

Napa, CA 94558

ABV. ABOVE
 AFFV ABOVE FINISHED FLOOR
 APPX APPROXIMATE
 BLDG. BUILDING
 B BEAM
 CLG. CEILING
 CLR. CLEAR
 CLD. COLUMN
 CONC.A. CONCRETE
 CONT.C.A. CONTINUOUS
 CTR. CENTER
 DET. DETAIL
 DH DOUBLE HUNG WINDOW
 DN. DOWN
 DWG. DRAWING
 (E) EXISTING
 EA. EACH
 EQ. EQUAL
 EXT. EXTERIOR
 F.A. FINISH FLOOR
 FIN. FINISH
 FOF FACE OF FINISHED MATERIAL
 FS. FACE OF STUD
 FXS FIXED WINDOW
 GA. GAUGE
 GC GENERAL CONTRACTOR
 GYP.BD.A. GYPSUM BOARD
 H. HEADER
 HDWR. HARDWARE
 HT. HEIGHT
 INT. INTERIOR
 JST. JOIST
 MAX. MAXIMUM
 MFR. MANUFACTURER
 MIN. MINIMUM
 MT. MOUNTED
 (N) NEW
 NOT IN CONTRACT
 N.TS. NOT TO SCALE
 O.C. ON CENTER
 O.H. OVERHANG
 REQD. REQUIRED
 SIM. SIMILAR
 S SLIDER WINDOW
 STD. STANDARD
 S.O.G. SLAB ON GRADE
 T.O.C. TOP OF CURB
 T.O.S. TOP OF SLAB
 T.O.SF. TOP OF SUB-FLOOR
 T.O.P. TOP OF PLATE
 T.O.WD.W. TOP OF WINDOW
 TYP. TYPICAL
 U.C. UNLESS NOTED OTHERWISE
 V.L.F. VERIFY IN FIELD
 WDW WINDOW



<u>NO.</u>	<u>NAME</u>
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLANS
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: <http://www.gsmlainc.com>
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND
MUNICIPAL CODE AND ORDINANCES

NEW SFD WITH ADU - 1768 TOTAL SQ. FT. LIVING AREA

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

OCCUPANCY: R-2
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

<u>LIVING AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Floor	1st Flr Level	446 SF
ADU - 1st Floor	1st Flr Level	264 SF
2nd Flr	2nd Flr Level	641 SF
ADU 2nd Flr	2nd Flr Level	418 SF
Total Living Area		1768 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage 2	1st Flr Level	219 SF
Garage 1	1st Flr Level	267 SF
Garage Area		486 SF

BUILDING SECTION (PLAN)		WINDOW TAG	
BUILDING SECTION (ELEVATION)		DOOR TAG	3068 = 36" WIDE BY 6'-8" TALL
ELEVATIONS		REVISION TAG	
WALL SECTION		LEVEL TAGS	
DETAIL CALLOUT			
		DRAWING TITLE	
DETAIL CUT (PLAN/SECTION)		NORTH ARROWS	
RELATED DETAIL CUT BELOW OR ABOVE			

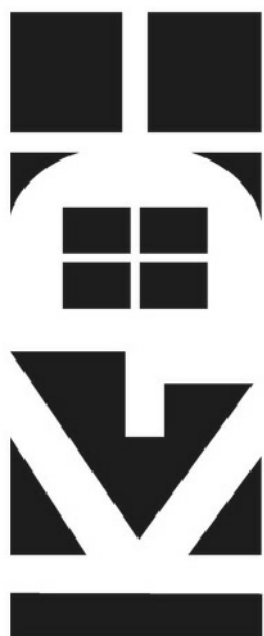
[illegible]

22276 LOMA HEIGHTS RD.

NAPA CA 94558

707 / 337-3025

KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

ZINFANDEL
SUBDIVISION

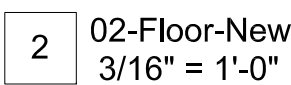
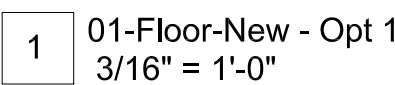
OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	Design Development
SHEET NO.	

A000 of

C:\Users\John R\Dropbox\DC\PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\REVIT\2020.08.20\1_17056_Zinfandel_Oal Knoll_#1_r1.rvt



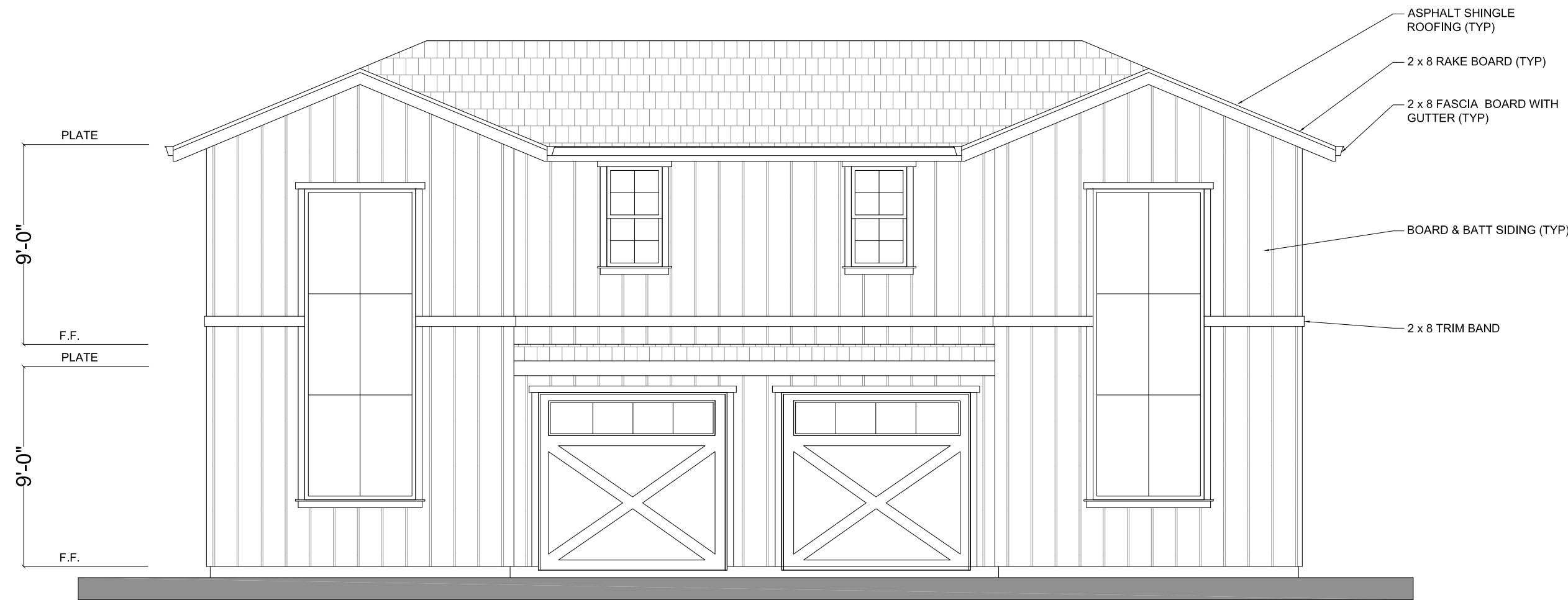
PROJECT DATA

<u>GARAGE AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage 2	1st Flr Level	219 SF
Garage 1	1st Flr Level	267 SF
Garage Area		486 SF

SHEET NO.
A201 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

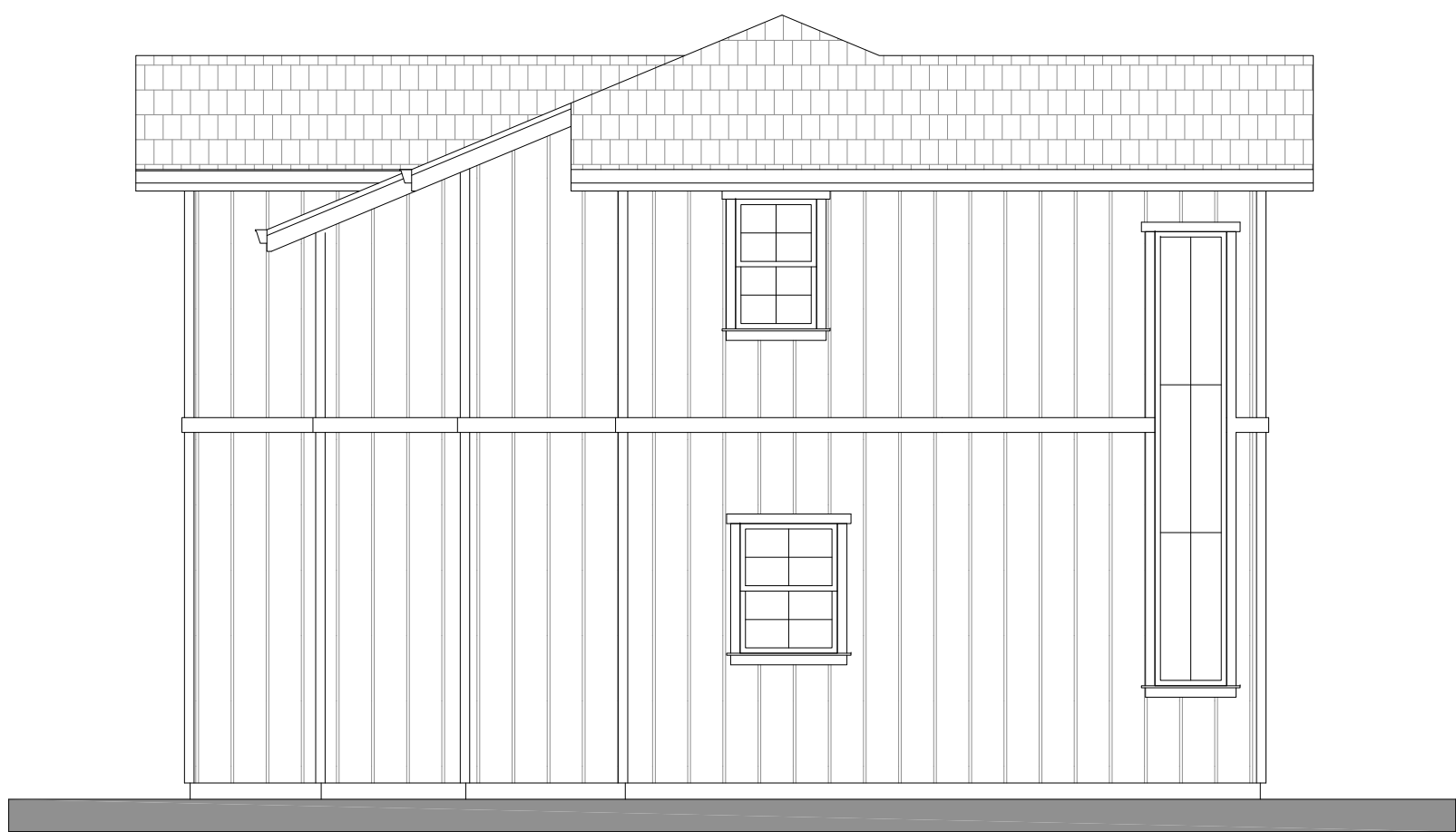
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Estates_REV\17056-8_Kirk_Zinfandel_Oak Knoll_#1_1.rvt 12/15/2020 11:12:01 AM



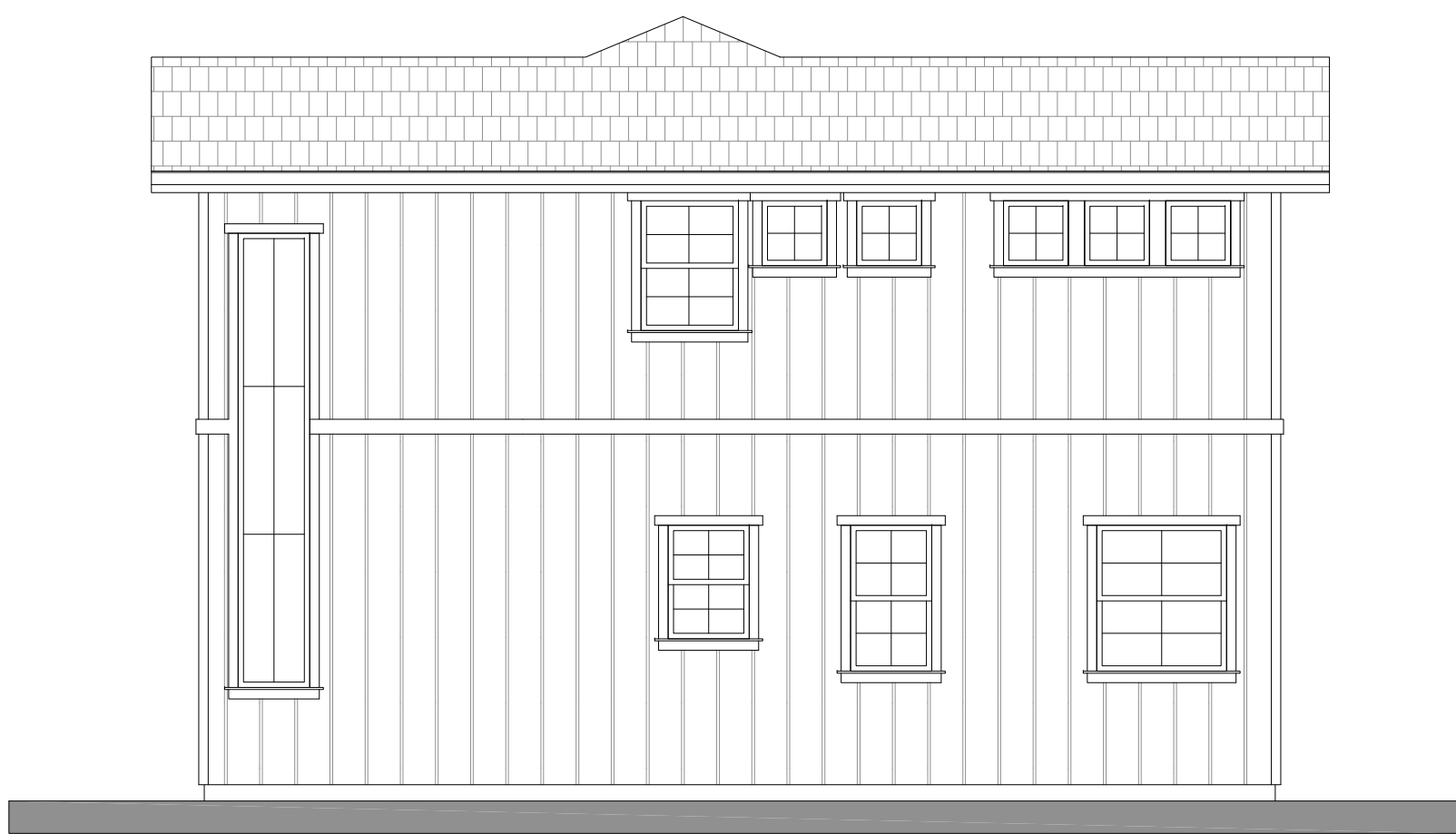
2 FRONT ELEVATION
3/16" = 1'-0"



1 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



4 RIGHT ELEVATION
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	

SHEET NO.
A321 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 11:12:02 AM

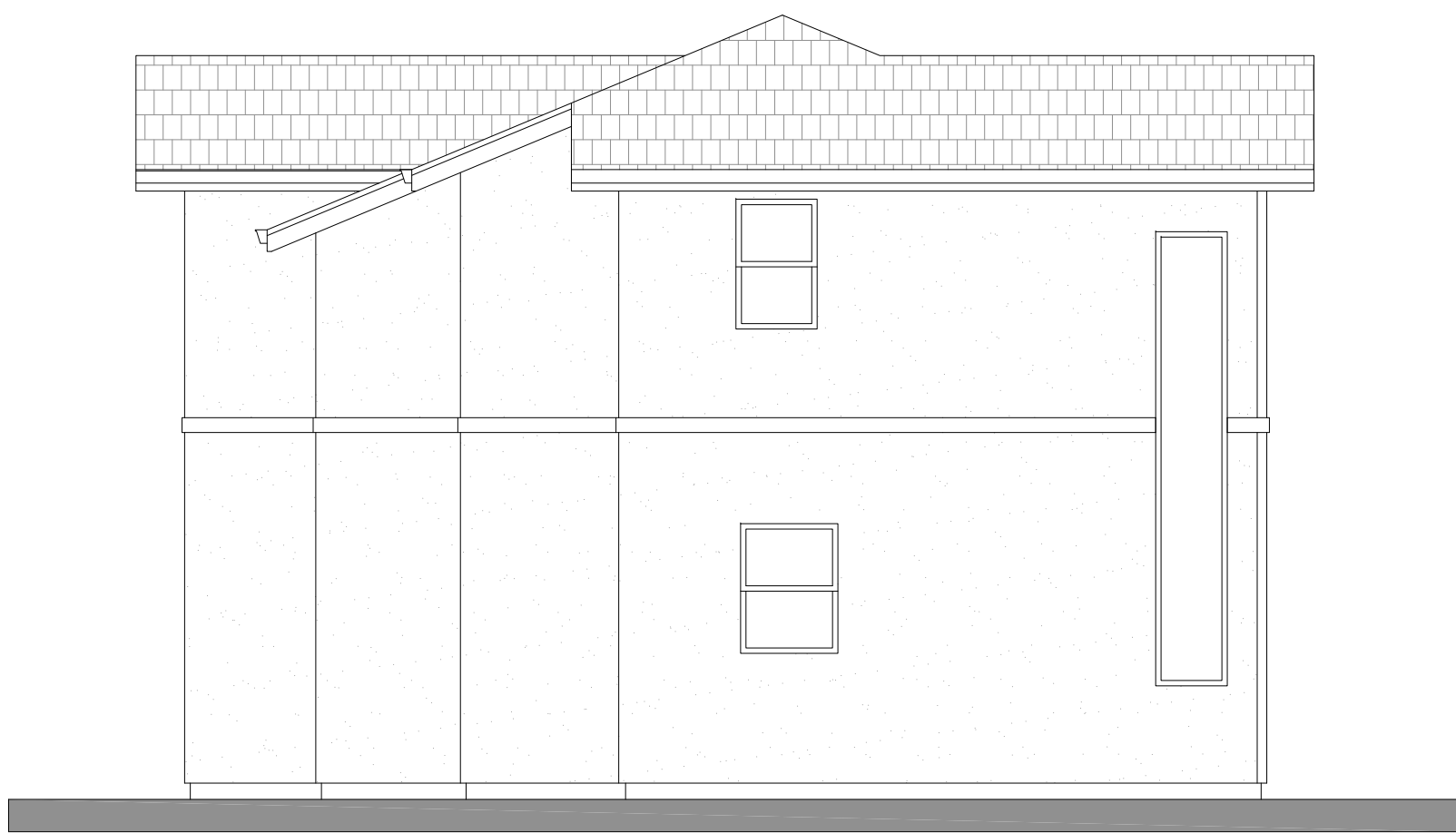
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Estates_REV\17056-8_Kirk_Zinfandel_Oak Knoll_#1_1.rvt



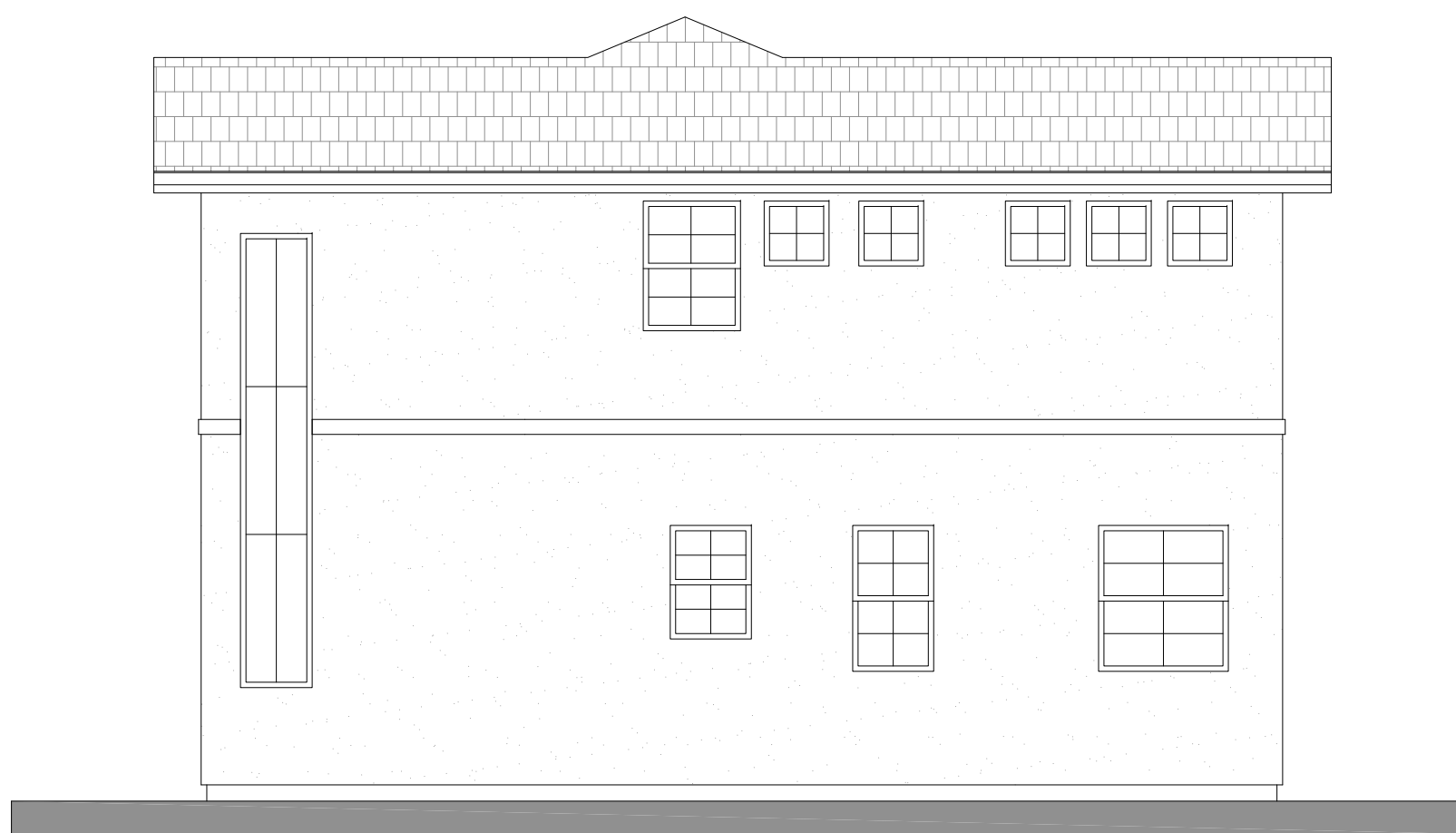
1 FRONT ELEVATION - OPT 2
3/16" = 1'-0"



2 REAR ELEVATION - OPT 2
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 2
3/16" = 1'-0"



4 RIGHT ELEVATION - OPT 2
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

OAK KNOLL (With ADU)
(Model #1)

1583 El Centro Ave.
Napa, CA 94558

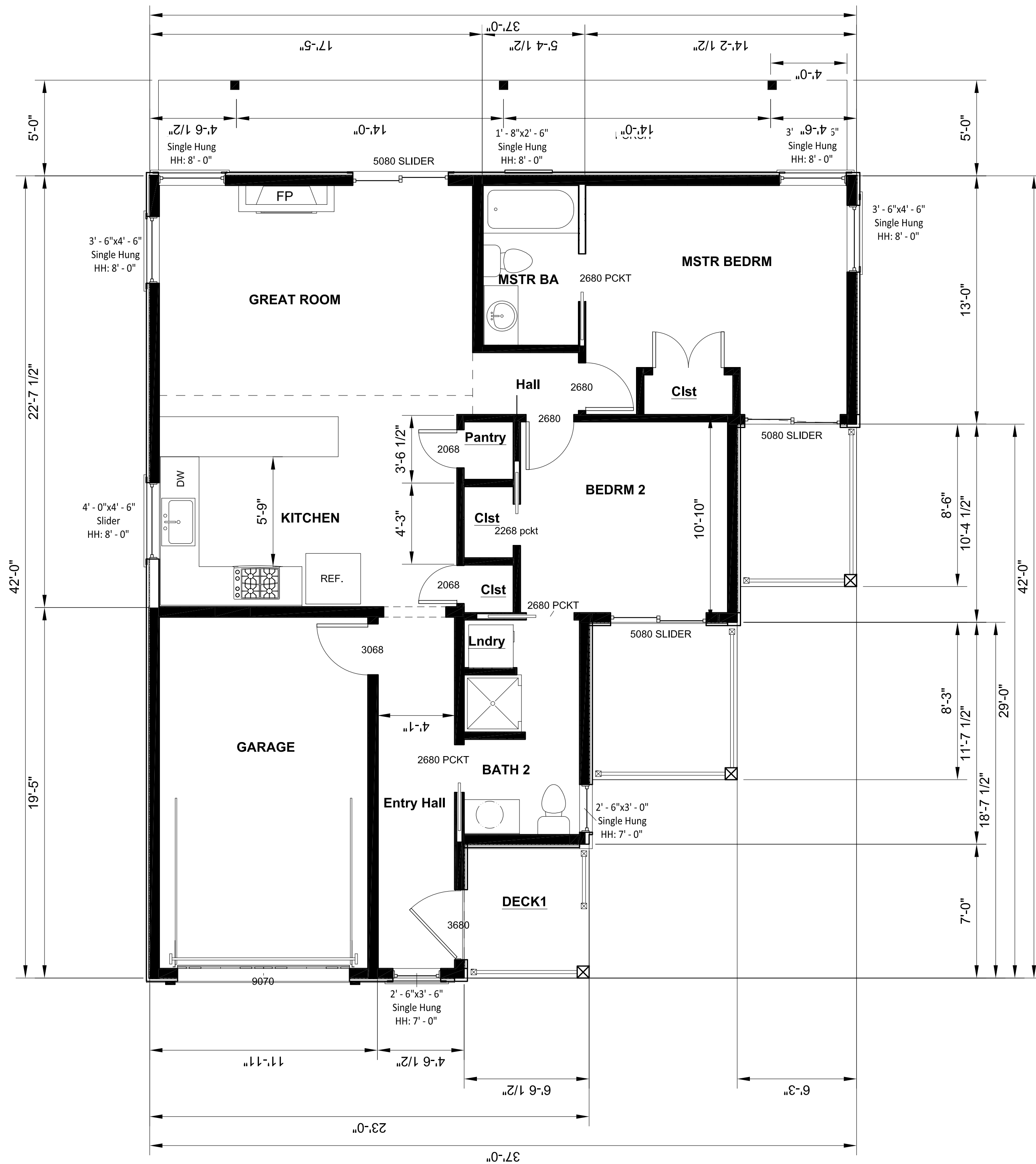
ELEVATIONS - OPT 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17060
PHASE NO.	

SHEET NO.

A322

of



1 FLOOR PLAN
1/4" = 1'-0"

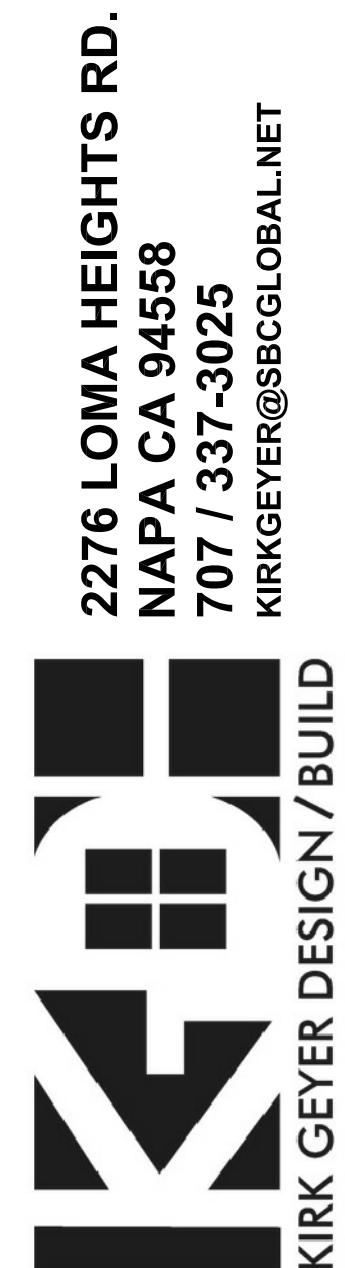
PROJECT DATA

LIVING AREA

<u>Name</u>	<u>Level</u>	<u>Area</u>
Living Area	1st Flr Level	1004 SF
Total Living Area		1004 SF

GARAGE / COVERED AREA

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	219 SF
Deck 3	1st Flr Level	53 SF
Deck 2	1st Flr Level	64 SF
Deck 1	1st Flr Level	46 SF
Rear Patio	1st Flr Level	244 SF
Garage / Covered Area		626 SF

[illegible]

**ZINFANDEL
SUBDIVISION**

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

FLOOR PLAN

CHECKED BY	K Geyer
DRAWN BY	J Neal
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	
SHEET NO.	

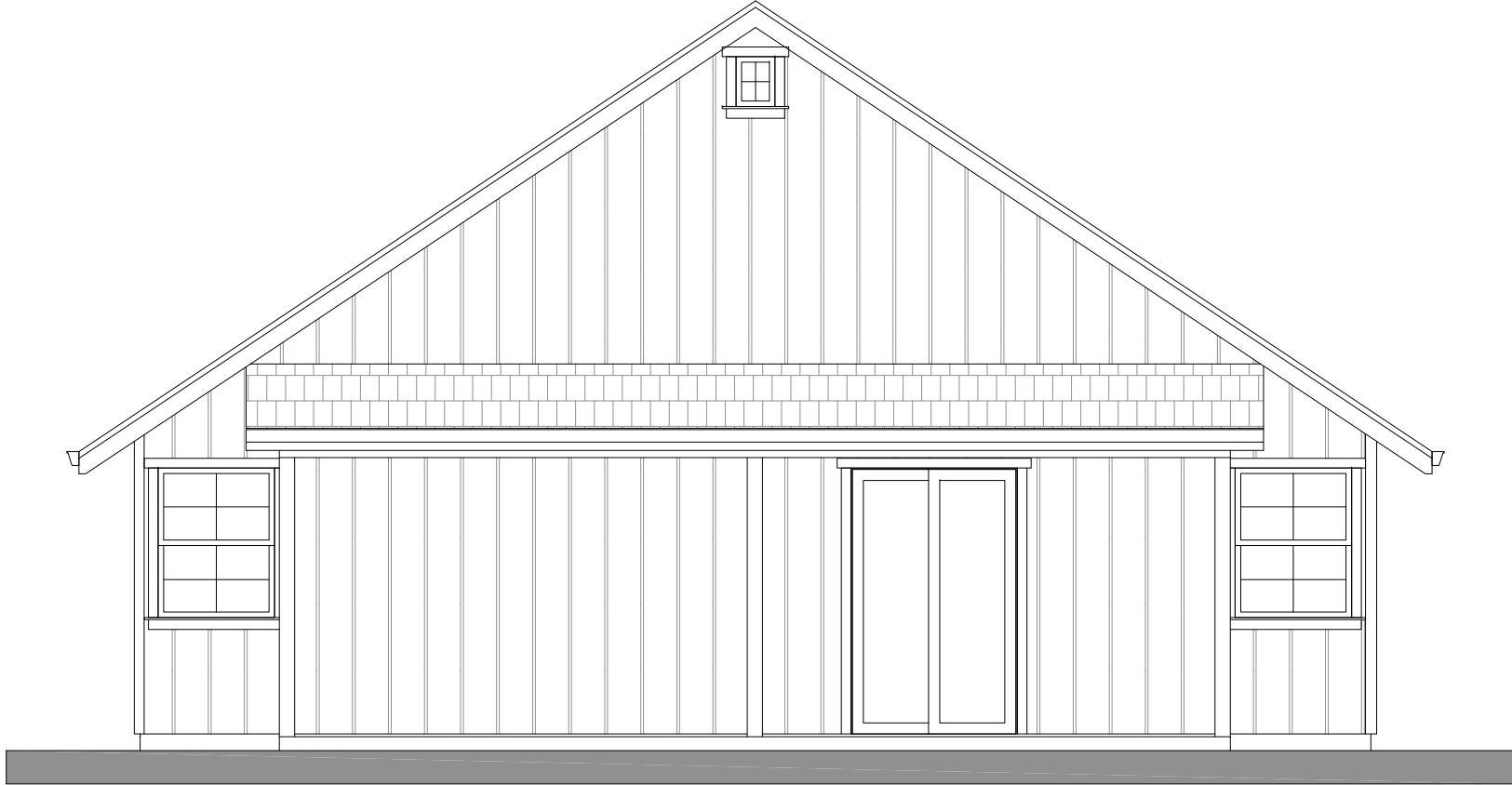
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE FIRM AND ARE CREATED, EVOLVED AND DELIVERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 11:22:58 AM

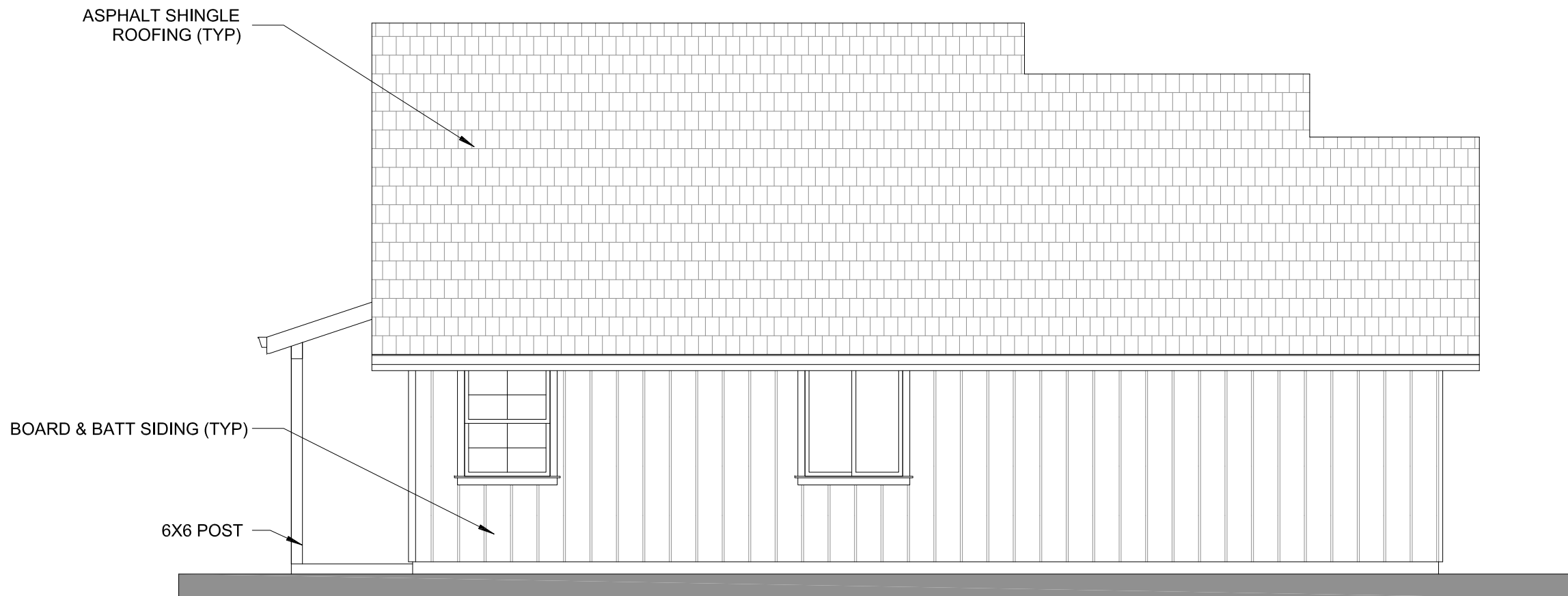
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\REV\17056-8_Kirk_Zinfandel_Spring Mountain_#2.rvt



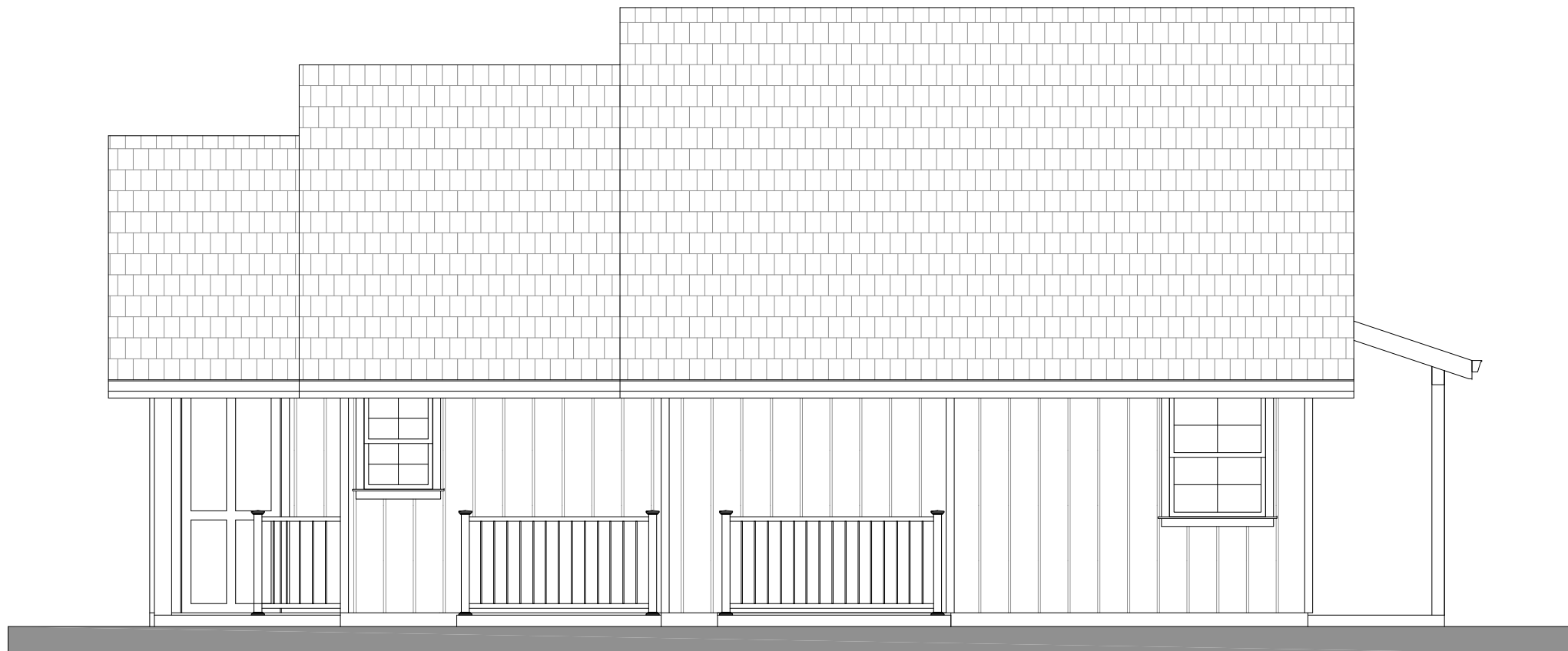
1 1-FRONT ELEVATION
3/16" = 1'-0"



2 REAR ELEVATION
3/16" = 1'-0"



3 LEFT ELEVATION
3/16" = 1'-0"



4 RIGHT ELEVATION
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - Opt 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

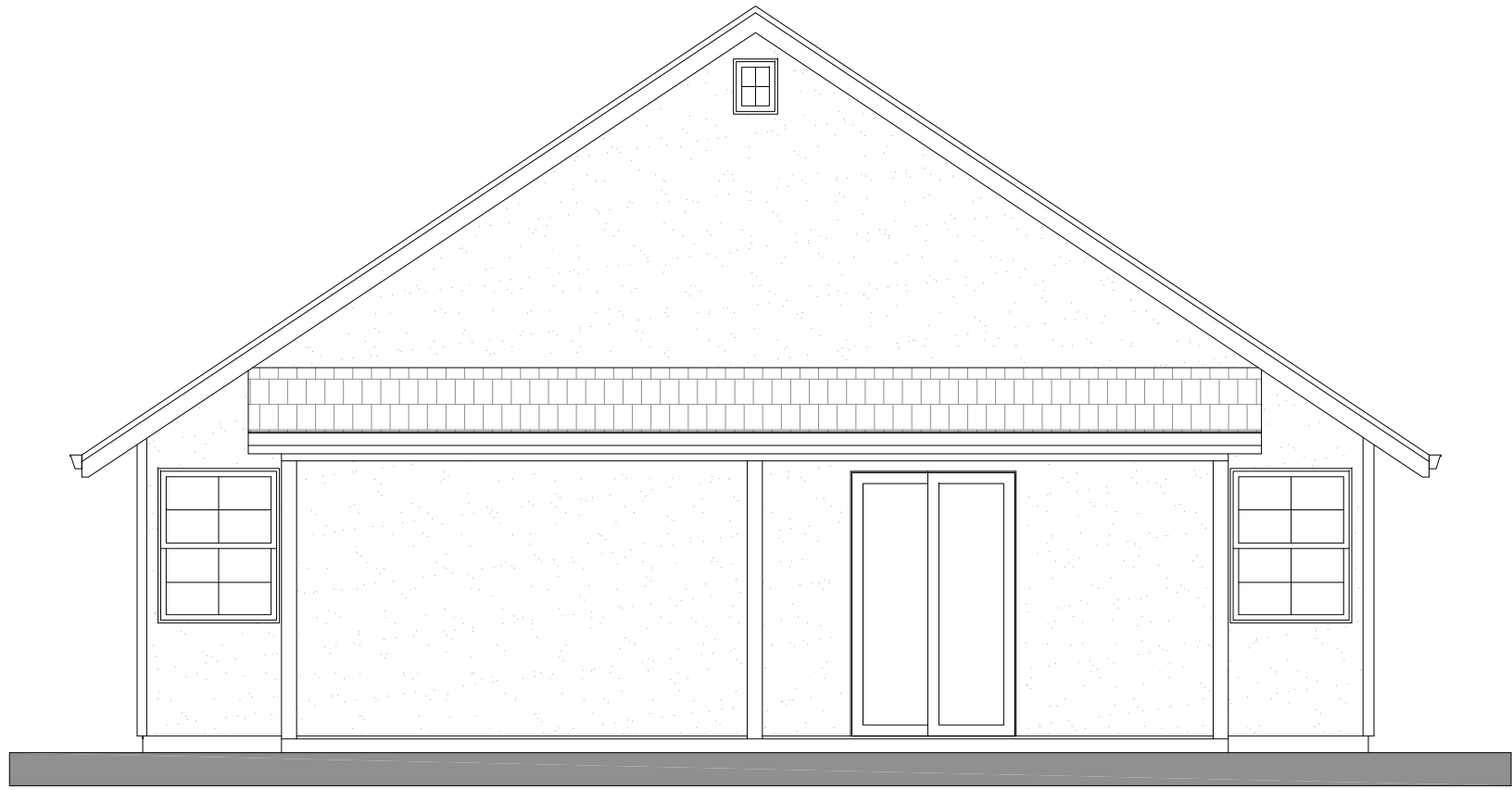
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VIOLATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE, MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 11:25:00 AM

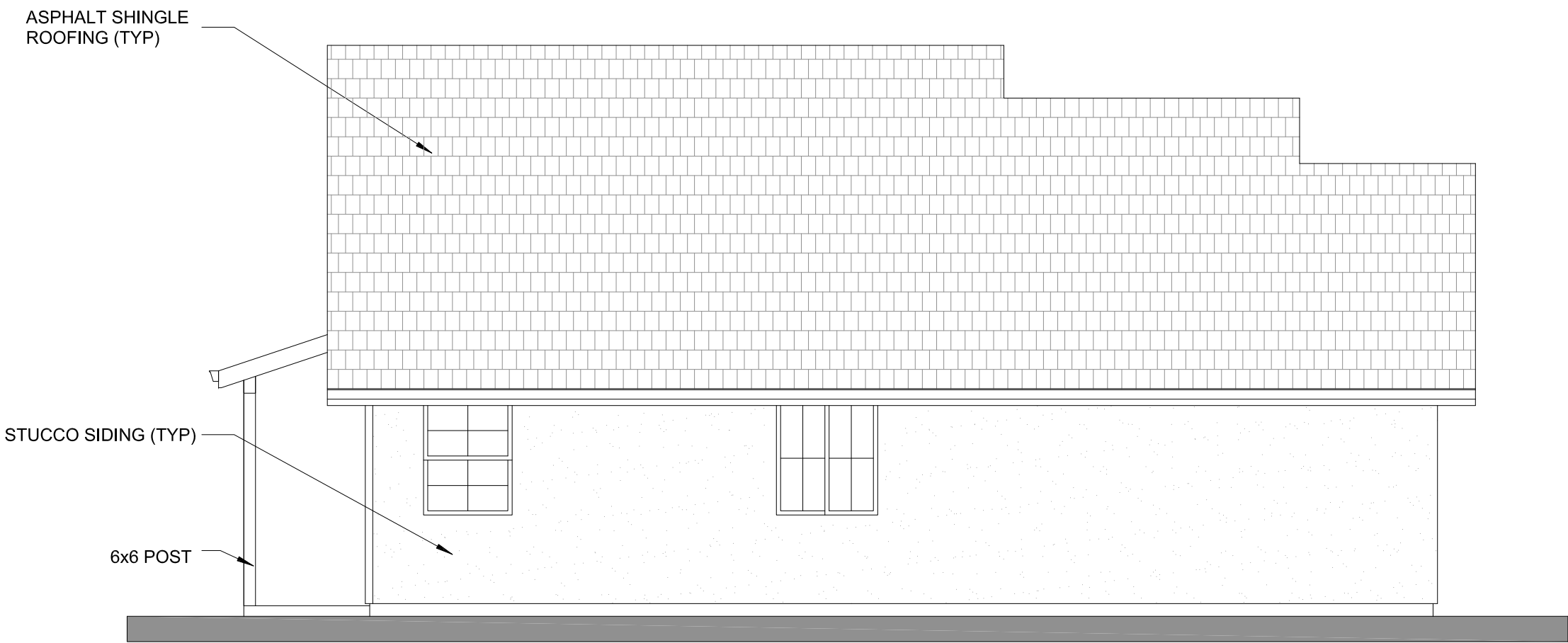
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\REV\17056-8_202_17056_Zinfandel_Spring Mountain_#2.rvt



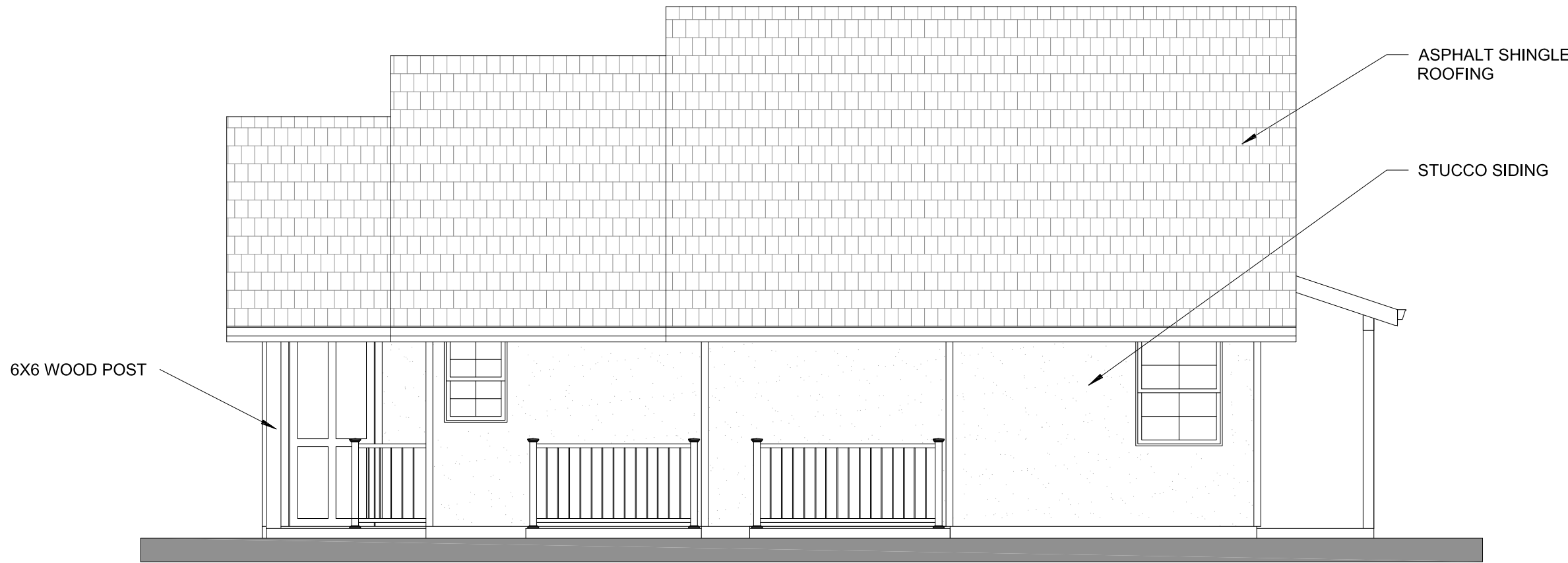
1 1-FRONT ELEVATION-Opt 2
3/16" = 1'-0"



2 REAR ELEVATION-Opt 2
3/16" = 1'-0"



3 LEFT ELEVATION-Opt 2
3/16" = 1'-0"



4 RIGHT ELEVATION-Opt 2
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

SPRING MOUNTAIN
(Model #2)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - Opt 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A322 of

1583 El Centro Ave.
Napa, CA 94558

ABV. ABOVE
 AFF ABOVE FINISHED FLOOR
 APPROX. APPROXIMATE
 BLDG. BUILDING
 B. BEAM
 CLG. CEILING
 CLR. CLEAR
 COL. COLUMN
 CONC. A. CONCRETE
 CONT. A. CONTINUOUS
 CTR. CENTER
 DET. DETAIL
 DH DRAILING HUNG WINDOW
 DN. DOWN
 DWG. DRAWING
 (E) EXISTING
 EA. EACH
 EQ. EQUAL
 EXT. EXTERIOR
 F.A. FINISH FLOOR
 FIN. FINISH
 FOF FACE OF FINISHED MATERIAL
 FOS FACE OF STUD
 FS. FIXED WINDOW
 GA. GAUGE
 GC GENERAL CONTRACTOR
 GYP. B.D. GYPSUM BOARD
 HDR. HEADER
 HDWR. HARDWARE
 HT. HEIGHT
 INT. INTERIOR
 JST. JOIST
 MAX. MAXIMUM
 MFR. MANUFACTURER
 MIN. MINIMUM
 MTD. MOUNTED
 ND. NEW
 NG NOT IN CONTRACT
 N.T.S. NOT TO SCALE
 O.C. ON CENTER
 O.H. OVERHANG
 REQD. REQUIRED
 SIM. SIMILAR
 S. SLIDER WINDOW
 STD. STANDARD
 S.O.G. SLAB ON GRADE
 T.O.C. TOP OF CURB
 T.O.S. TOP OF SLAB
 T.O.S.F. TOP OF SUB-FLOOR
 T.O.P. TOP OF PLATE
 T.O.WD. TOP OF WINDOW
 TYP. TYPICAL
 U.N.O. UNLESS NOTED OTHERWISE
 V.I.F. VERIFY IN FIELD
 WDW WINDOW



<u>NO.</u>	<u>NAME</u>
ARCHITECTURAL	
A000	COVER SHEET
A201	1st FLOOR PLAN
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: <http://www.gsmlainc.com>
email: elizabeth@gsmllainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

BUILDING CODE:	2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
	2016 CALIFORNIA GREEN BUILDING CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND
MUNICIPAL CODE AND ORDINANCES

NEW CUSTOM 1424 S.F. SINGLE FAMILY HOME

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

OCCUPANCY: R-2
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

<u>Name</u>	<u>Level</u>	<u>Area</u>
Living Area	1st Flr Level	1170 SF
Total Living Area		1170 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	Garage Slab	267 SF
Front Porch	Garage Slab	77 SF
Rear Porch	Garage Slab	117 SF
Garage/Porch Area		461 SF

The diagram illustrates the relationship between various drawing views and their corresponding sheet numbers. It shows a vertical sequence of views, each with a callout to a specific sheet number:

- BUILDING SECTION (PLAN)**: A diamond-shaped symbol with a cross inside, labeled "1 A101". A callout line points to "BUILDING SECTION NUMBER".
- BUILDING SECTION (ELEVATION)**: A diamond-shaped symbol with a cross inside, labeled "1 A101". A callout line points to "SHEET NUMBER".
- ELEVATIONS**: A diamond-shaped symbol with a cross inside, labeled "1 A101".
- WALL SECTION**: A diamond-shaped symbol with a cross inside, labeled "1 A101".
- DETAIL CALLOUT**: A circular symbol with a cross inside, labeled "1 A101". A callout line points to "SIM". Another callout line points to "DETAIL NUMBER". A dashed rectangular box is shown below the symbol, with a callout line pointing to "SHEET NUMBER".
- DETAIL CUT (PLAN/SECTION)**: A circular symbol with a cross inside, labeled "1 A101". A callout line points to "SIM". A solid black rectangular box is shown below the symbol.
- RELATED DETAIL CUT BELOW OR ABOVE**: Two circular symbols with crosses inside, each labeled "1 A101". A callout line points to "SIM". A solid black rectangular box is shown below the symbols.

ROOM NAME WITH
FLOOR FINISH

WINDOW TAG

DOOR TAG

REVISION TAG

LEVEL TAGS

DRAWING TITLE

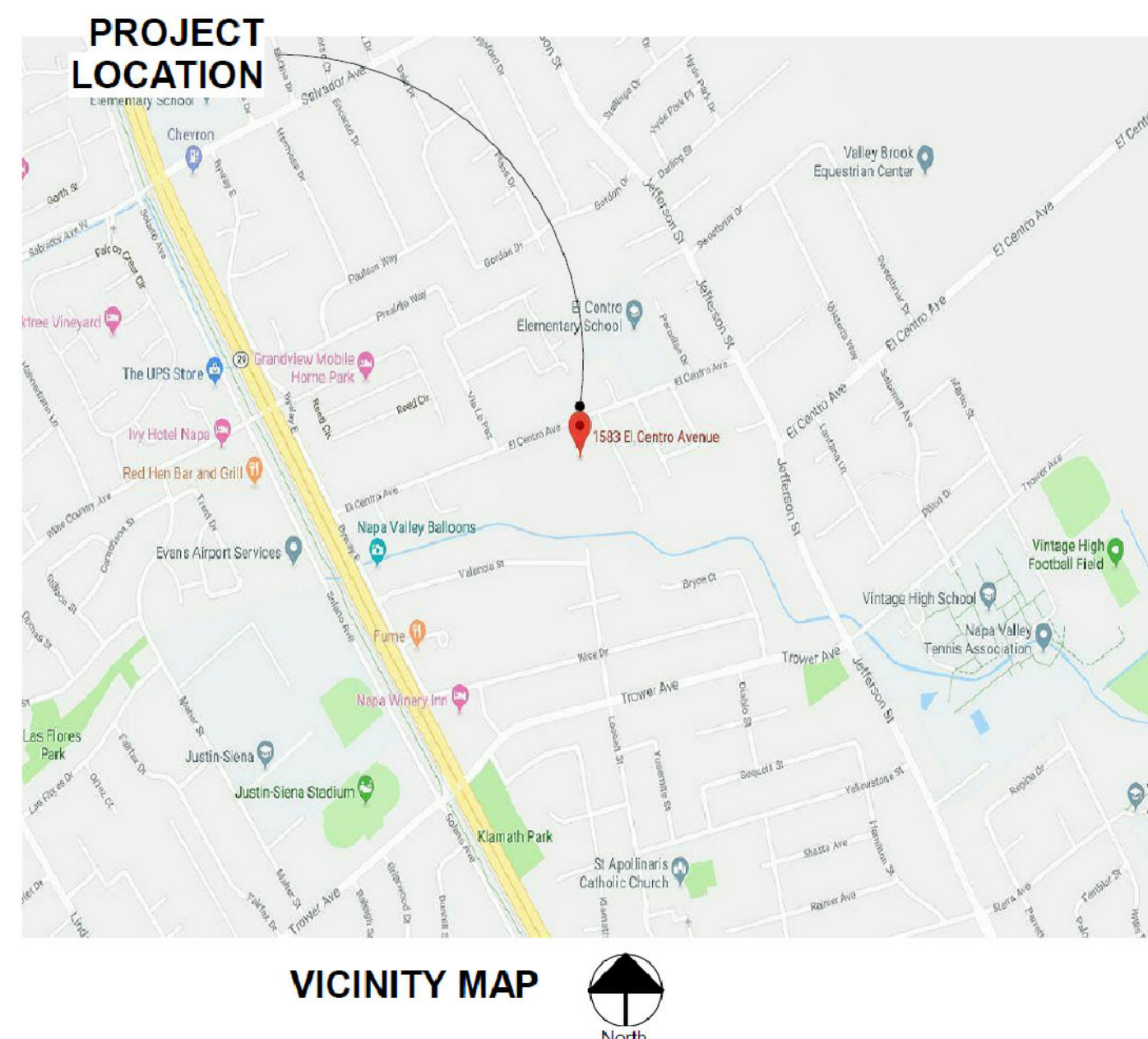
NORTH ARROWS

ROOM NAME _____

3068 = 36" WIDE BY 6'-8" TALL

ELEVATION

1	DRAWING NAME
	SCALE



THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

FIRE SPRINKLER SYSTEM.

ALL PORTION(S)/ITEM(S) BEING DEFERRED SHALL:

- A. BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- B. BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- C. REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK,
- D. NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

[illegible]

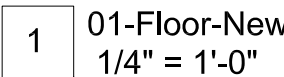
**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**

ZINFANDEL
SUBDIVISION

MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000 of

C:\Users\John R\Dropbox\DCI_PROJECTS\2017117056-8_Kirk_Zinfandel Estates\REVIT\2020.08.2019_17056_Zinfandel_Mt
Veeder #9.rvt



LIVING AREA

GARAGE / PORCH AREA

[illegible]

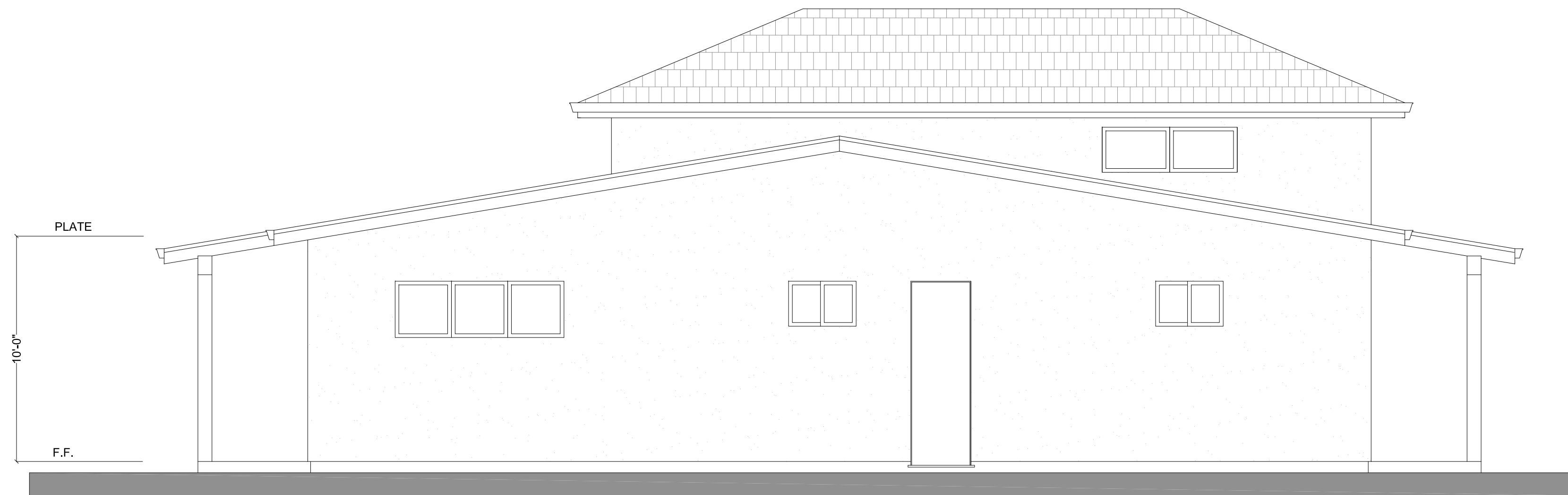
MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

SHEET NO.
A201

C:\Users\John R\Dropbox\ DC\ PROJECTS\2017\17056-8 Kirk Zinfandel Estates\ REVIT\2020.08.20\19 17056 Zinfandel Mt



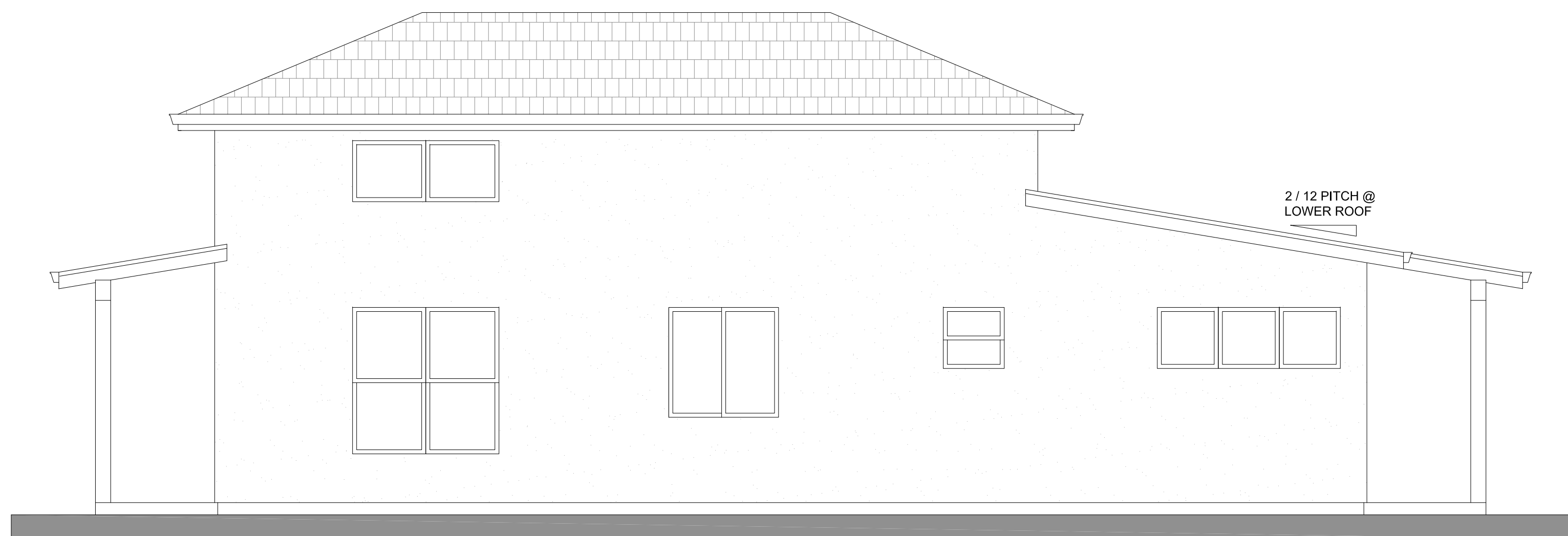
1 FRONT ELEVATION
1/4" = 1'-0"



3 LEFT ELEVATION
1/4" = 1'-0"



2 REAR ELEVATION
1/4" = 1'-0"



4 RIGHT ELEVATION
1/4" = 1'-0"

[illegible]

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUIJD

ZINFANDEL SUBDIVISION

MOUNT VEEDER
(Model #3)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS OPT 1

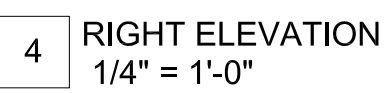
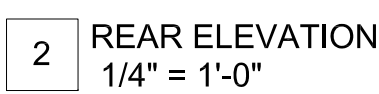
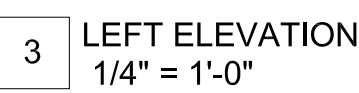
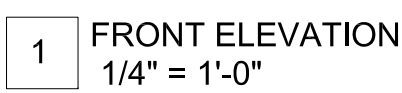
CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel Estates_REVIT\2020.08.2019_17056_Zinfandel_Mt Veeder #9.rvt



SHEET NO.
A322 of

ZINFANDEL SUBDIVISION

TRINITY PROJECT, LLC COOMBSVILLE (Model #4)

1583 El Centro Ave.
Napa, CA 94558

ABBREVIATIONS

ABV. ABOVE
AFF. ABOVE FINISHED FLOOR
APPROX.A. APPROXIMATE
BLDG. BUILDING
B. BEAM
CL.G. CEILING
CLR. CLEAR
COL. COLUMN
CONC..A.A. CONCRETE
CONT.A. CONTINUOUS
CTR. CENTER
DET. DETAIL
DH. DOUBLE HUNG WINDOW
DN. DOWN
DWG. DRAWING
(E). EXISTING
EA. EACH
EQ. EQUAL
EXT. EXTERIOR
F.A. FINISH FLOOR
FIN. FINISH
FOF. FACE OF FINISHED MATERIAL
FOS. FACE OF STUD
FX. FIXED WINDOW
GA. GAUGE
GC. GENERAL CONTRACTOR
GYP.BD.A. GYPSUM BOARD
HDR. HEADER
HDWR. HARDWARE
HT. HEIGHT
INT. INTERIOR
JST. JOIST
MAX. MAXIMUM
MFR. MANUFACTURER
MIN. MINIMUM
MTD. MOUNTED
(N). NEW
NIC. NOT IN CONTRACT
N.T.S. NOT TO SCALE
O.C. ON CENTER
O.H. OVERHANG
REQD. REQUIRED
SIM. SIMILAR
S. SLIDER WINDOW
STD. STANDARD
S.O.G. SLAB ON GRADE
T.O.C. TOP OF CURB
T.O.S. TOP OF SLAB
T.O.SF. TOP OF SUB-FLOOR
T.O.P. TOP OF PLATE
T.O.WDW. TOP OF WINDOW
TYP. TYPICAL
U.N.O. UNLESS NOTED OTHERWISE
V.I.F. VERIFY IN FIELD
WDW. WINDOW



DRAWING INDEX

NO.	NAME
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLAN
A321	ELEVATIONS - OPT 1
A322	ELEVATIONS - OPT 2

PROJECT DIRECTORY

OWNER

TRINITY PROJECT, LLC
977 SALVADOR AVE.
NAPA CA 94558
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

DESIGNER

KIRK GEYER
2276 LOMA HEIGHTS RD.
NAPA CA 94559
phone: 707-337-3025
Website:
email: kirkgeyer@sbcglobal.net
contact: KIRK GEYER

CIVIL ENGINEER

RSA
1515 Fourth Street
NAPA CA 94559
phone: 707-252-3301
Website:
email: contact@rsacivil.com
contact: RSA

LANDSCAPE ARCHITECT

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: http://www.gsmlainc.com
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

SCOPE OF WORK

NEW CUSTOM 1591 S.F. SINGLE FAMILY HOME

TITLE 24

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

BUILDING SUMMARY

OCCUPANCY: R-2
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1517 SF
Total Living Area		1517 SF
GARAGE AREA & COVERED AREAS		
Name	Level	Area
Garage	1st Flr Level	356 SF
FRONT PORCH	1st Flr Level	128 SF
REAR PATIO	1st Flr Level	166 SF
TOTAL		650 SF
TOTAL AREA COVERAGE		2370 SF
LOT AREA		3892 SF
COVERAGE PERCENTAGE		60.9%

CODE INFORMATION

BUILDING CODE:	2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE
	2016 CALIFORNIA GREEN BUILDING CODE

ALL CODE REFERENCES INCLUDE THE LATEST ADOPTED AMENDMENTS AND MUNICIPAL CODE AND ORDINANCES

DEFERRED SUBMITTALS

THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

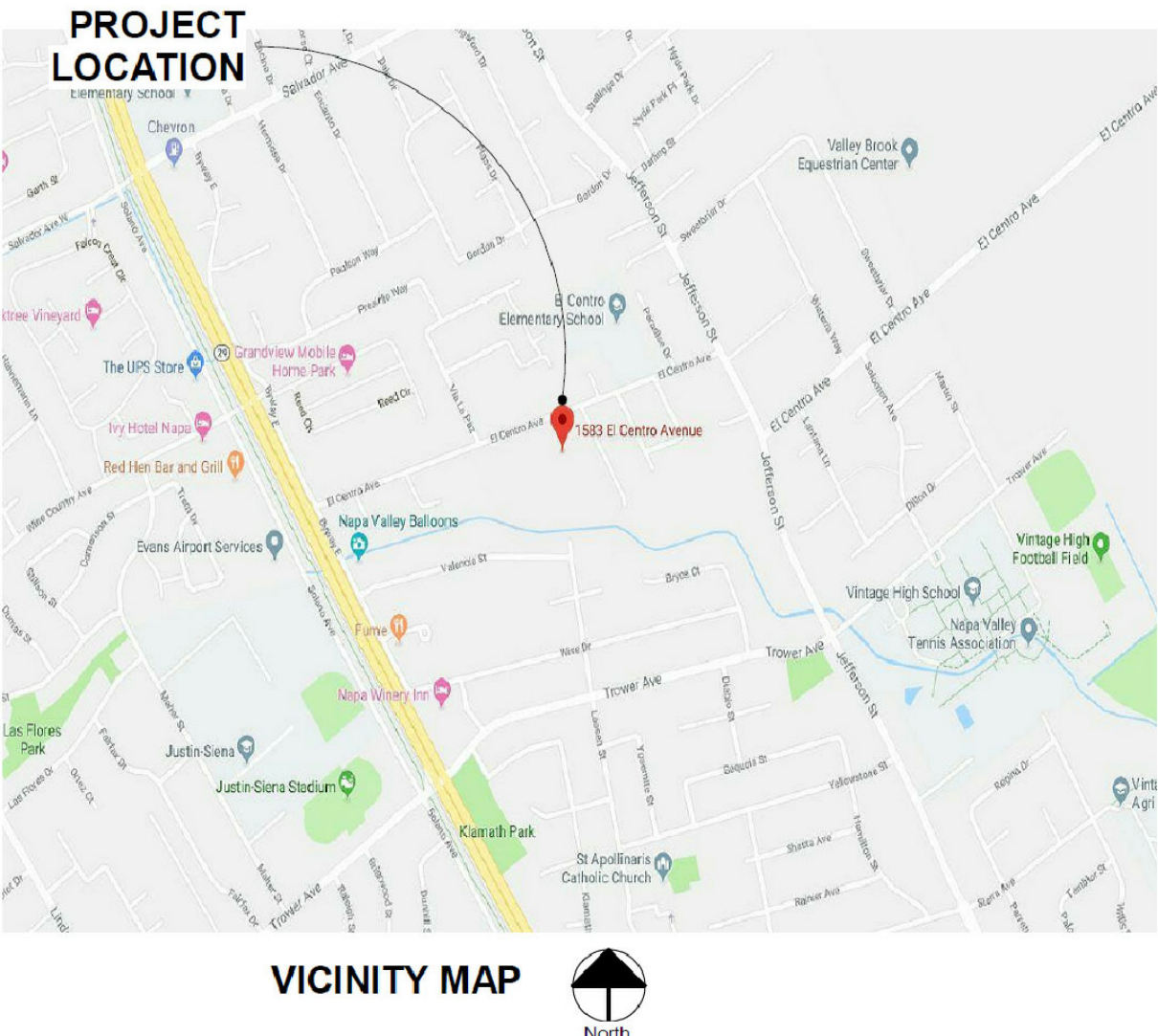
- TRUSS CALCULATIONS AND SHOP DRAWINGS.
- FIRE SPRINKLER SYSTEM.

ALL PORTION(S)ITEM(S) BEING DEFERRED SHALL:

- BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL. SIMILAR WORDING INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
- NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

LEGEND

BUILDING SECTION (PLAN)		BUILDING SECTION NUMBER
BUILDING SECTION (ELEVATION)		SHEET NUMBER
ELEVATIONS		
WALL SECTION		
DETAIL CALLOUT		DETAIL NUMBER
DETAIL CUT (PLAN/SECTION)		SHEET NUMBER
RELATED DETAIL CUT BELOW OR ABOVE		
ROOM NAME WITH FLOOR FINISH		ROOM NAME
WINDOW TAG		
DOOR TAG		
REVISION TAG		
LEVEL TAGS		LEVEL NAME
DRAWING TITLE		DRAWING NAME
NORTH ARROWS		



2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

COOMBSVILLE (Model #4)
1583 El Centro Ave.
Napa, CA 94558

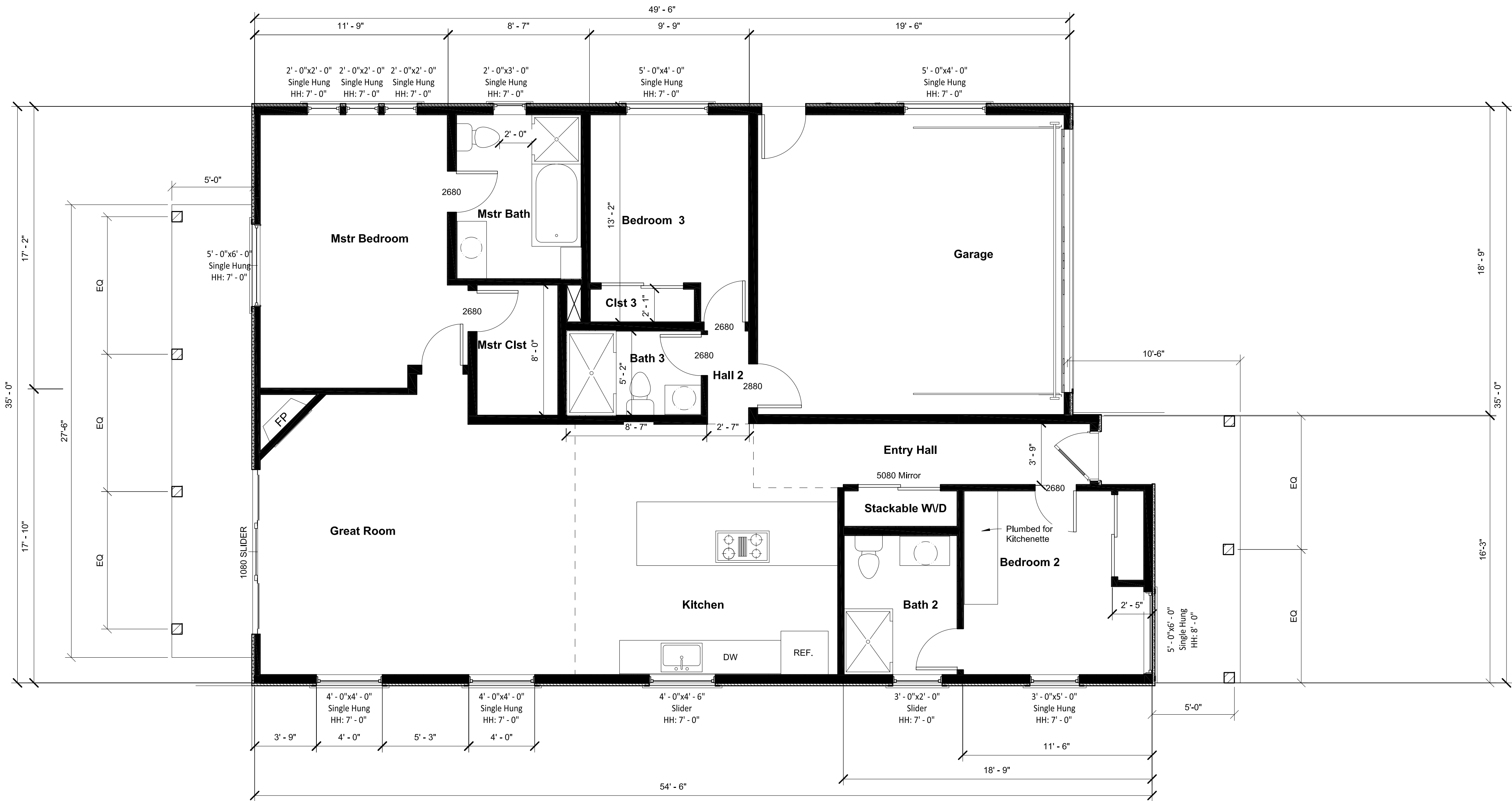
COVER SHEET

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/2" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	Design Development
SHEET NO.	A000

of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DISCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Coombsville_#4_2.rvt
Estate_REVIT\2022.12.05\4_17056_Zinfandel_Coombsville_#4_2.rvt



1 01-Floor-New
1/4" = 1'-0"

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1498 SF
Total Living Area		1498 SF
GARAGE AREA & COVERED AREAS		
Name	Level	Area
Garage	1st Flr Level	356 SF
FRONT PORCH	1st Flr Level	128 SF
REAR PATIO	1st Flr Level	166 SF
TOTAL		650 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL
SUBDIVISION

COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

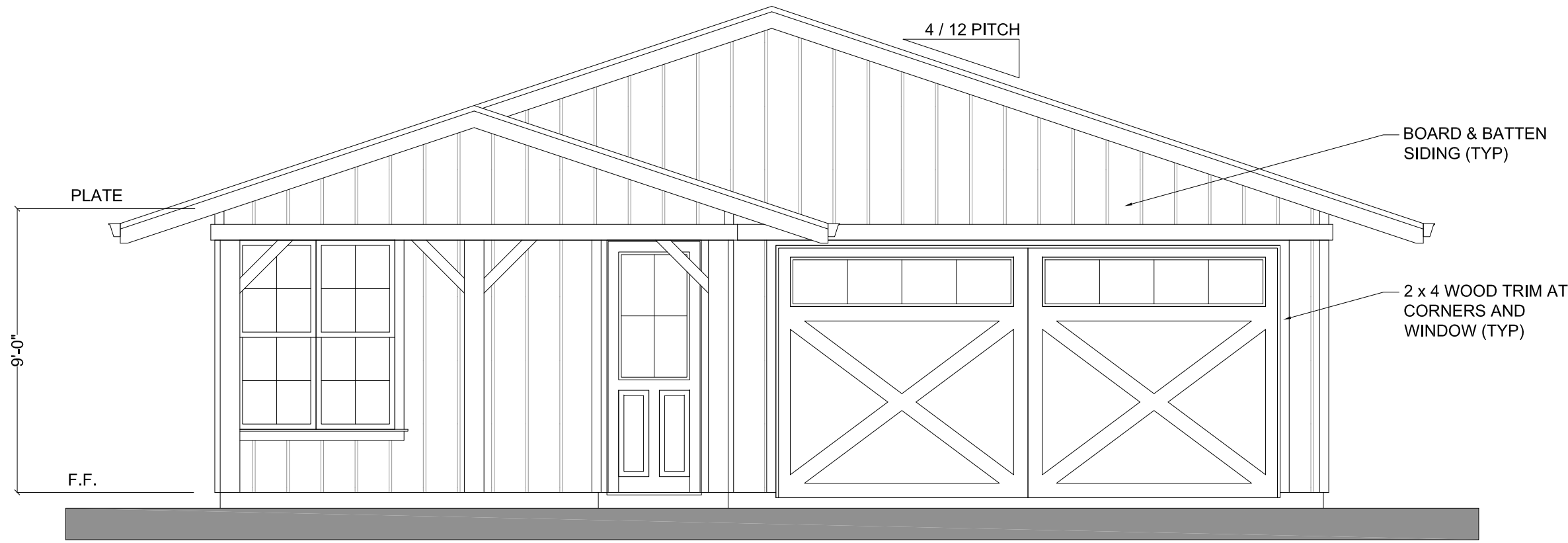
FLOOR PLAN

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	

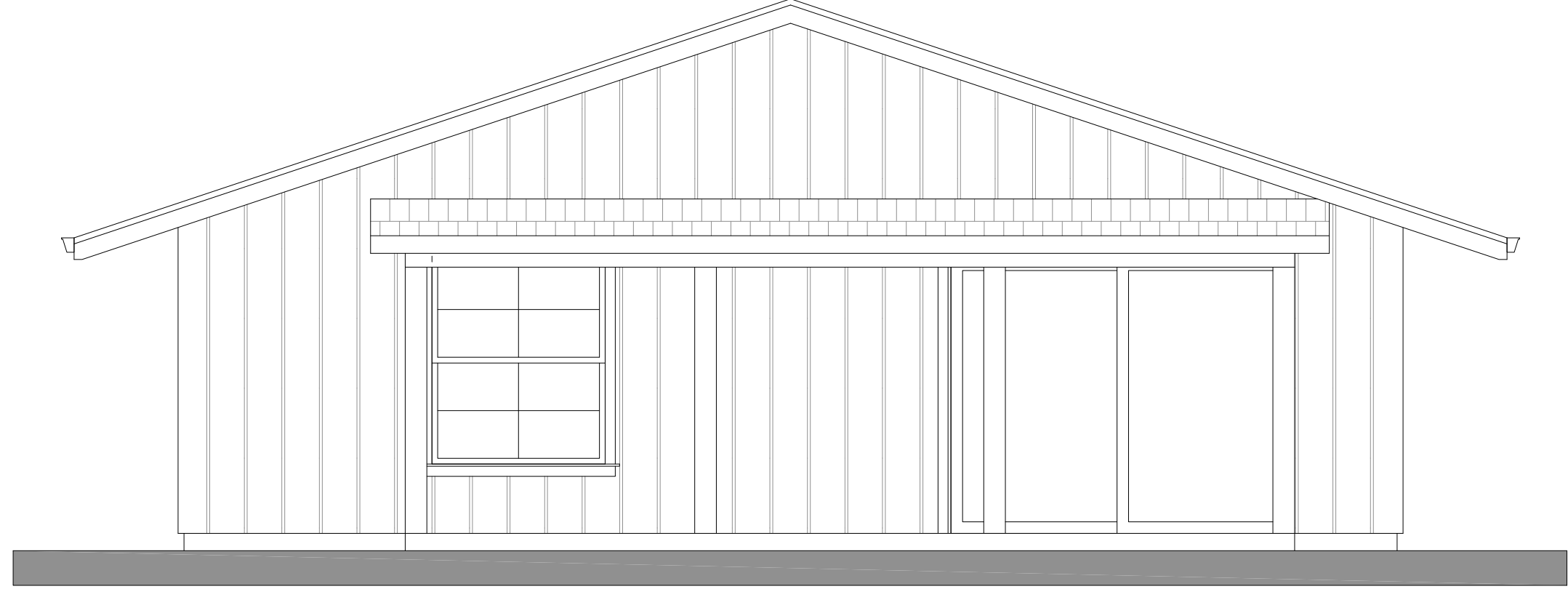
SHEET NO.
A201 of

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED BY THE DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND DISCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Coombsville_#4_r1.rvt
Estate\RE\17\2020.08.20\4_17056_Zinfandel_Coombsville_#4_r1.rvt
12/15/2020 5:01:32 PM

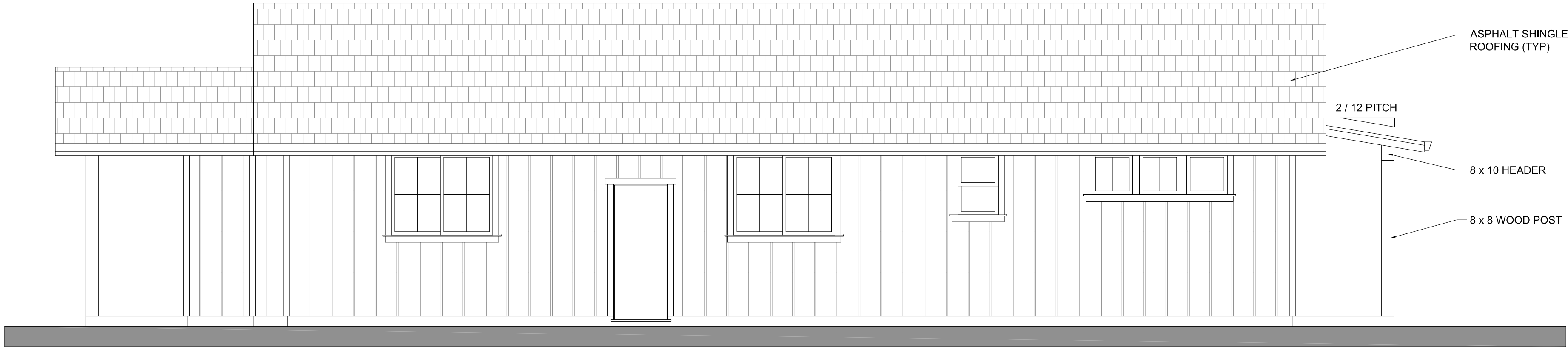


1 FRONT ELEVATION-Opt 1
1/4" = 1'-0"

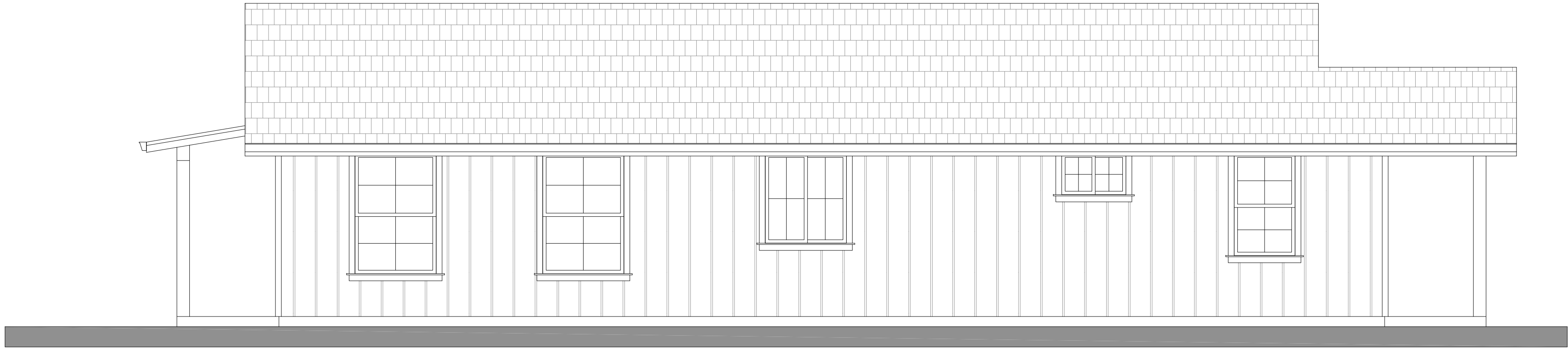


2 REAR ELEVATION-Opt 1
1/4" = 1'-0"

VT



3 RIGHT ELEVATION-Opt 1
1/4" = 1'-0"



4 LEFT ELEVATION-Opt 1
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

COOMBSVILLE
(Model #4)
1583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 1

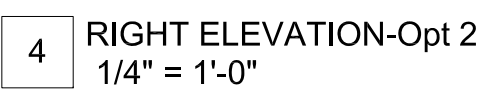
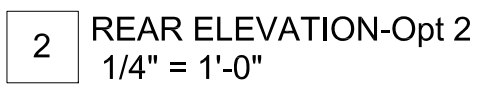
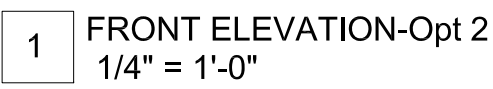
CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

C:\Users\John R\Dropbox\DCI_PROJECTS\201717056-8_Kirk_Zinfandel\12/15/2020 5:01:35 PM Estates\ REVIT\2020.08.204 17056 Zinfandel Coombsville #4 r1.rvt



KIRK GEYER DESIGN / BUILD

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**

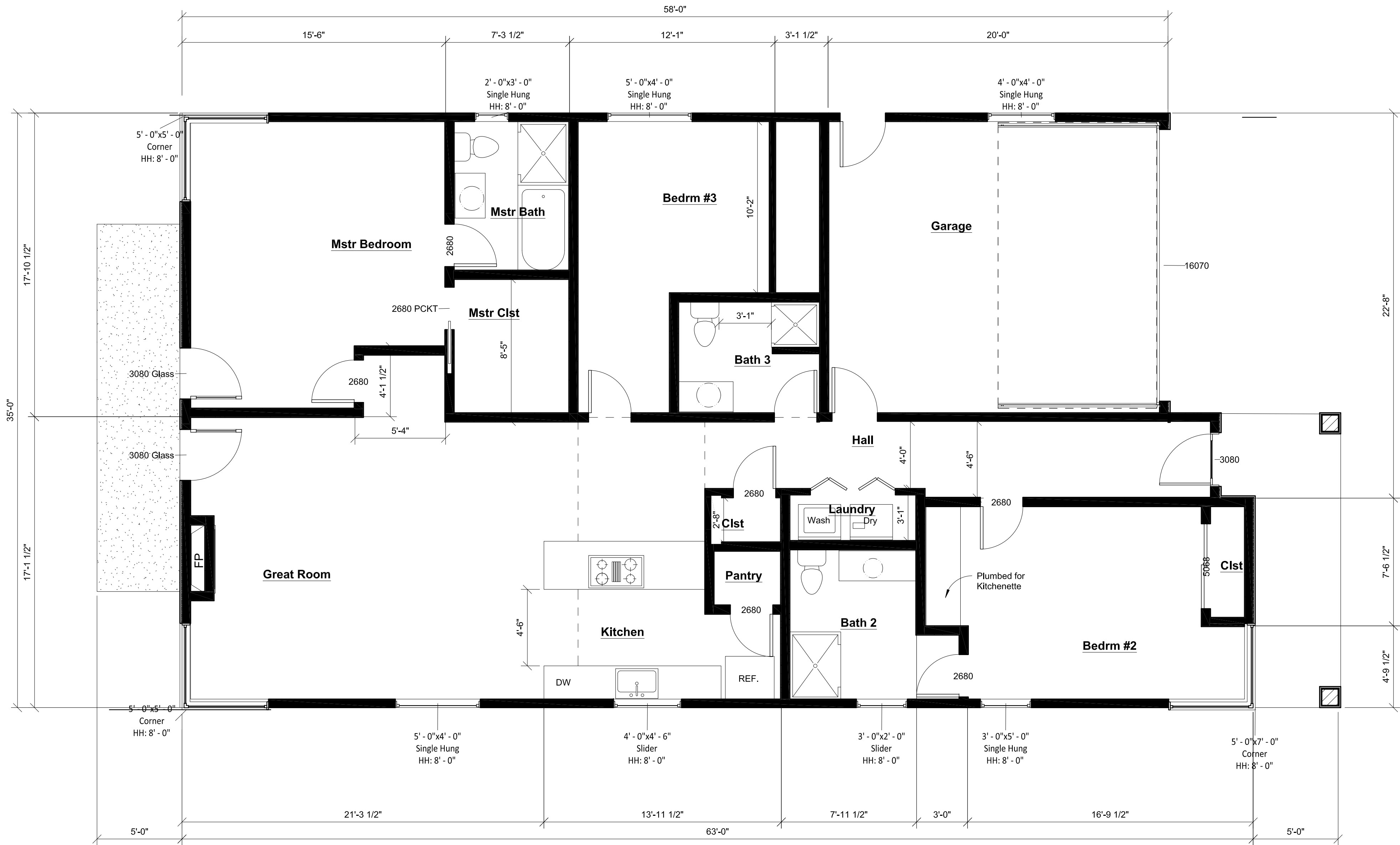
COOMBSVILLE
(Model #4)
583 El Centro Ave.
Napa, CA 94558

ELEVATIONS - OPT 2

SHEET NO.
A322 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHOP DETAILS OR SPECIFICATIONS MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

C:\Users\John R\Downloads\5_17056_Zinfandel_Chile's Valley_#5_1.rvt 8/14/2023 7:41:24 AM



1 01-Floor-New-Opt 2
1/4" = 1'-0"

KEYNOTES

PROJECT DATA

LIVING AREA		
Name	Level	Area
Living Area	1st Flr Level	1753 SF
Total Living Area		1753 SF

GARAGE / COVERED AREA

Name	Level	Area
Garage	Garage Slab	351 SF
Front Porch	Garage Slab	132 SF
Garage / Covered Area		483 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

ZINFANDEL
SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

FLOOR PLAN

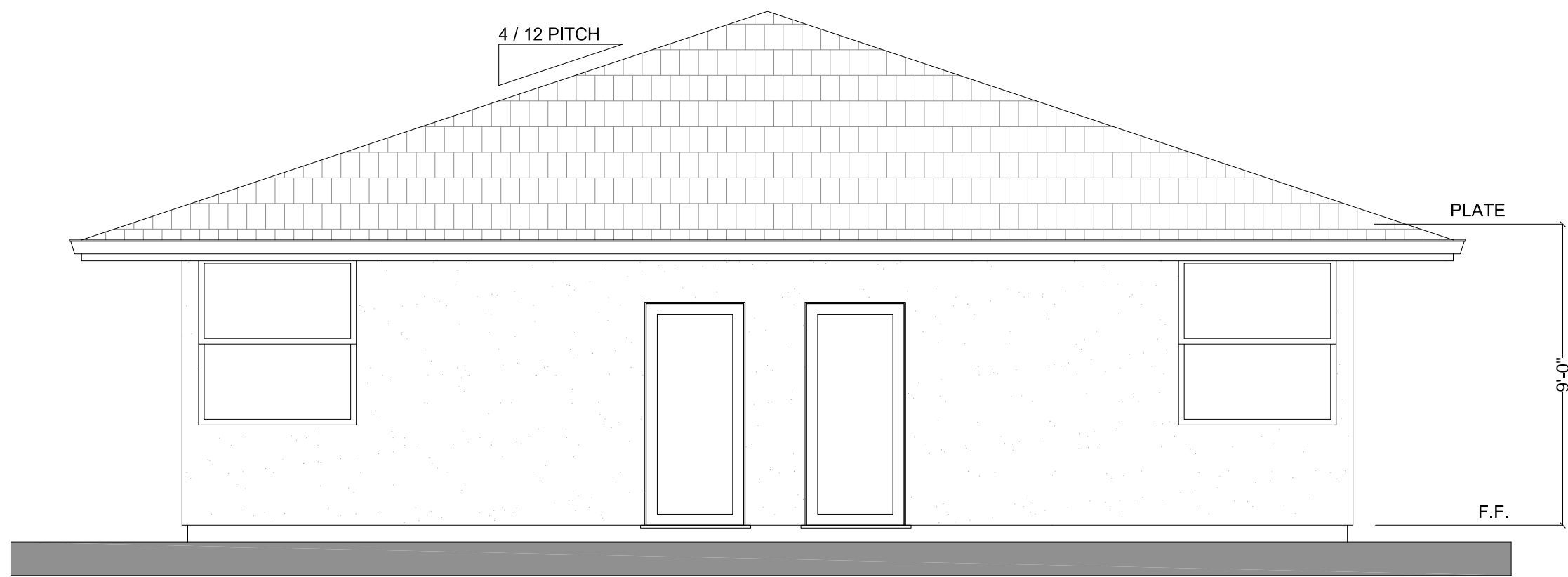
CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A201 of

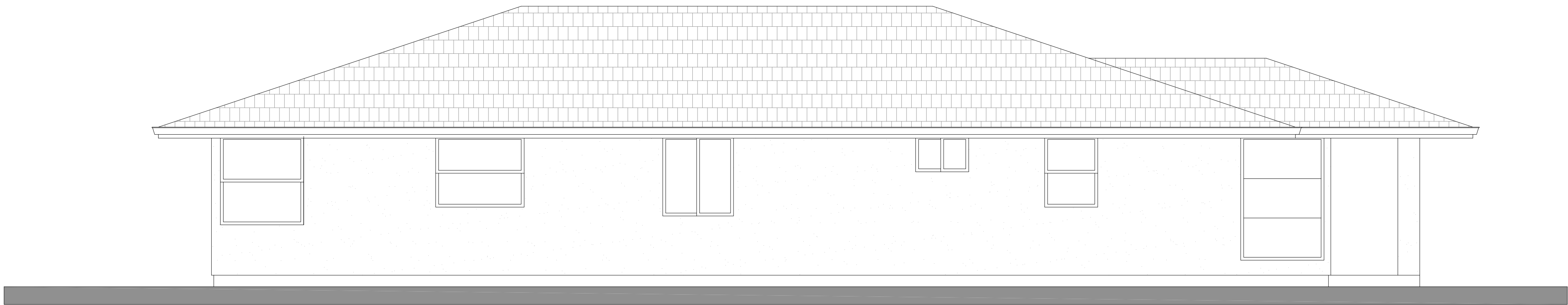
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.



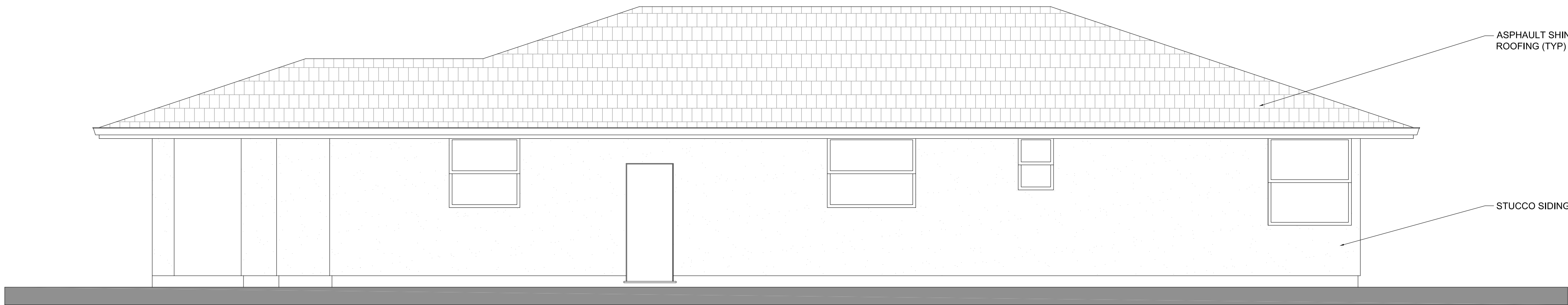
3 FRONT ELEVATION -Option 1
1/4" = 1'-0"



4 REAR ELEVATION - Option 1
1/4" = 1'-0"



1 LEFT ELEVATION - Option 1
1/4" = 1'-0"



2 RIGHT ELEVATION - Option 1
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

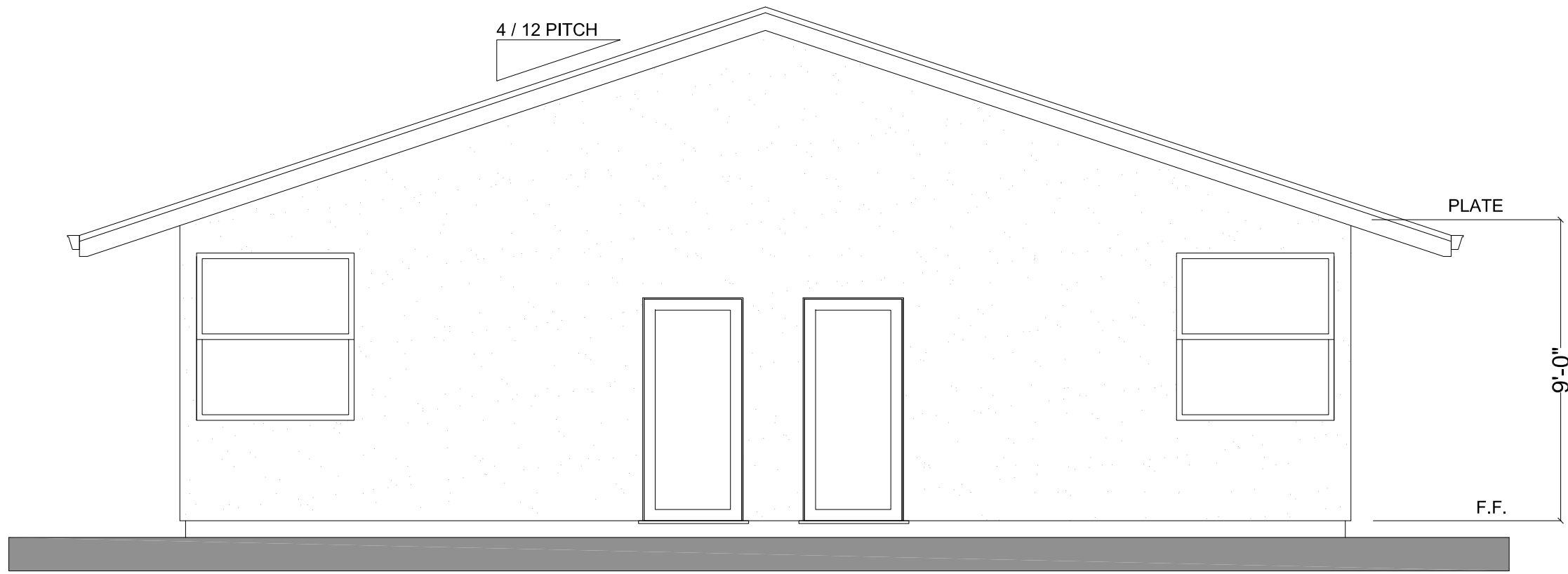
ELEVATIONS-Opt 1

CHECKED BY	KGeyer
DRAWN BY	Jneal
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	

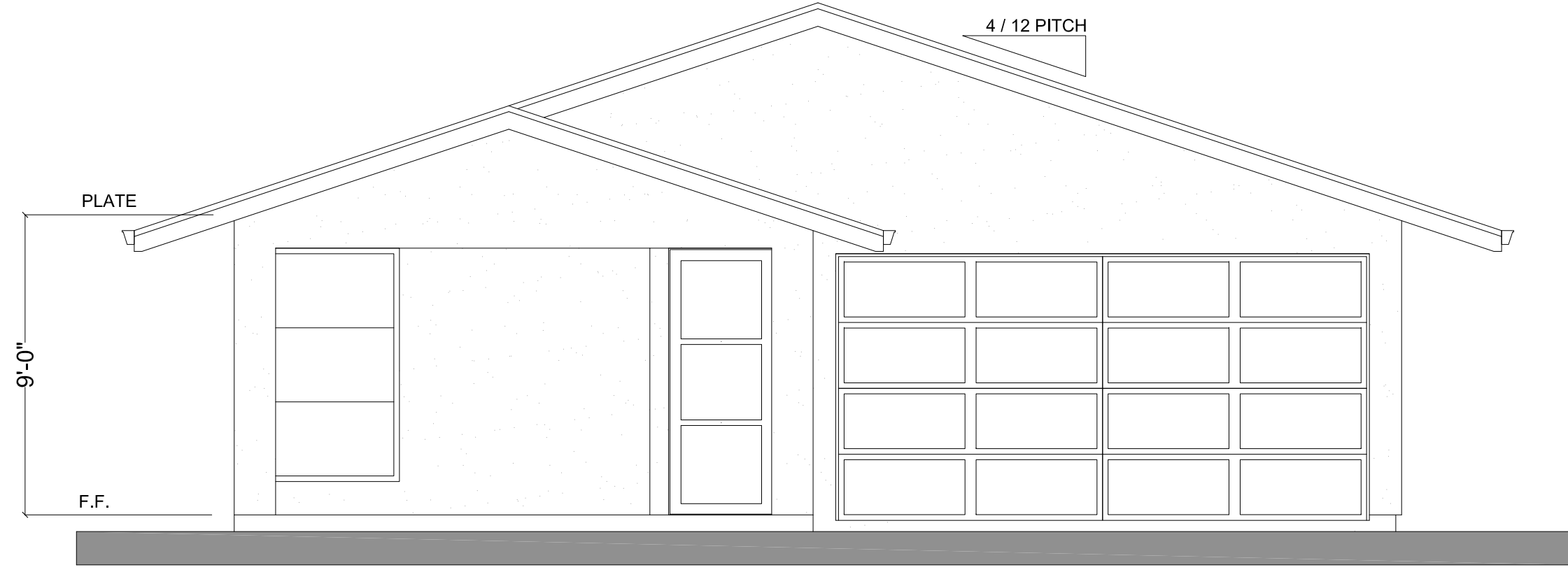
SHEET NO.
A321 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

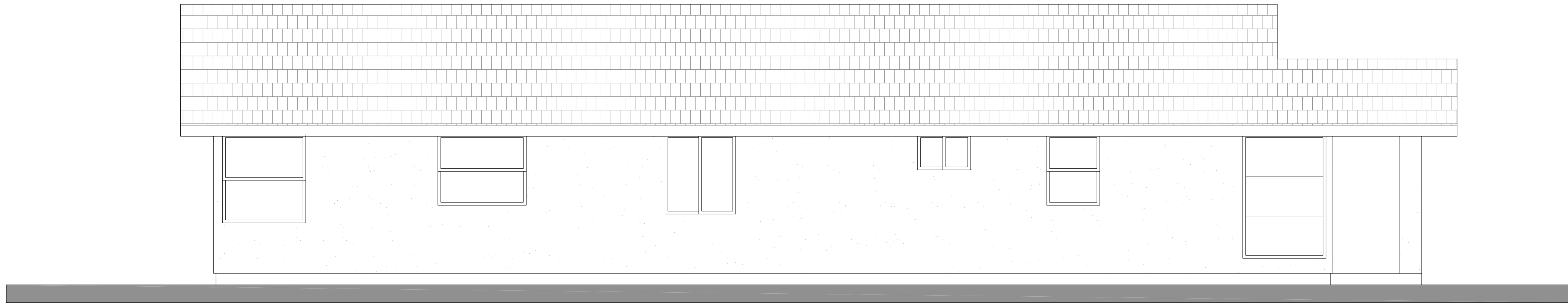
C:\Users\John R\Downloads\17056_Zinfandel_Chile's Valley_#5_1.rvt 8/14/2023 7:41:30 AM



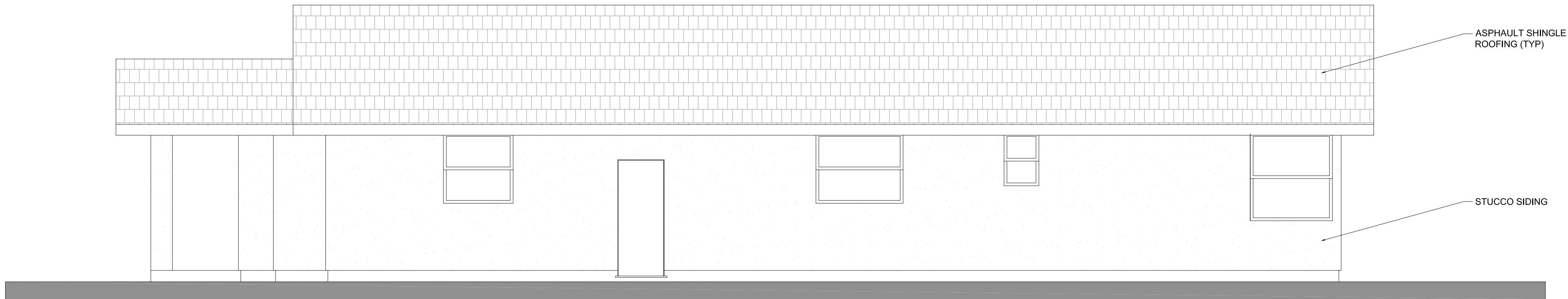
1 REAR ELEVATION-Opt 2
1/4" = 1'-0"



2 FRONT ELEVATION - Opt 2
1/4" = 1'-0"



3 LEFT ELEVATION - Opt 2
1/4" = 1'-0"



4 RIGHT ELEVATION - Opt 2
1/4" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

CHILE'S VALLEY
(Model #5)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS-Opt 2

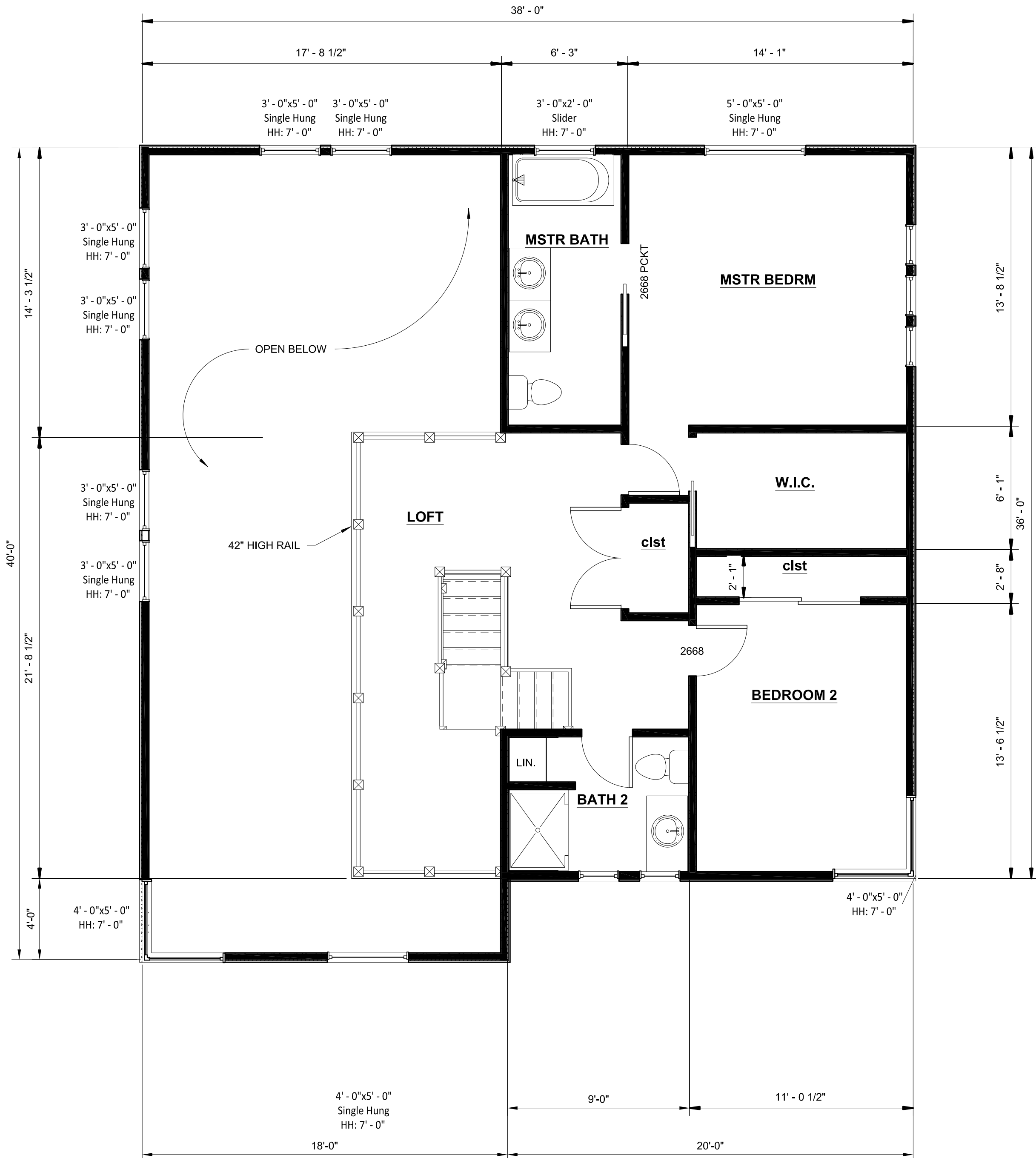
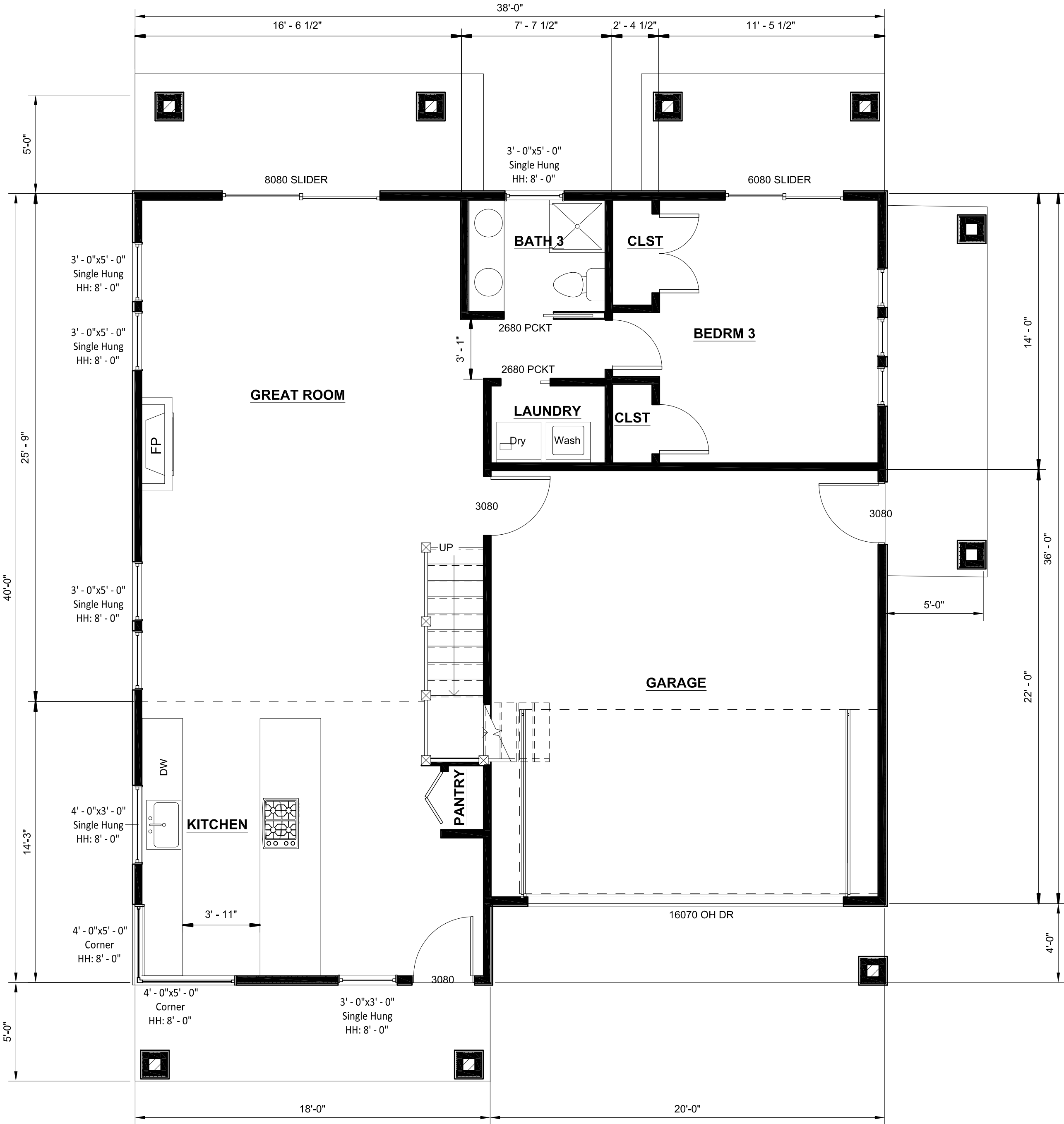
CHECKED BY	Checker
DRAWN BY	Author
SCALE	1/4" = 1'-0"
DATE	12.05.2022
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A322 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENGINEERED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 5:08:19 PM

C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\REV\17056-8_Kirk_Zinfandel_Stags Leap_#6.rvt



PROJECT DATA

LIVING AREA		
Name	Level	Area
1st Flr Area	1st Flr Level	1108 SF
2nd Flr Area	2nd Flr Level	856 SF
Total Living Area		1964 SF

GARAGE / COVERED AREA		
Name	Level	Area
Garage	1st Flr Level	440 SF
Front Porch	1st Flr Level	90 SF
Rear Porch 1	1st Flr Level	124 SF
Rear Porch 2	1st Flr Level	86 SF
Side Porch	1st Flr Level	116 SF
Driveway	1st Flr Level	200 SF
Garage / Covered Area		1056 SF

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

FLOOR PLANS

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A201 of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 5:08:21 PM

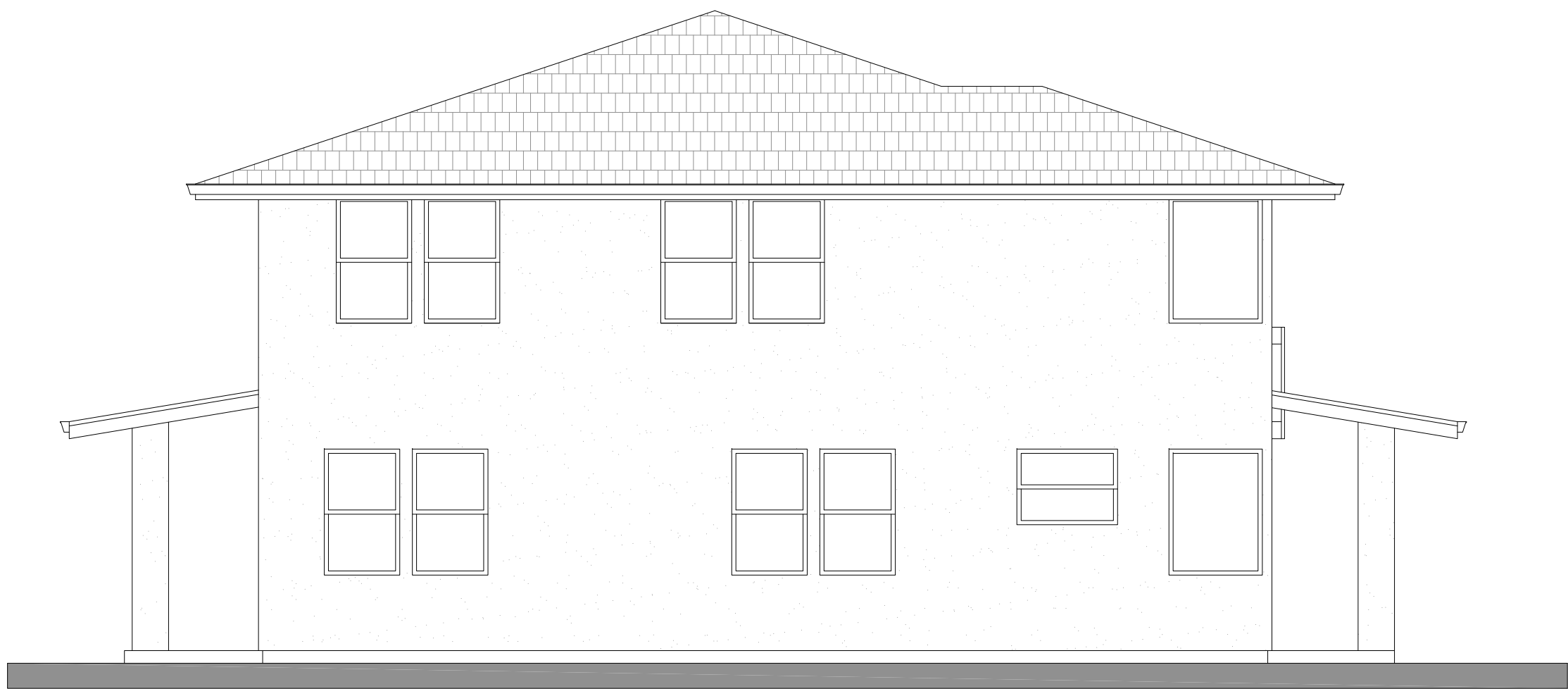
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel Estates_REVIT\2020.08.20\6_17056_Zinfandel_Stags Leap_#6.rvt



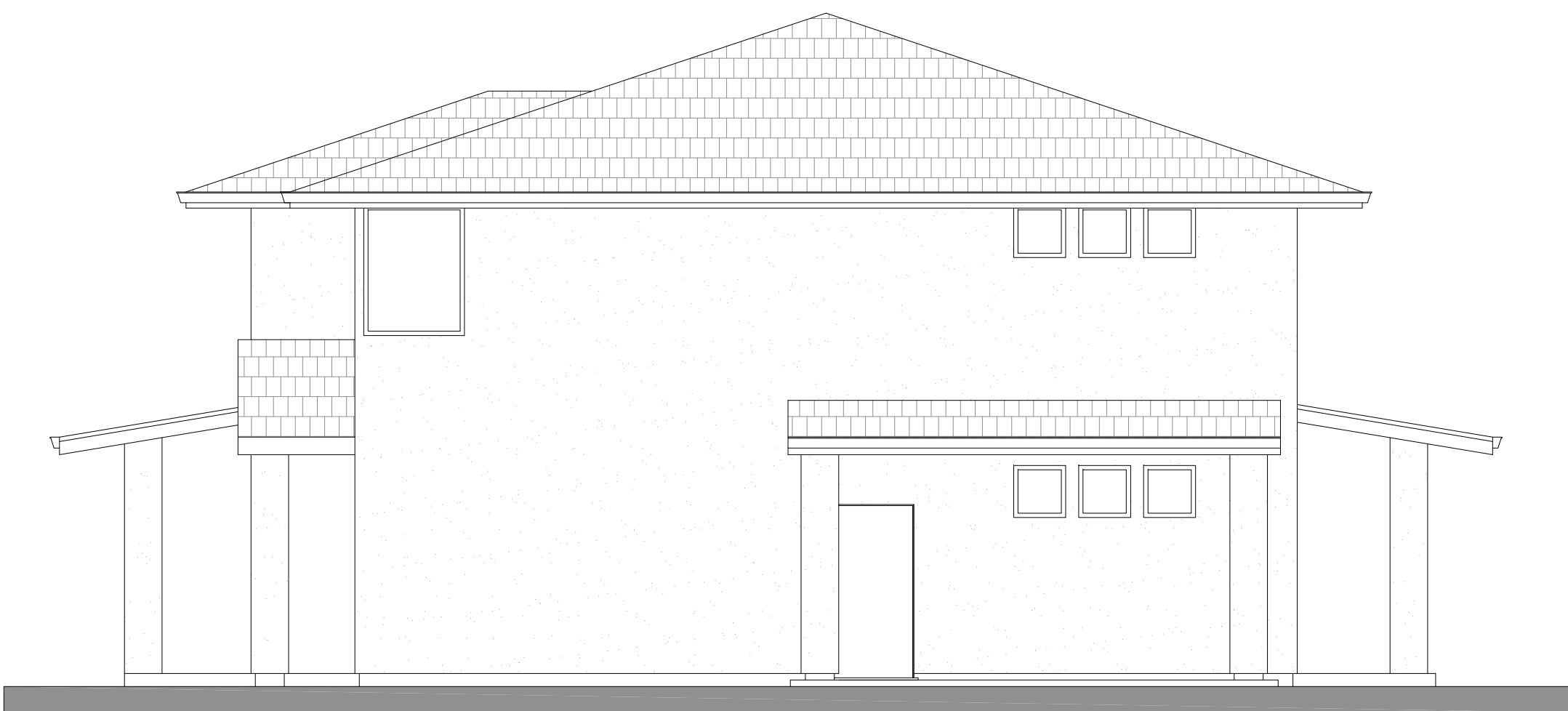
1 1-FRONT ELEVATION - Opt 1



2 REAR ELEVATION - OPT 1



3 3-LEFT ELEVATION-Opt 1



4 4-RIGHT ELEVATION-Opt 1

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

ELEVATIONS-Opt 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A321

of

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOWN DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 5:08:21 PM

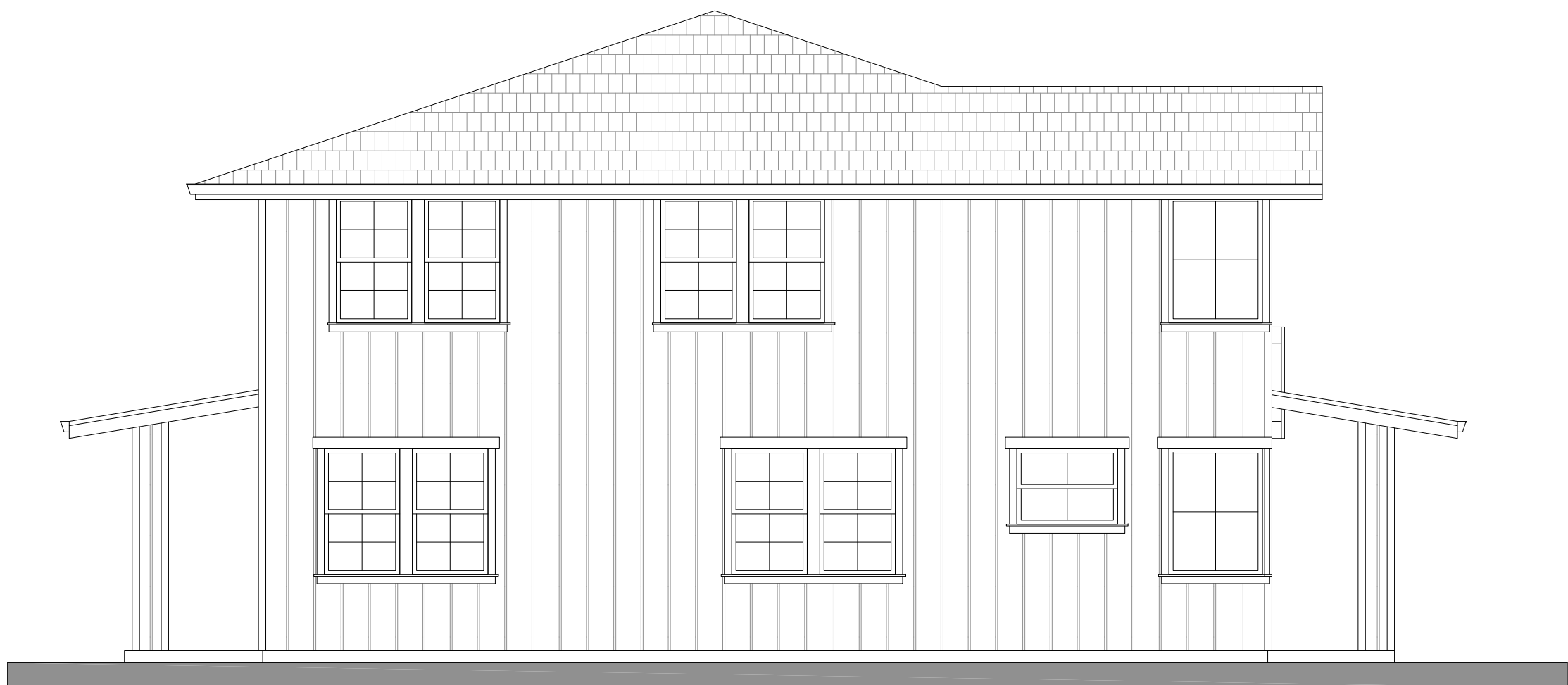
C:\Users\John R\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel Estates_REVIT\2020.08.20\6_17056_Zinfandel_Stags Leap_#6.rvt



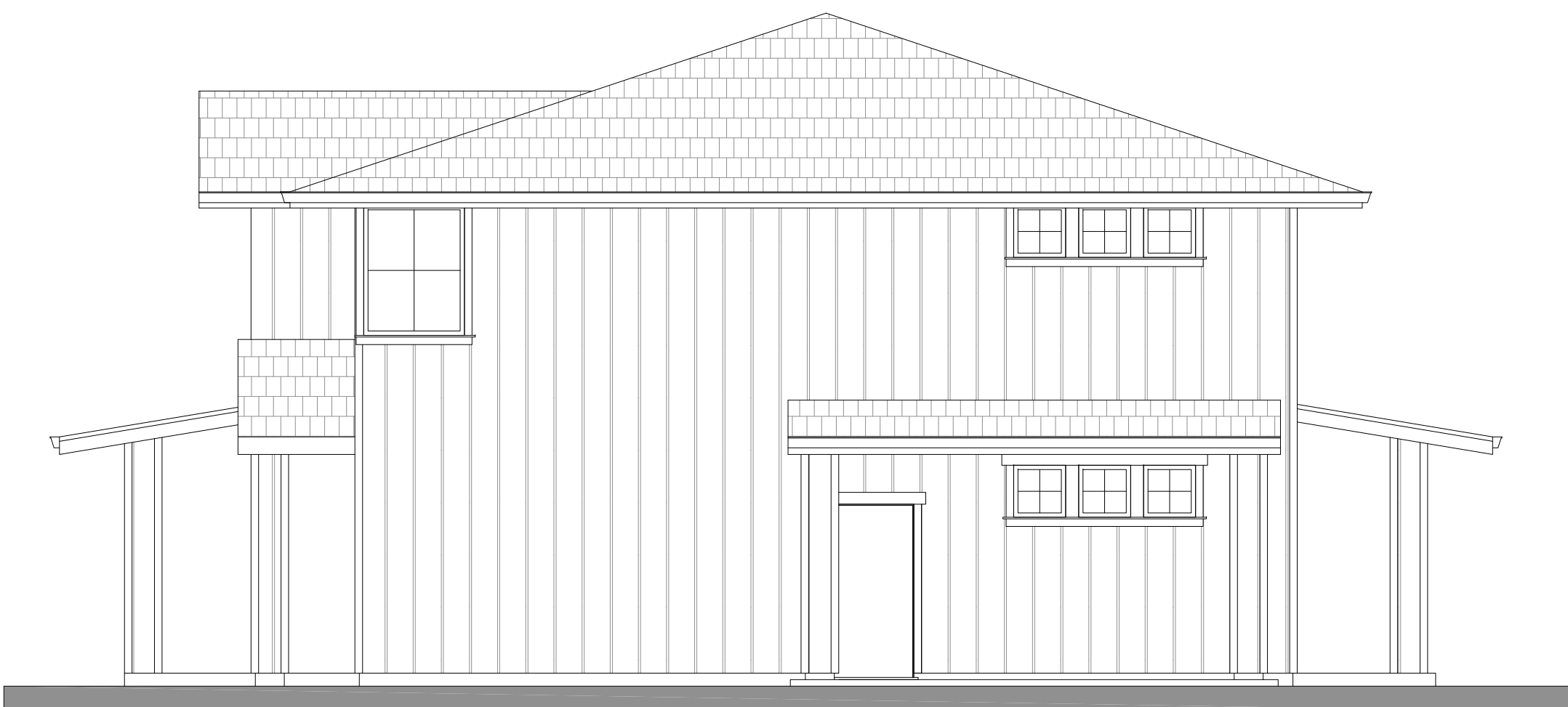
1 1-FRONT ELEVATION - Opt 1



2 REAR ELEVATION - OPT 1



3 3-LEFT ELEVATION-Opt 1



4 4-RIGHT ELEVATION-Opt 1

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

ZINFANDEL SUBDIVISION

STAGS LEAP (Model #6)
1583 EL CENTRO AVE.
NAPA, CA 94558

ELEVATIONS-Opt 2

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.20
PROJECT NO.	17056
PHASE NO.	

SHEET NO.

A322

of

TRINITY PROJECT, LLC
CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ABV. ABOVE
 AFF ABOVE FINISHED FLOOR
 APPROX.A. APPROXIMATE
 BLDG. BUILDING
 B. BEAM
 CL.G. CEILING
 CL.R. CLEAR
 COL. COLUMN
 CONC.A. CONCRETE
 CONT.A. CONTINUOUS
 CTR. CENTER
 DET. DETAIL
 DH DOWN HUNG WINDOW
 DN. DOWN
 DWG. DRAWING
 (E) EXISTING
 EA. EACH
 EQ. EQUAL
 EXT. EXTERIOR
 F.A. FINISH FLOOR
 FIN. FINISH
 FOF FACE OF FINISHED MATERIAL
 FOS FACE OF STUD
 FX FIXED WINDOW
 GA. GAUGE
 GC GENERAL CONTRACTOR
 GYP.B.D.A. GYPSUM BOARD
 HDR. HEADER
 HDWR. HARDWARE
 HT. HEIGHT
 INT. INTERIOR
 JST. JOIST
 MAX. MAXIMUM
 MFR. MANUFACTURER
 MIN. MINIMUM
 MTD. MOUNTED
 (N) NEW
 NG NOT IN CONTRACT
 N.T.S. NOT TO SCALE
 O.C. ON CENTER
 O.H. OVER HUNG
 REQD. REQUIRED
 SIM. SIMILAR
 S. SLIDER WINDOW
 STD. STANDARD
 S.O.G. SLAB ON GRADE
 T.O.C. TOP OF CURB
 T.O.S. TOP OF SLAB
 T.O.S.F. TOP OF SUB-FLOOR
 T.O.P. TOP OF PLATE
 T.O.WD.W. TOP OF WINDOW
 TYP. TYPICAL
 U.O. UNLESS NOTED OTHERWISE
 V.I.F. VERIFY IN FIELD
 WDW WINDOW



<u>NO.</u>	<u>NAME</u>
ARCHITECTURAL	
A000	COVER SHEET
A201	FLOOR PLANS
A321	ELEVATIONS - OPT 1
A322	ELEVATION - OPT 2

GSM landscape architects, inc.
1700 Soscol Avenue, Suite 23
NAPA CA 94559
phone: 707 255 4630
Website: <http://www.gsmlainc.com>
email: elizabeth@gsmlainc.com
contact: Elizabeth Dunn, PLA, LEED-AP

BUILDING CODE:	2016 CALIFORNIA BUILDING CODE (C.B.C.) 2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.)
MECHANICAL CODE:	2016 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE:	2016 NATIONAL ELECTRICAL CODE AND 2016 CALIFORNIA ELECTRICAL CODE
PLUMBING CODE:	2016 CALIFORNIA PLUMBING CODE
FIRE CODE:	2016 CALIFORNIA FIRE CODE
ENERGY CODE:	2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING CODE

NEW CUSTOM 1997 S.F. SINGLE FAMILY HOME

HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

OCCUPANCY: R-2
CONSTRUCTION TYPE: V-B
SPRINKLERED: YES

<u>LIVING AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Flr Area	1st Flr Level	911 SF
2nd Flr Area	2nd Flr Level	1037 SF
Total Living Area		1948 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	524 SF
Garage Area		524 SF

	BUILDING SECTION NUMBER		ROOM NAME WITH FLOOR FINISH	ROOM NAME FLOOR FINISH
BUILDING SECTION (PLAN)		SHEET NUMBER		FLOOR FINISH
BUILDING SECTION (ELEVATION)			WINDOW TAG	
ELEVATIONS			DOOR TAG	3068 = 36" WIDE BY 6'-8" TALL
WALL SECTION			REVISION TAG	
DETAIL CALLOUT	 	DETAIL NUMBER	LEVEL TAGS	NAME ELEVATION → LEVEL NAME NAME ELEVATION → LEVEL ELEVATION
DETAIL CUT (PLAN/SECTION)			DRAWING TITLE	DRAWING NAME SCALE
RELATED DETAIL CUT BELOW OR ABOVE			NORTH ARROWS	 North WORKING



THE FOLLOWING ITEMS ARE PROPOSED TO BE DEFERRED:

1. TRUSS CALCULATIONS AND SHOP DRAWINGS.
2. FIRE SPRINKLER SYSTEM.

ALL PORTION(S)/ITEM(S) BEING DEFERRED SHALL:

- A. BE REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE
- B. BE STAMPED "APPROVED", "REVIEWED AND APPROVED", OR EQUAL. SIMILAR wording INDICATING THAT THE DEFERRED ITEM(S) HAVE BEEN REVIEWED BY THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AND ARE IN CONFORMANCE WITH THE DESIGN OF THE PROJECT.
- C. REQUIRE A SEPARATE SUBMITTAL TO THE DEPARTMENT OF BUILDING & SAFETY FOR PLAN CHECK.
- D. NOT BE INSTALLED PRIOR TO THE PLAN CHECK FOR THE ITEM BEING APPROVED BY THE DEPARTMENT OF BUILDING & SAFETY

[illegible]

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

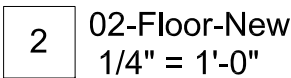
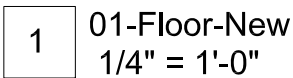
COVER SHEET

CHECKED BY	KGEYER
DRAWN BY	JNEAL
SCALE	1/2" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	Design Development
SHEET NO.	

A000 of

C:\Users\John R\Dropbox (Design Collaborative)_DC_PROJECTS\2017117056-8_Kirk_Zinfandel Estates_REVIT\2020.08.2017_17056 Zinfandel
Carners #7 r3.rvt

5/28/2021 6:13:48 PM



<u>LIVING AREA</u>		
<u>Name</u>	<u>Level</u>	<u>Area</u>
1st Flr Area	1st Flr Level	911 SF
2nd Flr Area	2nd Flr Level	1037 SF
Total Living Area		1948 SF

<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage	1st Flr Level	524 SF
Garage Area		524 SF

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



CARNEROS (Model
(Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

CHECKED BY	KGeyer
DRAWN BY	JNeal
SCALE	1/4" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	

SHEET NO.

A201

of

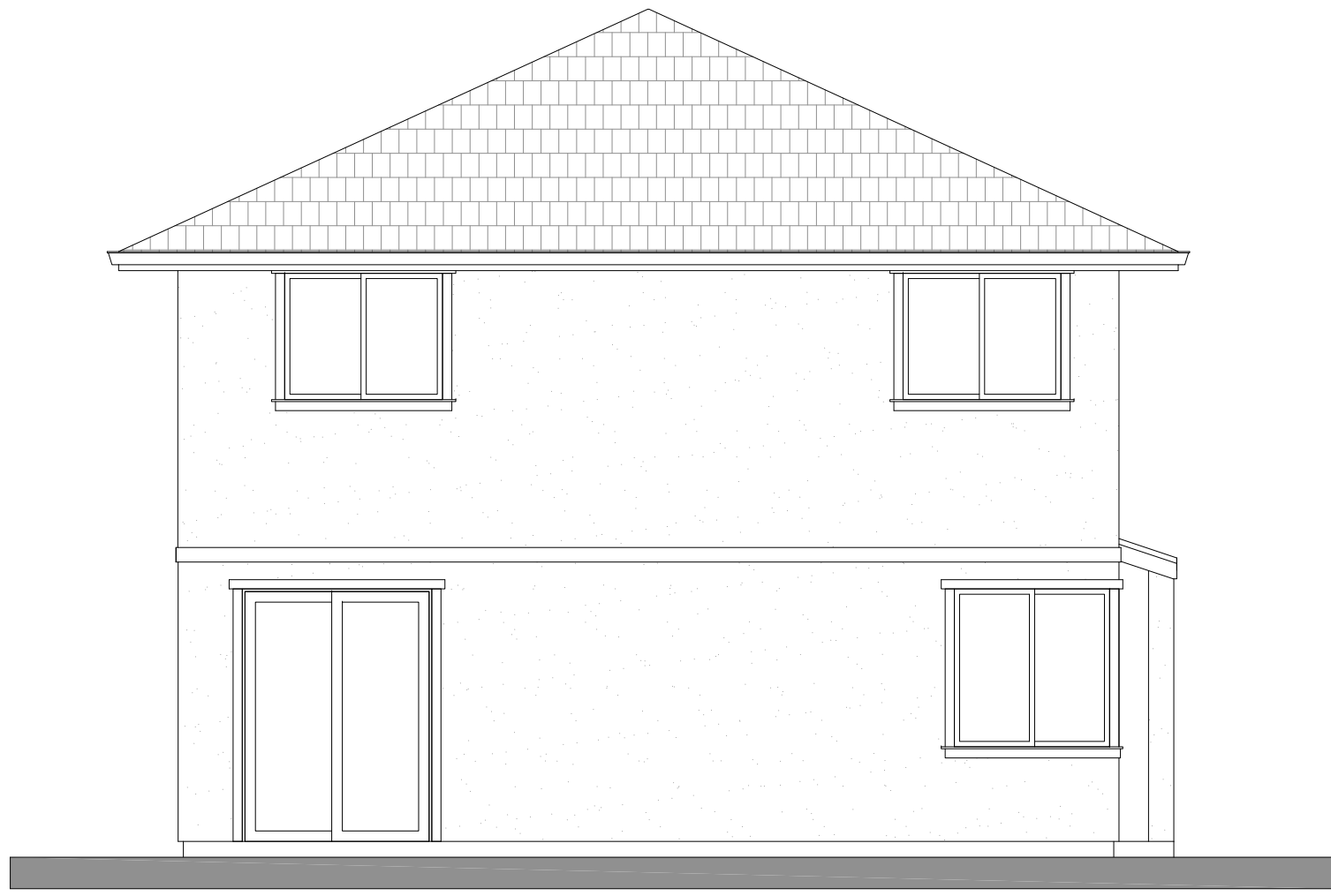
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, EVOLVED AND ENVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOT DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/16/2020 10:17:16 AM

C:\Users\John R\Dropbox\DCI_PROJECTS\201717056-8_Kirk_Zinfandel_Estates_REVIT\2020.08.20\7_17056_Zinfandel_Cameros_#7_3.rvt



1 FRONT ELEVATION - OPT 1
3/16" = 1'-0"



2 REAR ELEVATION - OPT 1
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 1
3/16" = 1'-0"



4 RIGHT ELEVATION - OPT 1
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



ZINFANDEL SUBDIVISION

CARNEROS (Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.16.2020
PROJECT NO.	17037
PHASE NO.	

SHEET NO.
A321 of

C:\Users\John R\Dropbox (Design Collaborative)\DC\ PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\ REVIT\2020.08.2017_17056 Zinfandel
Carneros_#7_r3.rvt



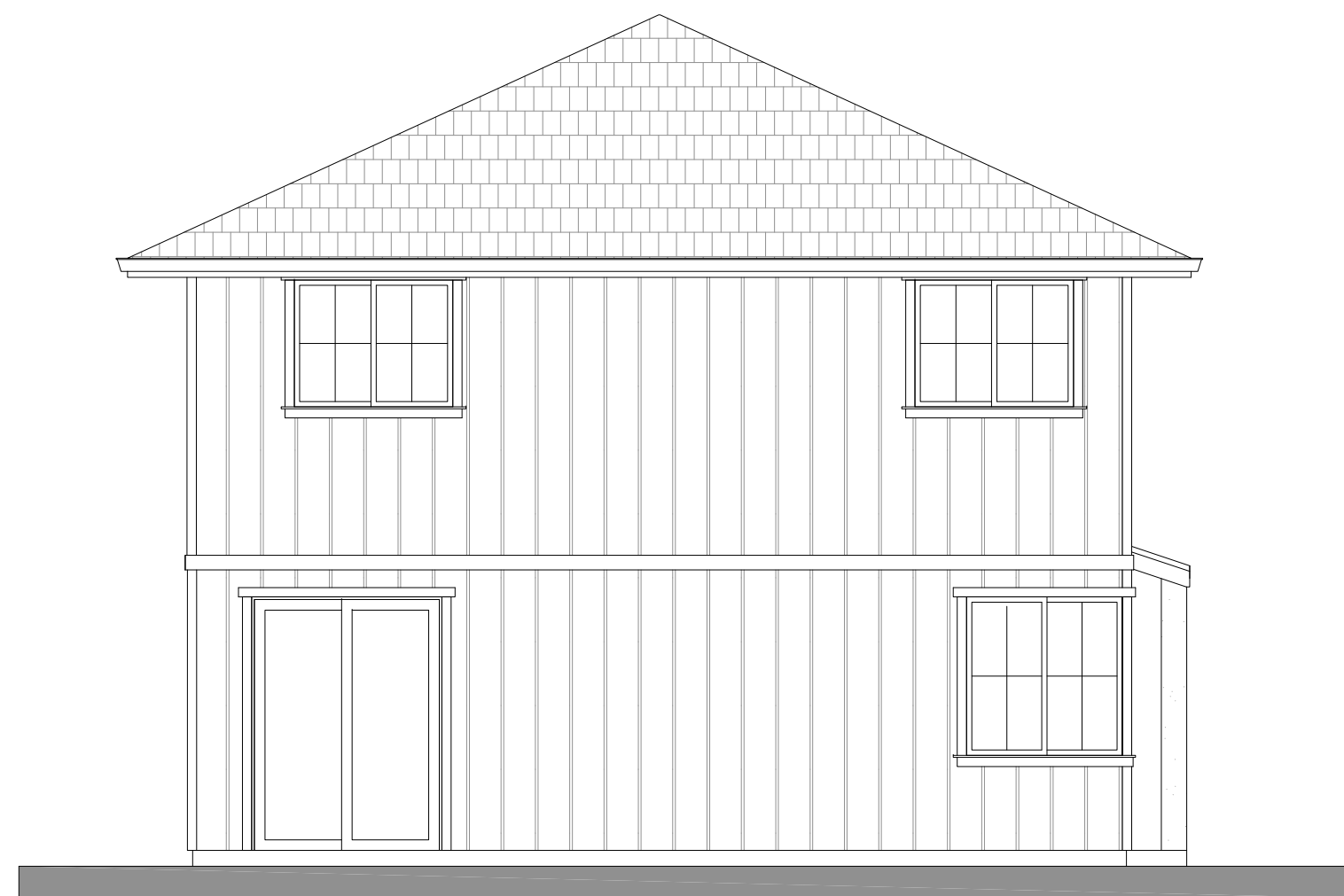
1 FRONT ELEVATION - OPT 2
3/16" = 1'-0"



2 LEFT ELEVATION - OPT 2
3/16" = 1'-0"



4 RIGHT ELEVATION - OPT 2
3/16" = 1'-0"



3 REAR ELEVATION - OPT 2
3/16" = 1'-0"

[illegible]

**2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET**



ZINFANDEL SUBDIVISION

CARNEROS (Model
(Model #7)
1583 EL CENTRO AVE.
Napa, CA 94558

ELEVATION - OPT 2

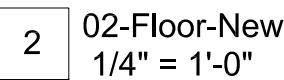
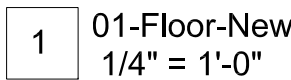
CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	05.28.21
PROJECT NO.	17037
PHASE NO.	

SHEET NO.

A322

of

C:\Users\John R\Dropbox\DC\PROJECTS\2017\17056-8_Kirk_Zinfandel Estates_REVIT\2020.08.2018_17056 Zinfandel_Atlas



<u>Name</u>	<u>Level</u>	<u>Area</u>
Garage Area	Garage Slab	475 SF
Front Porch Area	Garage Slab	355 SF
Garage/Porch Area		830 SF

SHEET NO.
A201 of 6

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THE DRAWING ARE OWNED BY AND THE PROPERTY OF THE OFFICE AND WERE CREATED, DEVELOPED AND ENCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE. ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS, SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

12/15/2020 4:31:00 PM

C:\Users\John P\Dropbox\DCI_PROJECTS\2017\17056-8_Kirk_Zinfandel_Estates_REV\17056-8_Kirk_Zinfandel_Estates_17056_Zinfandel_Atlas_Peak_#8_r1.dwg



1 FRONT ELEVATION - OPT 1
3/16" = 1'-0"



2 RIGHT ELEVATION - OPT 1
3/16" = 1'-0"



3 LEFT ELEVATION - OPT 1
3/16" = 1'-0"



4 REAR ELEVATION - OPT 1
3/16" = 1'-0"

No.	Description	Date

2276 LOMA HEIGHTS RD.
NAPA CA 94558
707 / 337-3025
KIRKGEYER@SBCGLOBAL.NET



KIRK GEYER DESIGN / BUILD

ZINFANDEL
SUBDIVISION

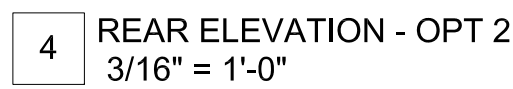
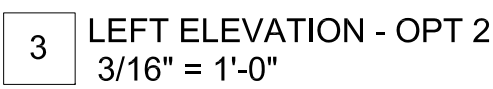
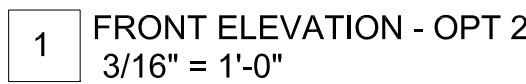
ATLAS PEAK (with
ADU) (Model #8)
1583 EL CENTRO
AVE.
NAPA, CA 94558

ELEVATIONS - OPT 1

CHECKED BY	Checker
DRAWN BY	Author
SCALE	3/16" = 1'-0"
DATE	12.15.2020
PROJECT NO.	17056
PHASE NO.	

SHEET NO.
A321

C:\Users\John R\Dropbox\DC\PROJECTS\2017\17056-8_Kirk_Zinfandel Estates\REVIT\2020.08.20\18_17056_Zinfandel_Atlas



CHECKED BY
Checker

DRAWN BY
Author

SCALE
3/16" = 1'-0"

DATE
12.15.2020

PROJECT NO.
17056

PHASE NO.

SHEET NO.
A322 of