICT
DET	DETENTION	NAV	NORTH AMERICAN VERTICAL DATUM
DIP	DUCTILE IRON PIPE	NCR	NAPA COUNTY RECORDS
DNA	DRAINAGE MANAGEMENT AREA	NCFCHD	NAPA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT
E	EAST	NO	NUMBER
EG	EXISTING GRADE	OH	OVERHEAD UTILITIES
ELEV	ELEVATION	OR	OFFICIAL RECORDS
EP	EDGE OF PAVEMENT	P	PARKING SPACE
ELEC	ELECTRIC	PGL	PRIVATE ACCESS EASEMENT
EX	EXISTING	PAE	PRIVATE GAS & ELECTRIC
EX	EXISTING	PGE	PRIVATE GAS & ELECTRIC
EX	EXISTING	P	PRIVATE
EX	EXISTING	PSDE	PRIVATE STORM DRAIN EASEMENT
EX	EXISTING	PUE	PUBLIC UTILITY EASEMENT
EX	EXISTING	PVC	POLYVINYL CHLORIDE
EX	EXISTING	PVT	PRIVATE

ZINFANDEL SUBDIVISION

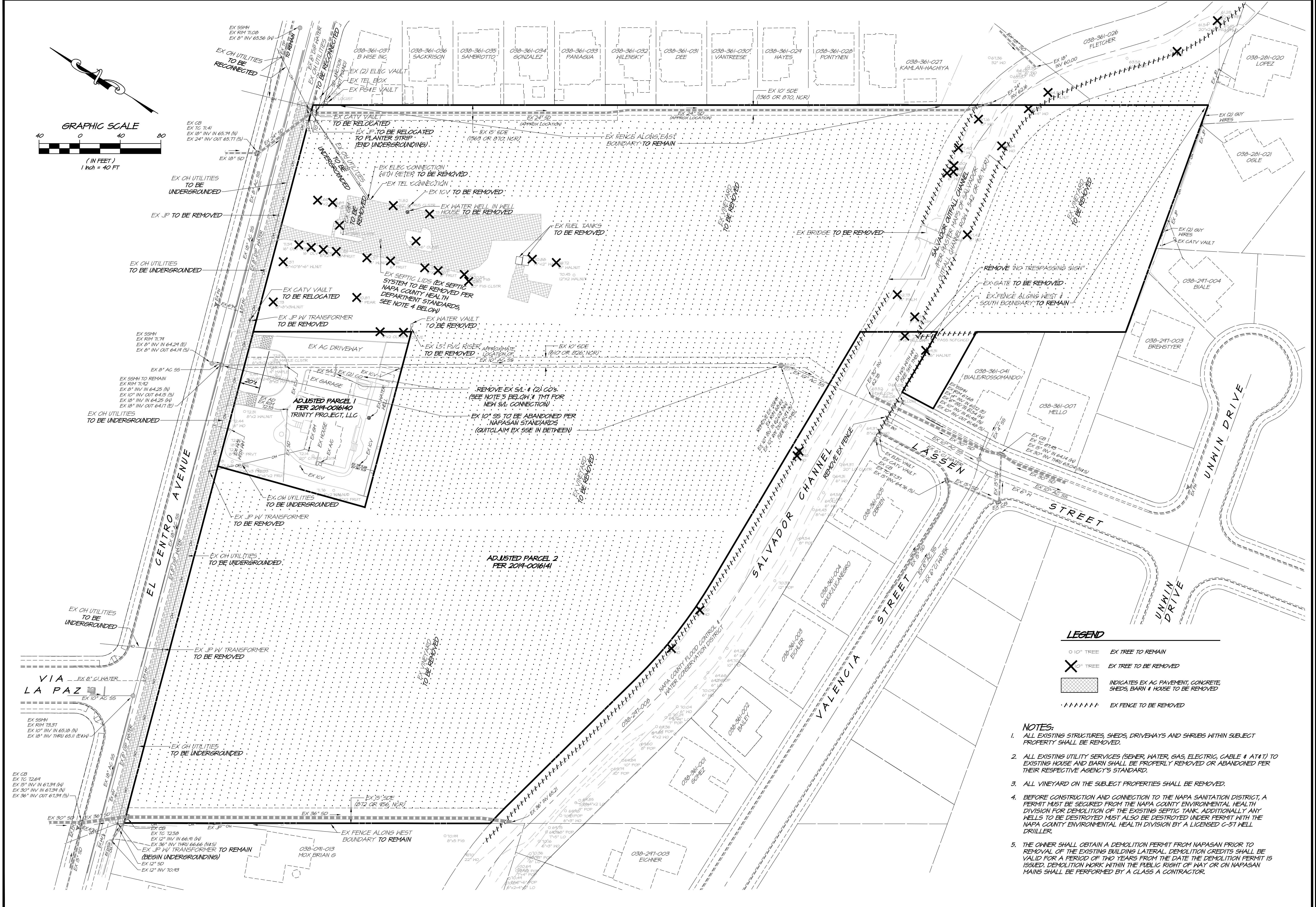
COVER SHEET

NAPA

CALIFORNIA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMO
JOB NO.	4170710
SHEET NO.	TM1
1 OF 11 SHEETS	



LEGEND

- 10" TREE EX TREE TO REMAIN
- ✕ 10" TREE EX TREE TO BE REMOVED
- [Hatched Box] INDICATES EX AC PAVEMENT, CONCRETE, SHEDS, BARN & HOUSE TO BE REMOVED
- +++++ EX FENCE TO BE REMOVED

- NOTES:**
- ALL EXISTING STRUCTURES, SHEDS, DRIVEWAYS AND SHRUBS WITHIN SUBJECT PROPERTY SHALL BE REMOVED.
 - ALL EXISTING UTILITY SERVICES (SEWER, WATER, GAS, ELECTRIC, CABLE & AT&T) TO EXISTING HOUSE AND BARN SHALL BE PROPERLY REMOVED OR ABANDONED PER THEIR RESPECTIVE AGENCY'S STANDARD.
 - ALL VINEYARD ON THE SUBJECT PROPERTIES SHALL BE REMOVED.
 - BEFORE CONSTRUCTION AND CONNECTION TO THE NAPA SANITATION DISTRICT, A PERMIT MUST BE SECURED FROM THE NAPA COUNTY ENVIRONMENTAL HEALTH DIVISION FOR DEMOLITION OF THE EXISTING SEPTIC TANK. ADDITIONALLY ANY WELLS TO BE DESTROYED MUST ALSO BE DESTROYED UNDER PERMIT WITH THE NAPA COUNTY ENVIRONMENTAL HEALTH DIVISION BY A LICENSED C-51 WELL DRILLER.
 - THE OWNER SHALL OBTAIN A DEMOLITION PERMIT FROM NAPASAN PRIOR TO REMOVAL OF THE EXISTING BUILDING LATERAL. DEMOLITION CREDITS SHALL BE VALID FOR A PERIOD OF TWO YEARS FROM THE DATE THE DEMOLITION PERMIT IS ISSUED. DEMOLITION WORK WITHIN THE PUBLIC RIGHT OF WAY OR ON NAPASAN MAINS SHALL BE PERFORMED BY A CLASS A CONTRACTOR.

REVISIONS		DATE	NO.	BY	APPD.

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ZINFANDEL SUBDIVISION
EXISTING CONDITIONS
CALIFORNIA

NAPA

DATE: SEPT 15, 2023

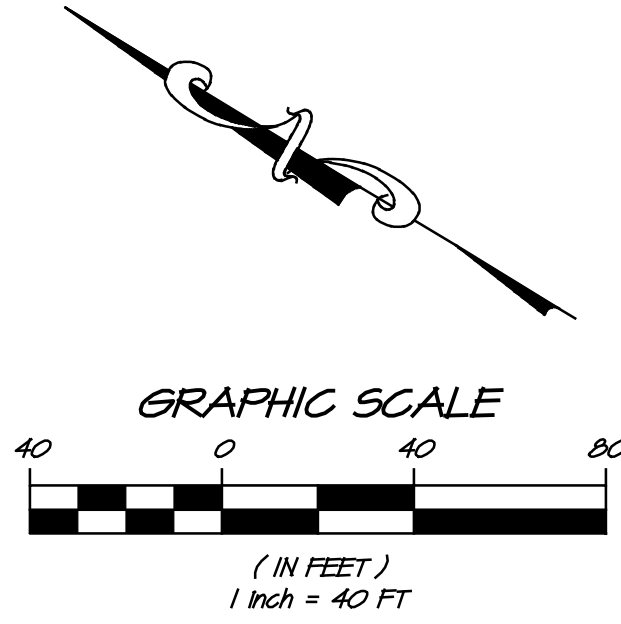
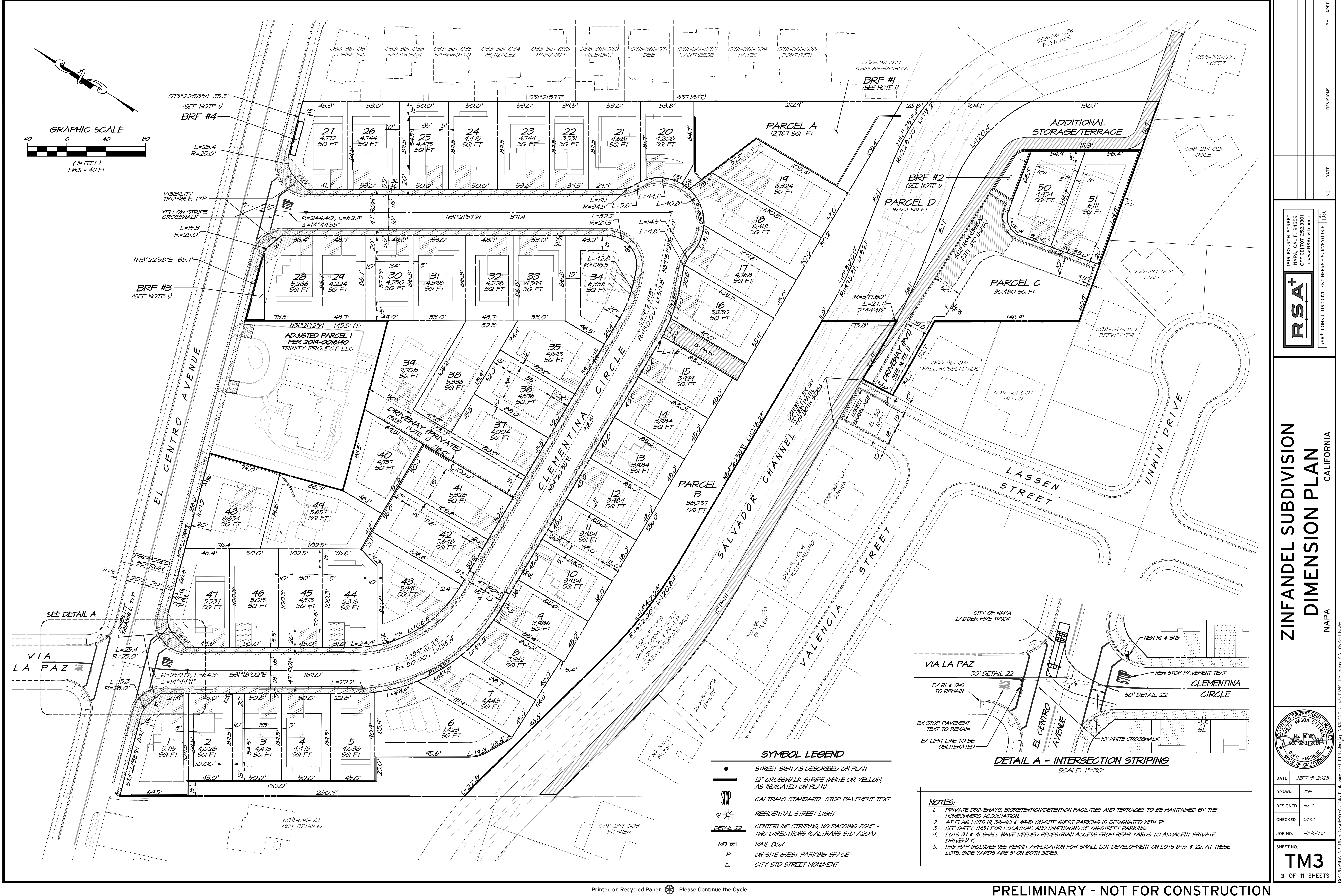
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD

JOB NO. 4170110

SHEET NO.

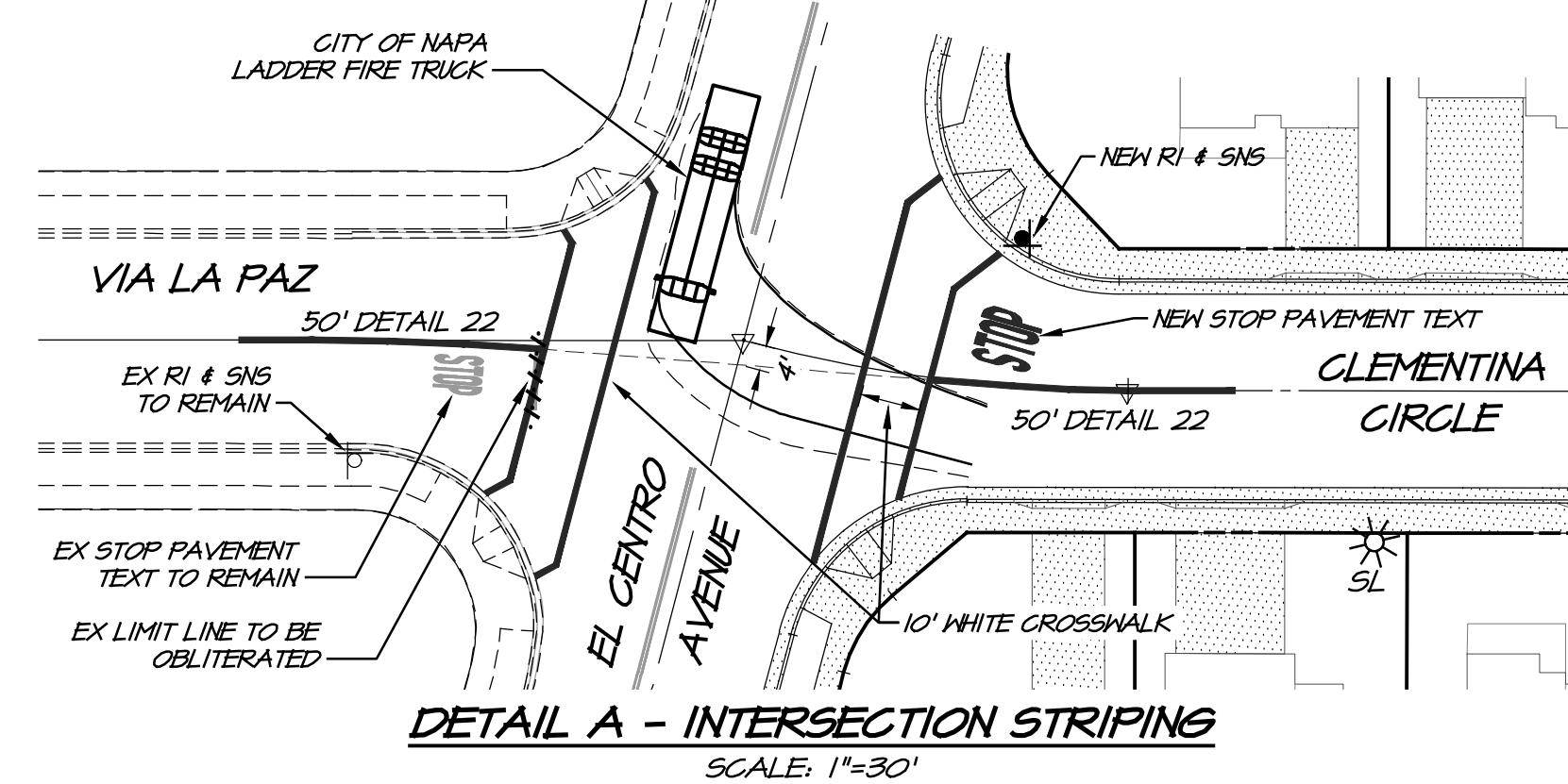
TM2

2 OF 11 SHEETS

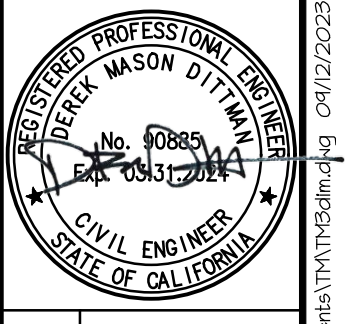


- SYMBOL LEGEND**
- STREET SIGN AS DESCRIBED ON PLAN
 - 12" CROSSWALK STRIPE (WHITE OR YELLOW, AS INDICATED ON PLAN)
 - CALTRANS STANDARD STOP PAVEMENT TEXT
 - RESIDENTIAL STREET LIGHT
 - CENTERLINE STRIPING, NO PASSING ZONE - TWO DIRECTIONS (CALTRANS STD A20A)
 - MAIL BOX
 - ON-SITE GUEST PARKING SPACE
 - CITY STD STREET MONUMENT

- NOTES:**
- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - AT FLAG LOTS 19, 38-40 & 44-51 ON-SITE GUEST PARKING IS DESIGNATED WITH "P".
 - SEE SHEET TMB1 FOR LOCATIONS AND DIMENSIONS OF ON-STREET PARKING.
 - LOTS 31 & 41 SHALL HAVE DEEDED PEDESTRIAN ACCESS FROM REAR YARDS TO ADJACENT PRIVATE DRIVEWAY.
 - THIS MAP INCLUDES USE PERMIT APPLICATION FOR SMALL LOT DEVELOPMENT ON LOTS 8-15 & 22. AT THESE LOTS, SIDE YARDS ARE 5' ON BOTH SIDES.



ZINFANDEL SUBDIVISION
DIMENSION PLAN
NAPA CALIFORNIA



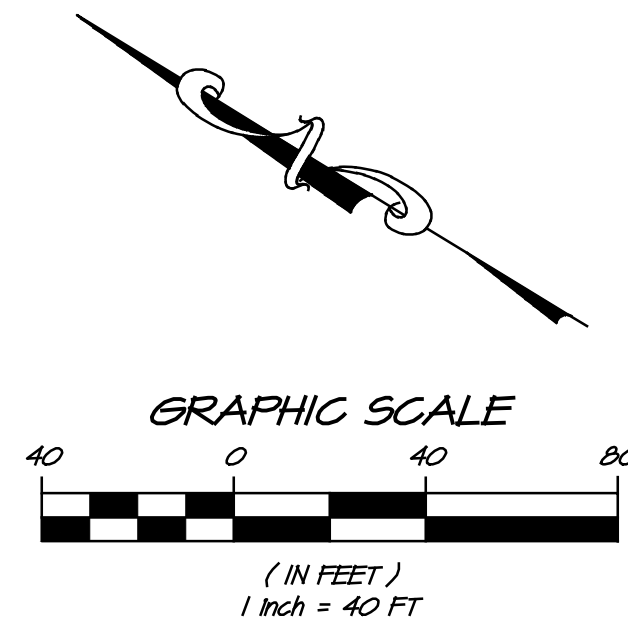
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DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710
SHEET NO.	

TM3
3 OF 11 SHEETS

NO.	DATE	REVISIONS	BY	APPD

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SYMBOL LEGEND	
SYMBOL	CONTRACTOR TO INSTALL
—	INDICATES PAINT CURB RED
☼	RESIDENTIAL STREET LIGHT
MB	MAIL BOX
FH	FIRE HYDRANT

- NOTES**
- GARAGES ARE TYPICALLY SET BACK 20' MINIMUM FROM THE BACK OF SIDEWALK OR EDGE OF PRIVATE DRIVEWAY TO PROVIDE ON-SITE PARKING WITHIN THE DRIVEWAYS.
 - ON FLAG LOTS 14, 38-40, AND 44-51, ADDITIONAL ON-SITE GUEST PARKING IS DESIGNATED WITH P1.
 - ON-STREET PARKING SPACES ARE SHOWN ABOVE.
 - CURBS TO BE PAINTED RED AT 15' EACH SIDE OF ALL FIRE HYDRANTS OR AS SHOWN.
 - CURBS TO BE PAINTED RED AT MAIL BOXES AS SHOWN.
 - INTERSECTION CURBS SHALL BE PAINTED RED PER CITY STANDARDS 5-25 VISIBILITY TRIANGLE REQUIREMENTS.

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DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

JOB NO.: 4170710

SHEET NO.: **TM3.1**
4 OF 11 SHEETS

REGISTERED PROFESSIONAL ENGINEER
No. 98885
DATE OF CALIFORNIA EXAMINATION: 04/11/2014
CIVIL ENGINEER
STATE OF CALIFORNIA

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

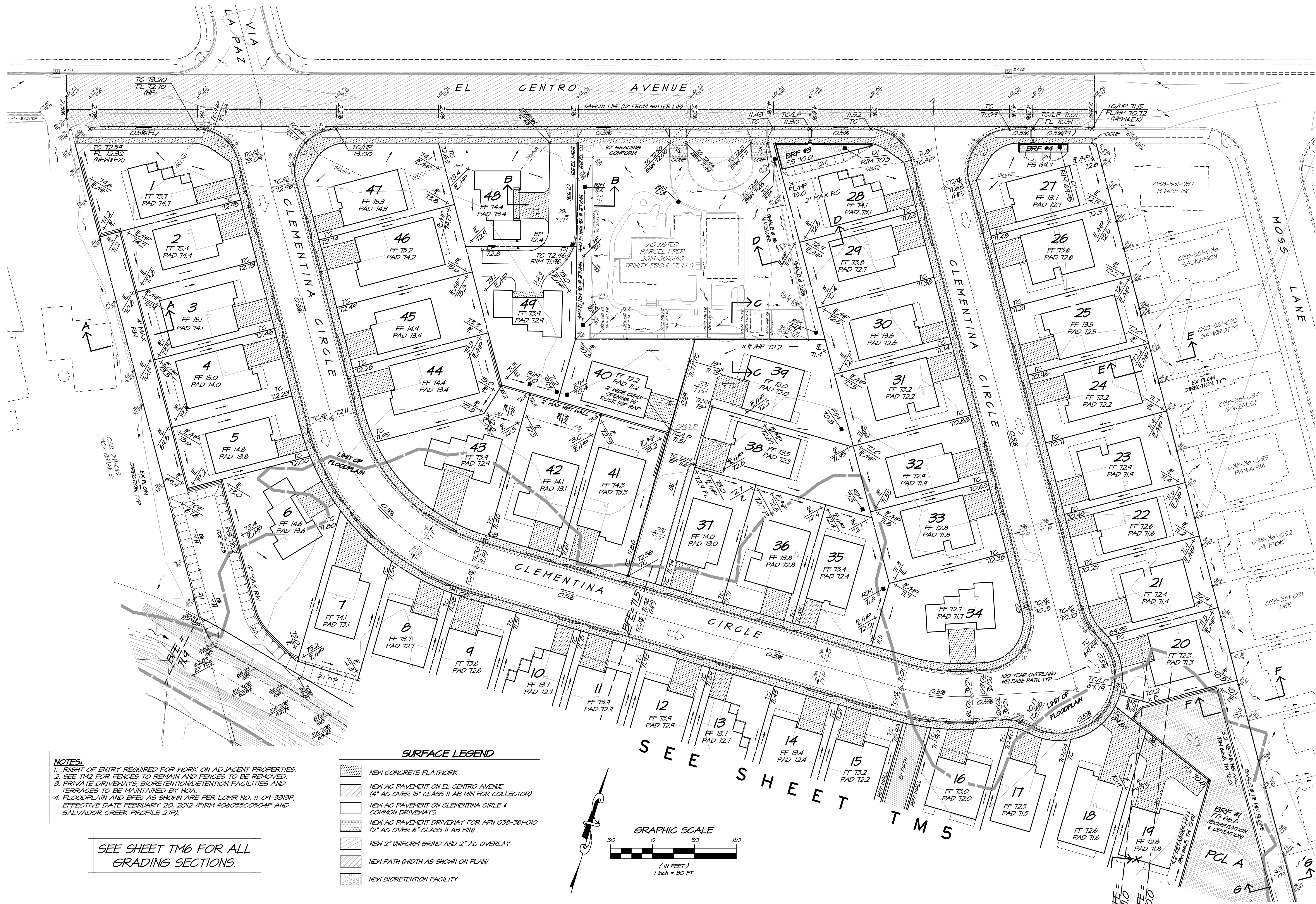
JOB NO.: 4170710

SHEET NO.: **TM3.1**
4 OF 11 SHEETS

ZINFANDEL SUBDIVISION
PARKING PLAN
NAPA
CALIFORNIA

REVISIONS
NO. DATE
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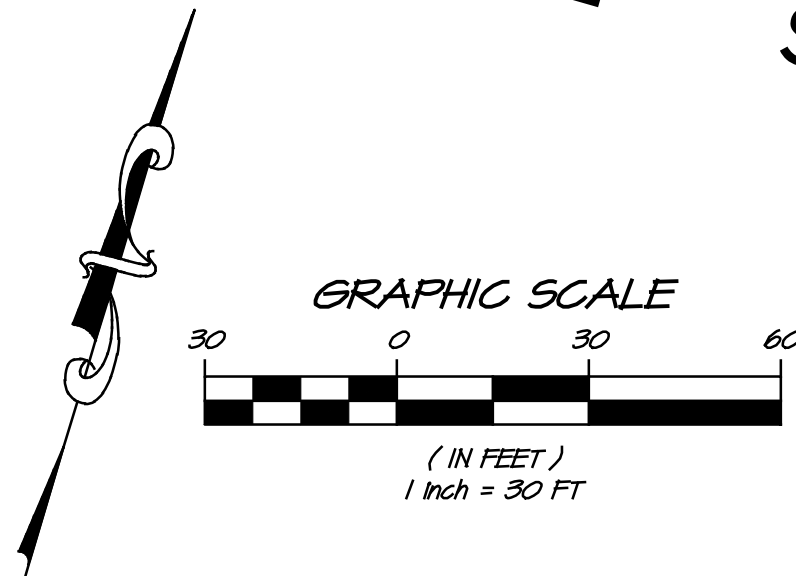
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NOTES:
1. RIGHT OF ENTRY REQUIRED FOR WORK ON ADJACENT PROPERTIES.
2. SEE TM2 FOR FENCES TO REMAIN AND FENCES TO BE REMOVED.
3. PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
4. FLOODPLAIN AND BFEs AS SHOWN ARE PER LOMR NO. 11-04-3313P, EFFECTIVE DATE FEBRUARY 20, 2012 (FIRM #06055C0504F AND SALVADOR CREEK PROFILE 2TP).

SEE SHEET TM6 FOR ALL GRADING SECTIONS.

- SURFACE LEGEND**
- NEW CONCRETE FLATWORK
 - NEW AC PAVEMENT ON EL CENTRO AVENUE (4" AC OVER 15" CLASS II AB MIN FOR COLLECTOR)
 - NEW AC PAVEMENT ON CLEMENTINA CIRCLE & COMMON DRIVEWAYS
 - NEW AC PAVEMENT DRIVEWAY FOR APN 038-361-010 (2" AC OVER 6" CLASS II AB MIN)
 - NEW 2" UNIFORM GRIND AND 2" AC OVERLAY
 - NEW PATH (WIDTH AS SHOWN ON PLAN)
 - NEW BIORETENTION FACILITY

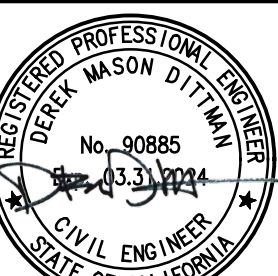


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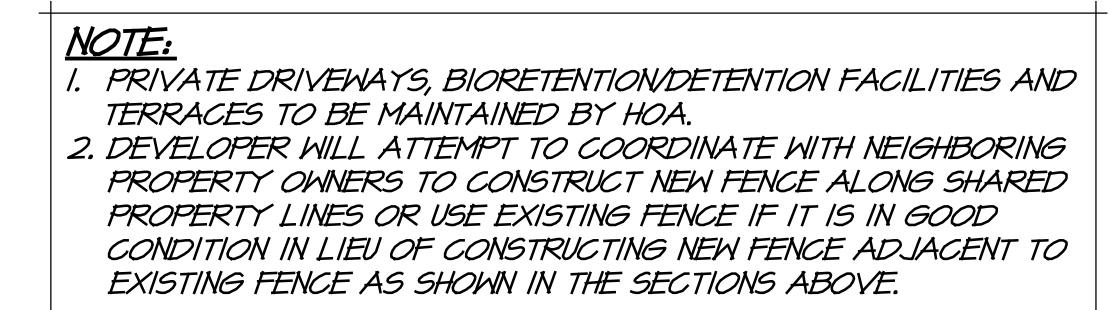
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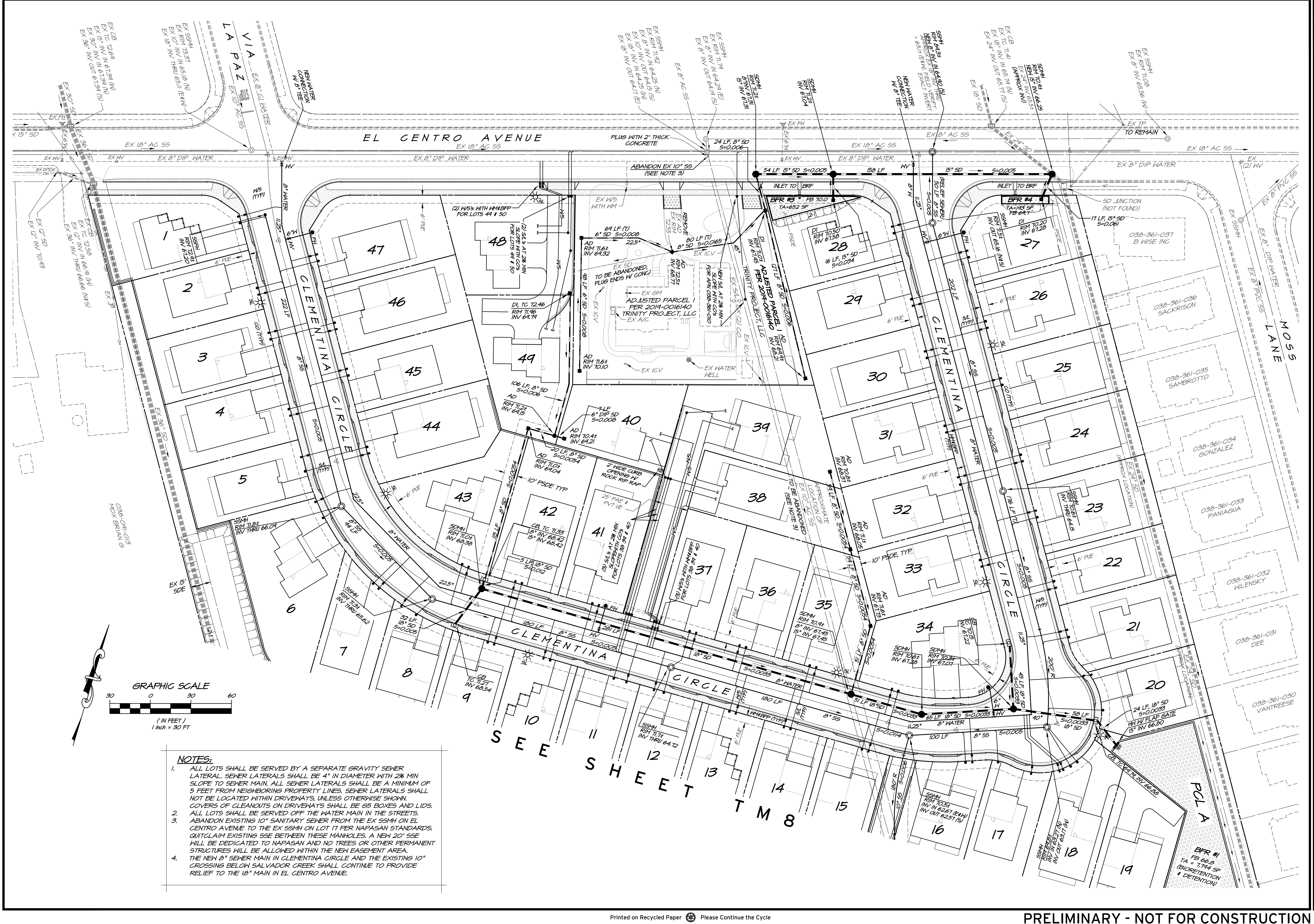
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**ZINFANDEL SUBDIVISION
GRADING PLAN (North Portion)**
CALIFORNIA
NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170170
SHEET NO.	TM4
	5 OF 11 SHEETS





- NOTES:**
- ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 66 BOXES AND LIDS.
 - ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX 55MH ON EL CENTRO AVENUE TO THE EX 55MH ON LOT 17 PER NAPANAS STANDARDS. QUITCLAIM EXISTING S&E BETWEEN THESE MANHOLES. A NEW 20" S&E WILL BE DEDICATED TO NAPANAS AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
 - THE NEW 8" SEWER MAIN IN CLEMENTINA CIRCLE AND THE EXISTING 10" CROSSINGS BELOW SALVADOR CREEK SHALL CONTINUE TO PROVIDE RELIEF TO THE 18" MAIN IN EL CENTRO AVENUE.

BY: APPD

REVISIONS

DATE

NO.

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ZINFANDEL SUBDIVISION

UTILITY PLAN (North Portion)

CALIFORNIA

DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

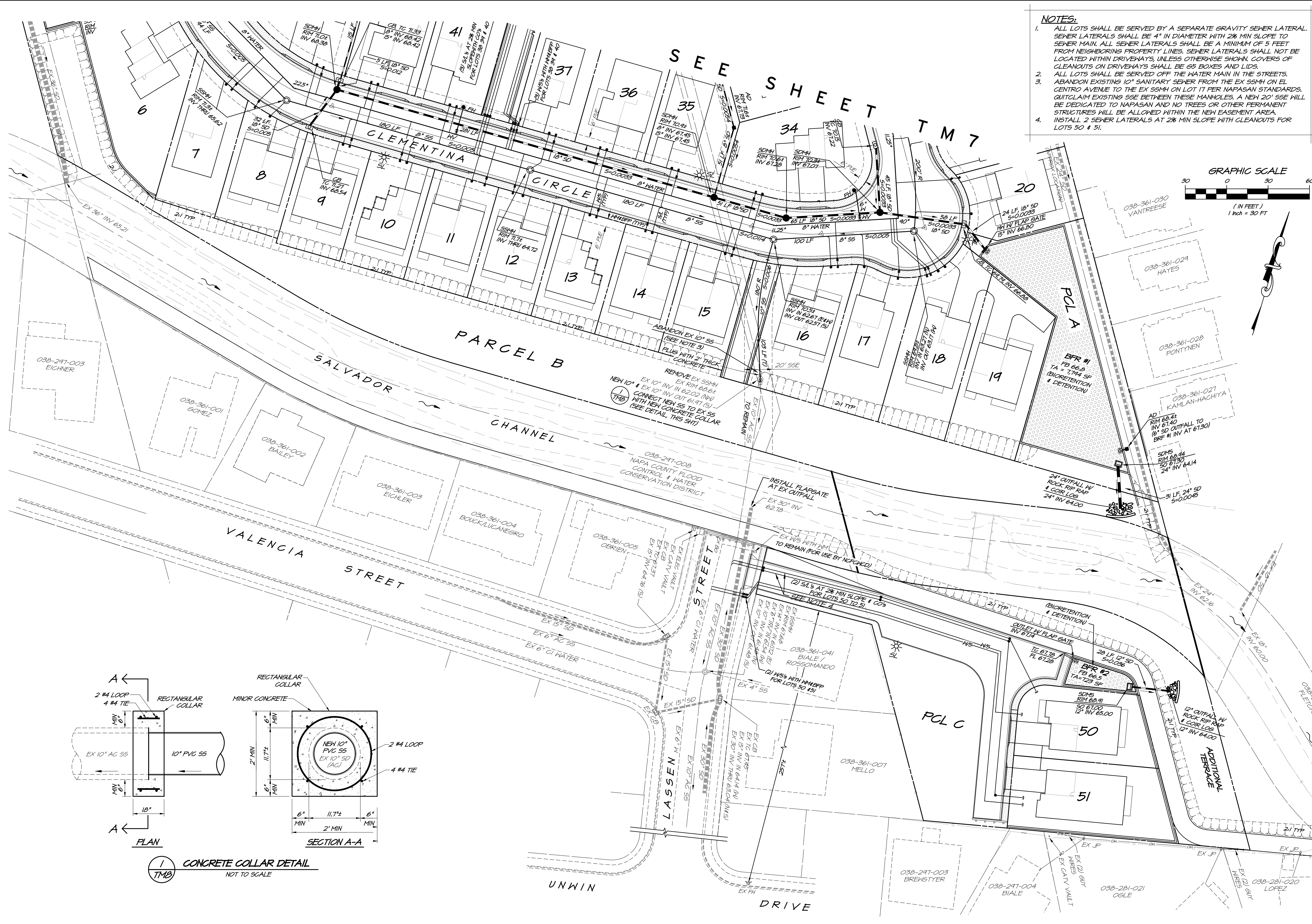
JOB NO.: 4170710

SHEET NO.: **TM7**

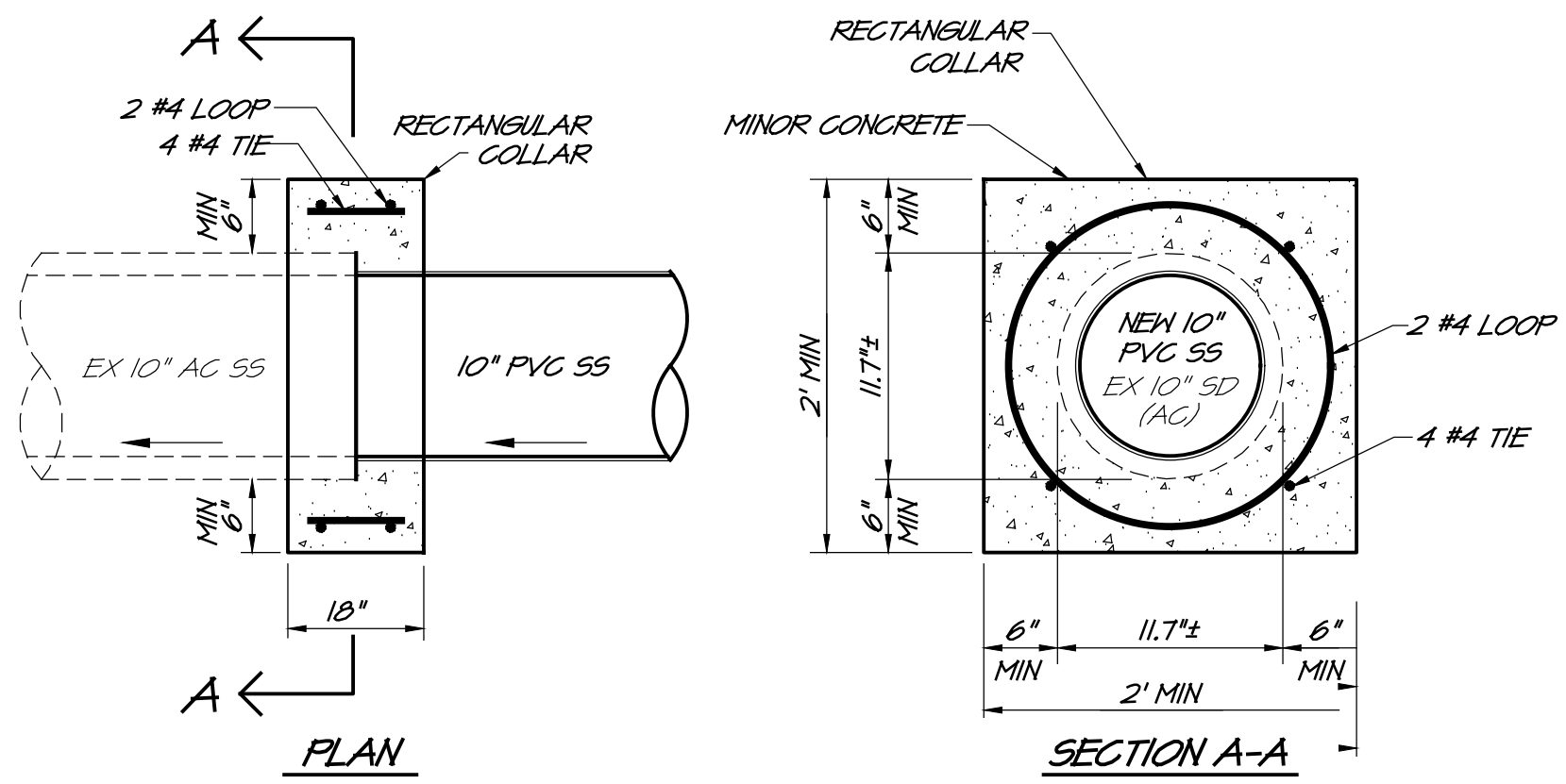
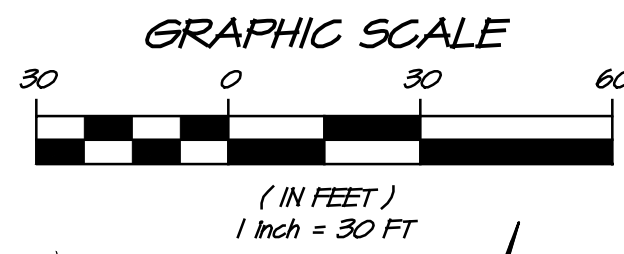
8 OF 11 SHEETS

REGISTERED PROFESSIONAL ENGINEER
No. 80885
DATE OF CALIFORNIA EXAMINATION: 01/12/2023

REGISTERED PROFESSIONAL CIVIL ENGINEER
No. 41344
DATE OF CALIFORNIA EXAMINATION: 01/12/2023



- NOTES:**
1. ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 65 BOXES AND LIDS.
 2. ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX SSMH ON EL CENTRO AVENUE TO THE EX SSMH ON LOT 17 PER NAPASAN STANDARDS. QUITCLAIM EXISTING SSE BETWEEN THESE MANHOLES. A NEW 20" SSE WILL BE DEDICATED TO NAPASAN AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
 3. INSTALL 2 SEWER LATERALS AT 2% MIN SLOPE WITH CLEANOUTS FOR LOTS 50 & 51.



CONCRETE COLLAR DETAIL
NOT TO SCALE

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RS&T CONSULTING CIVIL ENGINEERS & SURVEYORS

DATE

NO.

REVISIONS

BY

APPD

ZINFANDEL SUBDIVISION

UTILITY PLAN (South Portion)

CALIFORNIA

NAPA

DATE OF CALIFORNIA

REGISTERED PROFESSIONAL
CIVIL ENGINEER
No. 90885
DATE OF CALIFORNIA

DATE

SEPT 15, 2023

DRAWN

DEL

DESIGNED

RAY

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JOB NO.

4170170

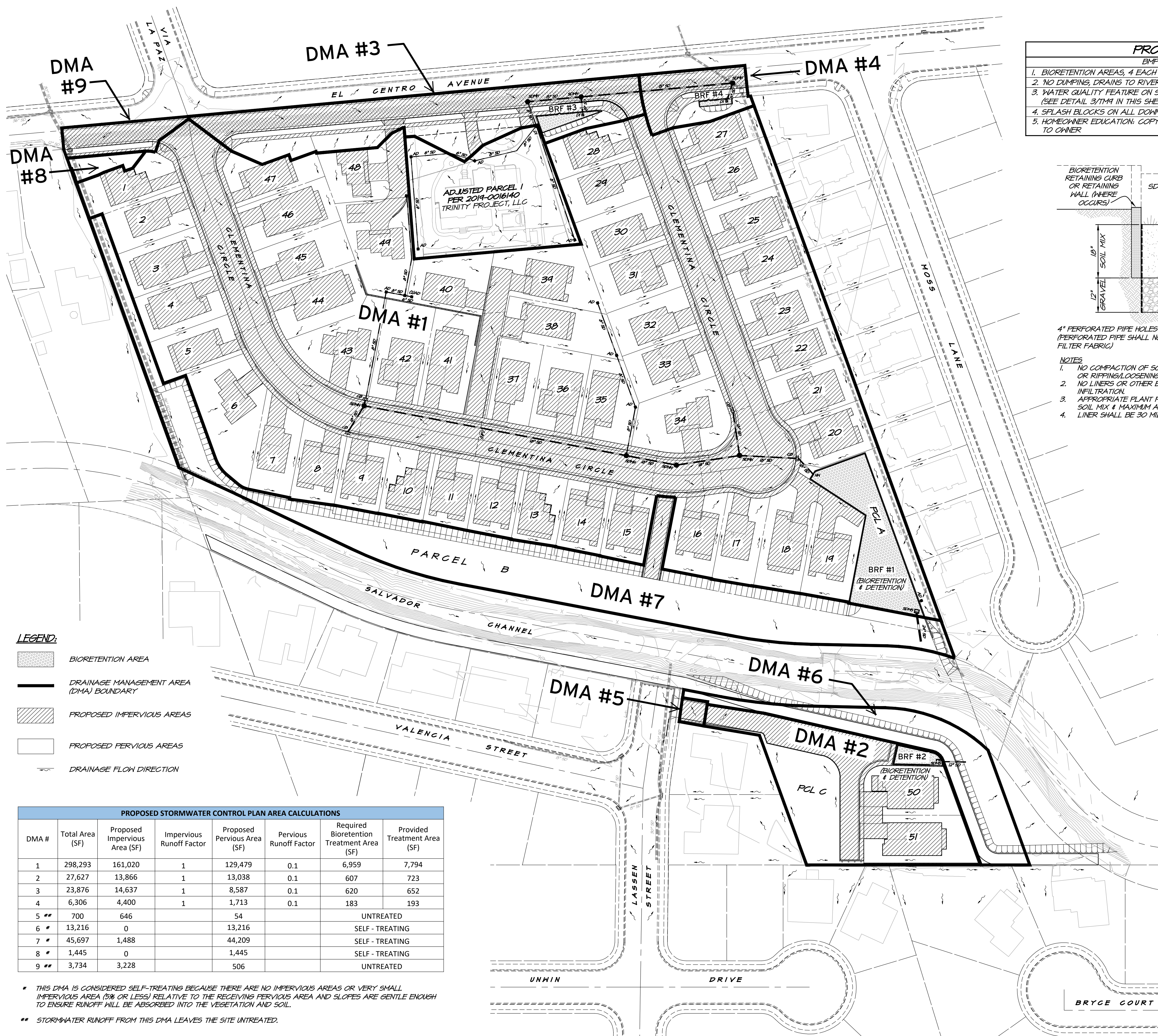
SHEET NO.

TM8

9 OF 11 SHEETS

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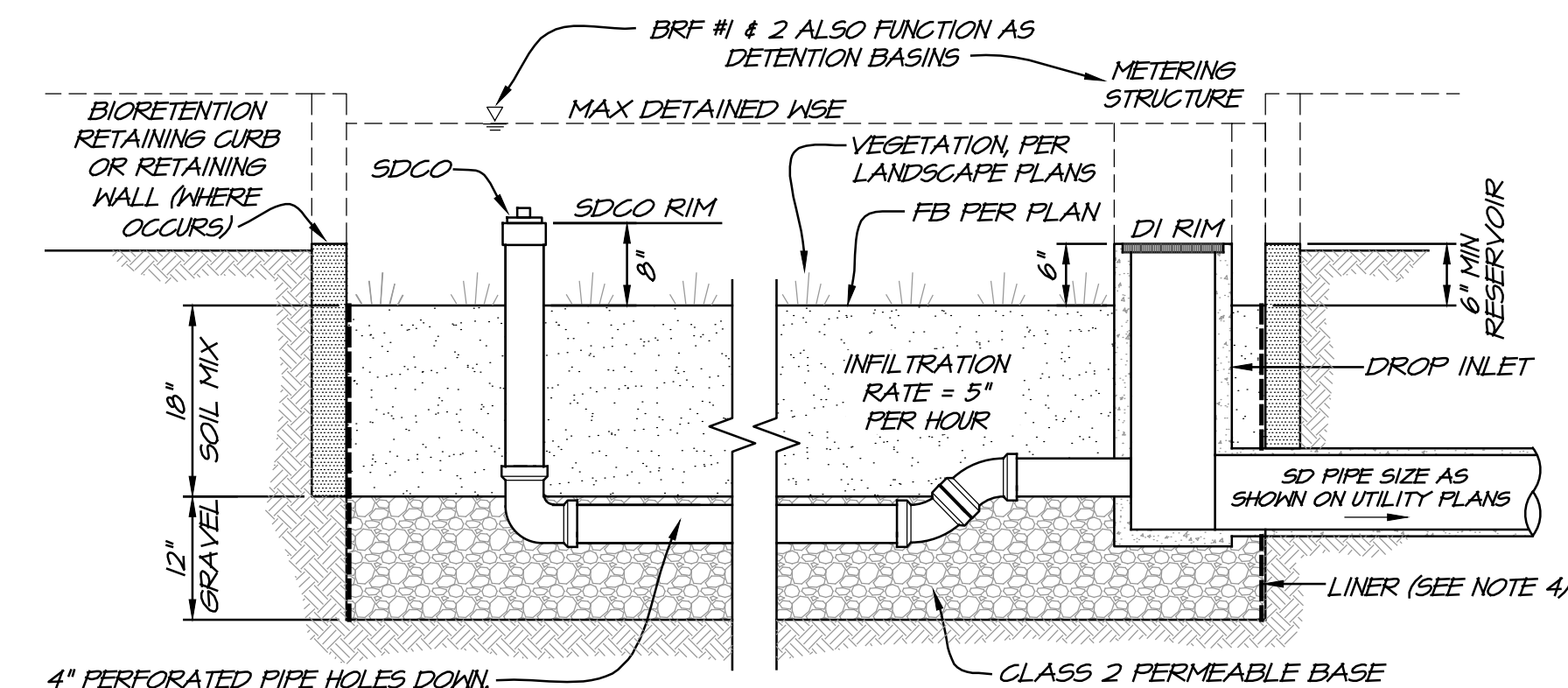


- LEGEND:**
- BIORETENTION AREA
 - DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - PROPOSED IMPERVIOUS AREAS
 - PROPOSED PERVIOUS AREAS
 - DRAINAGE FLOW DIRECTION

PROPOSED STORMWATER CONTROL PLAN AREA CALCULATIONS						
DMA #	Total Area (SF)	Proposed Impervious Area (SF)	Impervious Runoff Factor	Proposed Pervious Area (SF)	Pervious Runoff Factor	Required Bioretention Treatment Area (SF)
1	298,293	161,020	1	129,479	0.1	6,959
2	27,627	13,866	1	13,038	0.1	607
3	23,876	14,637	1	8,587	0.1	620
4	6,306	4,400	1	1,713	0.1	183
5 **	700	646		54		UNTREATED
6 *	13,216	0		13,216		SELF - TREATING
7 *	45,697	1,488		44,209		SELF - TREATING
8 *	1,445	0		1,445		SELF - TREATING
9 **	3,734	3,228		506		UNTREATED

- * THIS DMA IS CONSIDERED SELF-TREATING BECAUSE THERE ARE NO IMPERVIOUS AREAS OR VERY SMALL IMPERVIOUS AREA (3% OR LESS) RELATIVE TO THE RECEIVING PERVIOUS AREA AND SLOPES ARE GENTLE ENOUGH TO ENSURE RUNOFF WILL BE ABSORBED INTO THE VEGETATION AND SOIL.
- ** STORMWATER RUNOFF FROM THIS DMA LEAVES THE SITE UNTREATED.

PROPOSED POST CONSTRUCTION BMP's	
BMP (BEST MANAGEMENT PRACTICES)	
1. BIORETENTION AREAS, 4 EACH (SEE DETAIL 1/TM9 IN THIS SHEET)	TREATMENT AREA
2. NO DUMPING, DRAINS TO RIVER STAMPING ON ALL INLETS (SEE DETAIL 2/TM9 IN THIS SHEET)	ENTIRE PROJECT
3. WATER QUALITY FEATURE ON SITE STAMPING ON ALL BIORETENTION INLETS (SEE DETAIL 3/TM9 IN THIS SHEET)	ENTIRE PROJECT
4. SPLASH BLOCKS ON ALL DOWNSPOUTS (SEE DETAIL 4/TM9 IN THIS SHEET)	ENTIRE PROJECT
5. HOMEOWNER EDUCATION, COPY OF SCP AND MAINTENANCE AGREEMENT TO BE PROVIDED TO OWNER	ENTIRE PROJECT



4" PERFORATED PIPE HOLES DOWN (PERFORATED PIPE SHALL NOT BE WRAPPED IN FILTER FABRIC)

LONGITUDINAL SECTION

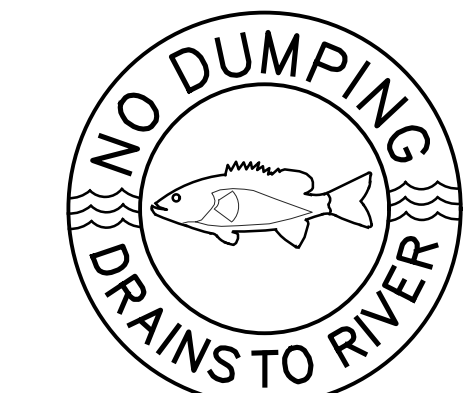
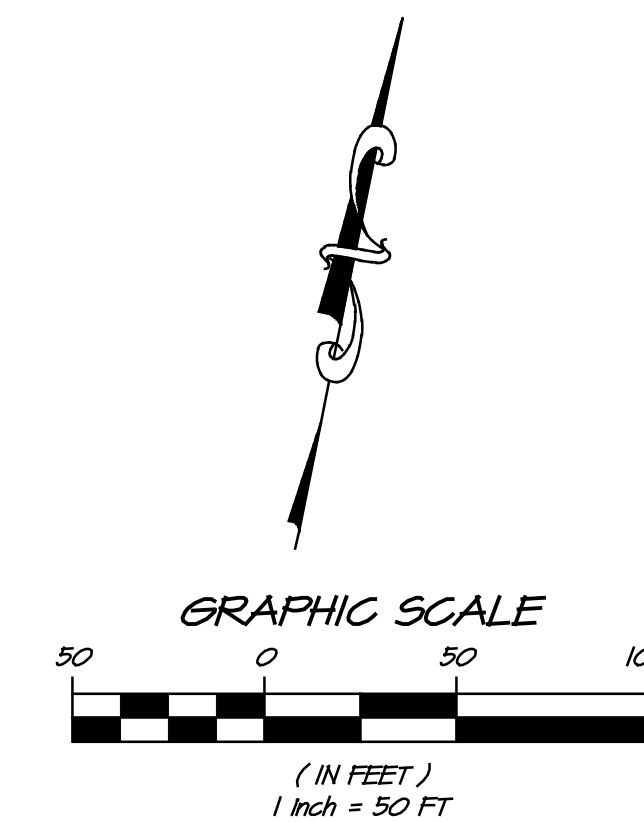
- NOTES**
- NO COMPACTION OF SOILS BENEATH THE FACILITY, OR RIPPING/LOOSENING OF SOILS IF COMPACTED.
 - NO LINERS OR OTHER BARRIERS INTERFERING WITH INFILTRATION.
 - APPROPRIATE PLANT PALETTE FOR THE SPECIFIED SOIL MIX & MAXIMUM AVAILABLE WATER USE.
 - LINER SHALL BE 30 MIL LINER.

BIORETENTION PLAN LIST: REFER TO BASHAA PLANT MATRIX IN APPENDIX F (SEE LANDSCAPE PLANS)

SOIL MIX NOTE: A MIXTURE OF SAND (60%-70%) MEETING THE SPECIFICATIONS OF ASTM C33 AND COMPOST (30%-40%) PER BASHAA PHASE II SOIL MIX ENGINEER TO CERTIFY SOIL MIX PRIOR TO INSTALLATION.

GRAVEL NOTE: "CLASS 2 PERMEABLE," CALTRANS SPECIFICATION 608-2.02(F3)

1/TM9 BIORETENTION AREA DETAIL
NOT TO SCALE



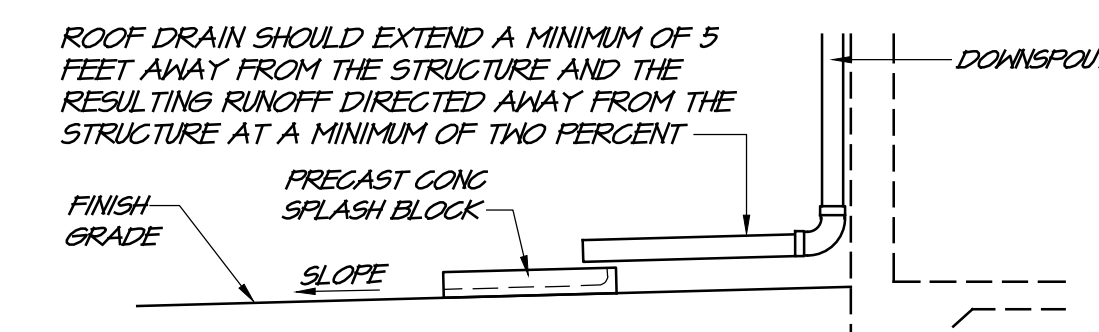
2/TM9 DROP INLET MARKER
NOT TO SCALE

NOTES

- EACH BIORETENTION FACILITY WITHIN THE CITY LIMITS SHALL BE MARKED WITH A "WATER QUALITY FEATURE ON SITE - DO NOT ALTER OR REMOVE" MARKER.
- CONTRACTOR IS TO PURCHASE THESE MARKERS FROM THE PUBLIC WORKS DEPARTMENT LOCATED AT 1600 FIRST STREET.



3/TM9 BIORETENTION FACILITY MARKER
NOT TO SCALE



4/TM9 SPLASH BLOCK DETAIL
NOT TO SCALE

1515 FOURTH STREET
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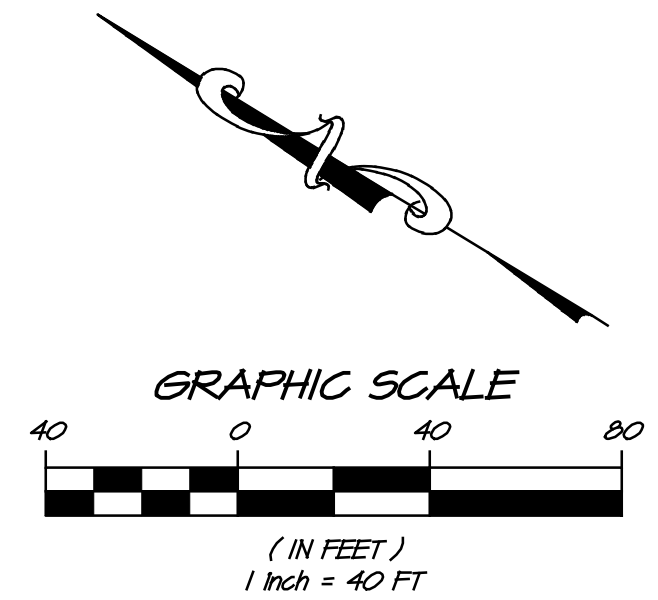
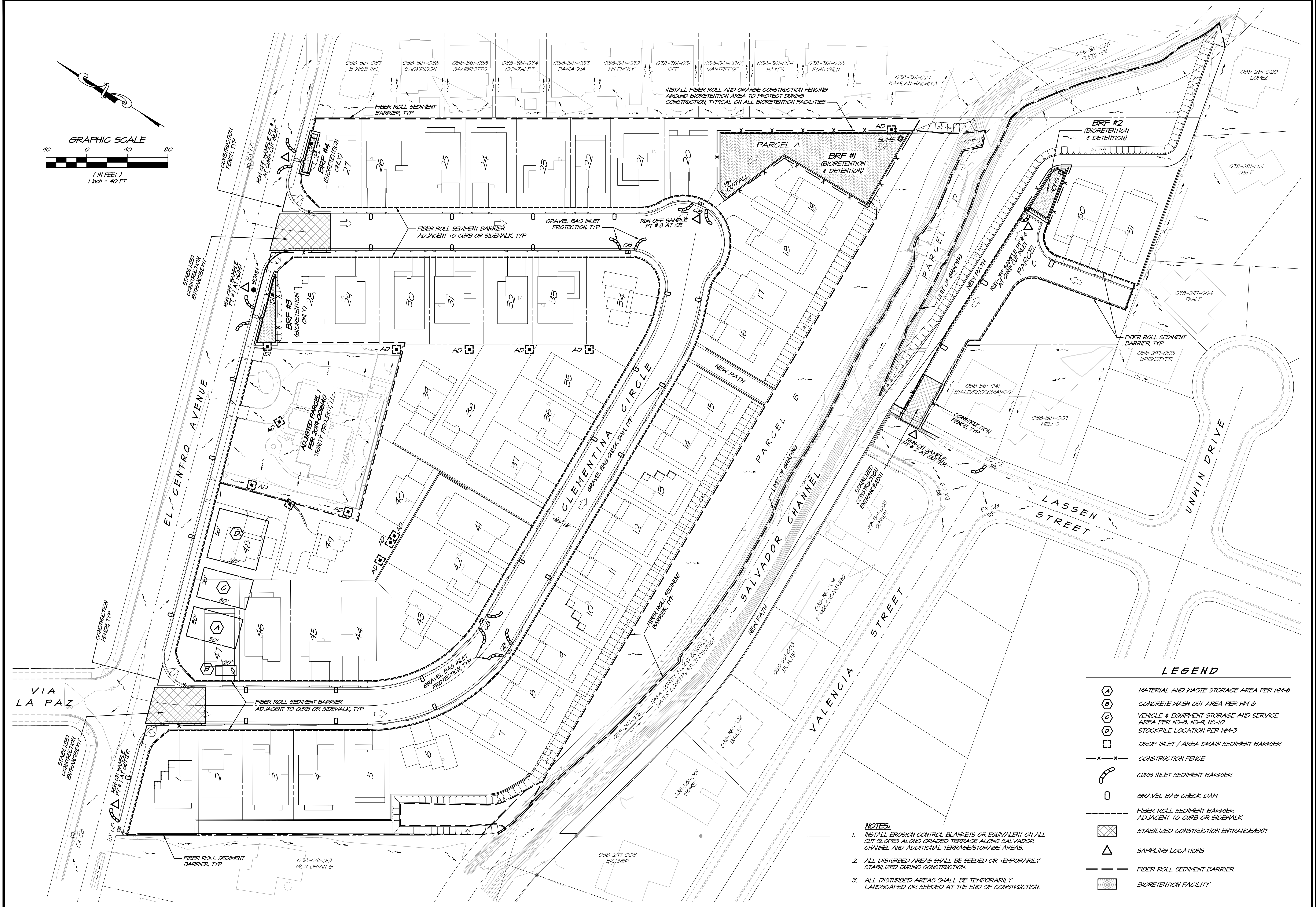
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ZINFANDEL SUBDIVISION
STORMWATER CONTROL PLAN
CALIFORNIA

NAPA

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMD
JOB NO.: 4171010
SHEET NO.: **TM9**
10 OF 11 SHEETS

DATE: _____
NO. _____
BY: APPD
REVISIONS: _____



LEGEND	
	MATERIAL AND WASTE STORAGE AREA PER WM-6
	CONCRETE WASH-OUT AREA PER WM-8
	VEHICLE & EQUIPMENT STORAGE AND SERVICE AREA PER NS-3, NS-4, NS-10
	STOCKPILE LOCATION PER WM-3
	DROP INLET / AREA DRAIN SEDIMENT BARRIER
	CONSTRUCTION FENCE
	CURB INLET SEDIMENT BARRIER
	GRAVEL BAG CHECK DAM
	FIBER ROLL SEDIMENT BARRIER ADJACENT TO CURB OR SIDEWALK
	STABILIZED CONSTRUCTION ENTRANCE/EXIT
	SAMPLING LOCATIONS
	FIBER ROLL SEDIMENT BARRIER
	BIORETENTION FACILITY

- NOTES:**
1. INSTALL EROSION CONTROL BLANKETS OR EQUIVALENT ON ALL CUT SLOPES ALONG GRADED TERRACE ALONG SALVADOR CHANNEL AND ADDITIONAL TERRACE/STORAGE AREAS.
 2. ALL DISTURBED AREAS SHALL BE SEEDED OR TEMPORARILY STABILIZED DURING CONSTRUCTION.
 3. ALL DISTURBED AREAS SHALL BE TEMPORARILY LANDSCAPED OR SEEDED AT THE END OF CONSTRUCTION.

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ZINFANDEL SUBDIVISION
ESCP SITE PLAN
CALIFORNIA

NAPA

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMG
JOB NO.: 4170110
SHEET NO.: **TM10**
11 OF 11 SHEETS

REGISTERED PROFESSIONAL
CIVIL ENGINEER
STATE OF CALIFORNIA
15154
08/15/2024

DATE: SEPT 15, 2023
BY: APPD

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