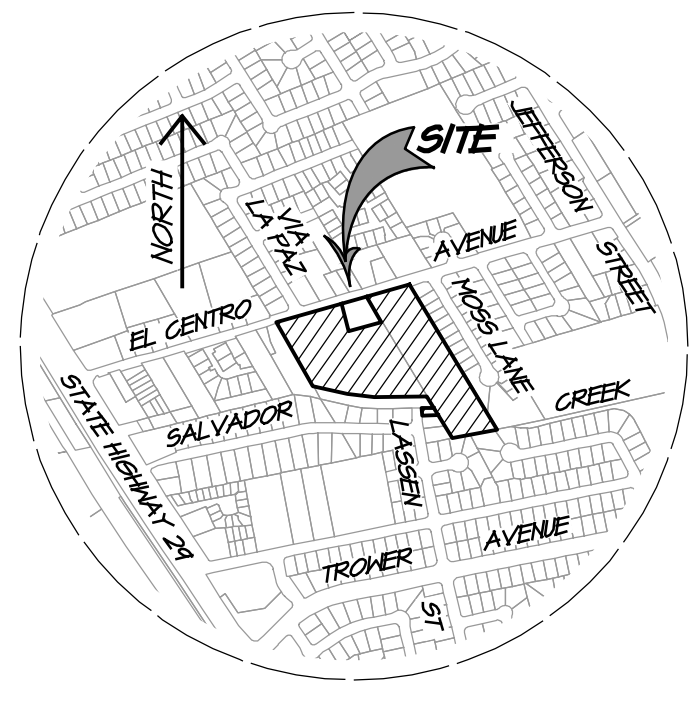
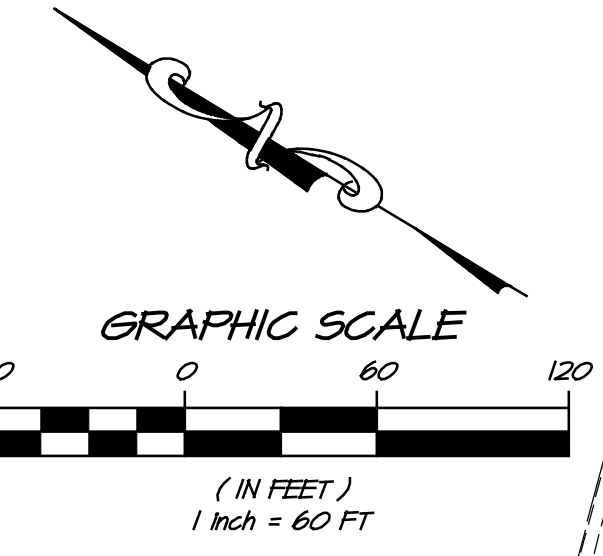


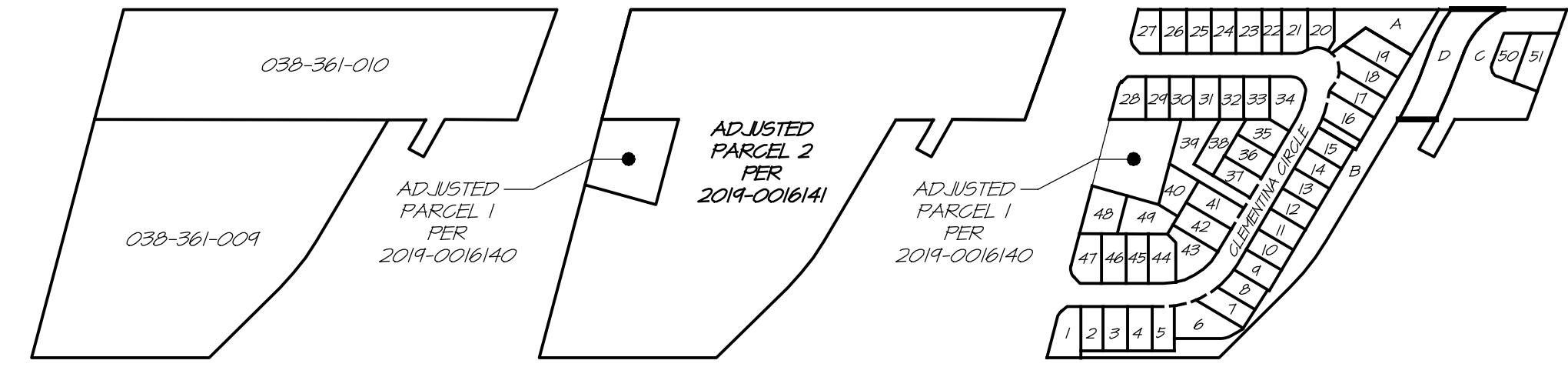
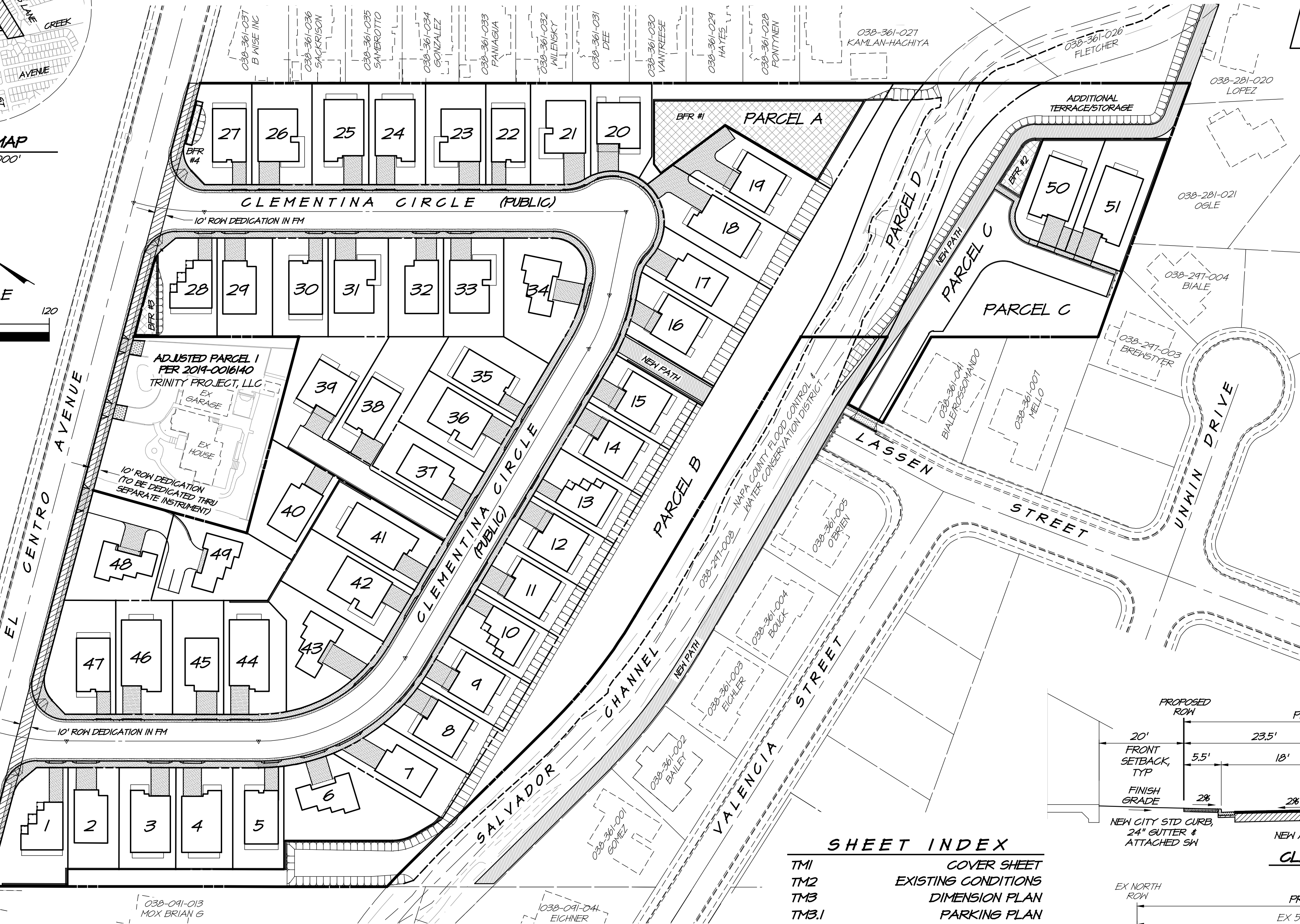
TENTATIVE SUBDIVISION MAP ZINFANDEL SUBDIVISION NAPA CALIFORNIA



VICINITY MAP
SCALE: 1" = 1000'



GRAPHIC SCALE
(IN FEET)
1 inch = 60 FT



FORMER PARCELS SCALE: 1" = 300'
EXISTING PARCELS (RECORDED LLA) SCALE: 1" = 300'
PROPOSED PARCELS SCALE: 1" = 300'

SYMBOL LEGEND

EXISTING	PROPOSED		
EX 30	EDGE OF PAVEMENT	EX AD	AREA DRAIN
EX 31	STORM DRAIN LINE	EX BO	BLOW OFF
EX 32	SANITARY SEWER LINE	EX CI	DROP INLET
EX 33	WATER LINE	EX HW	WATER WELL
EX 34	SANITARY SEWER MANHOLE	EX HB	HOSE BIB
EX 35	STORM DRAIN MANHOLE	EX HM	WATER METER
EX 36	CURB AND GUTTER	EX GM	GAS METER
EX 37	CATCH BASIN	EX SSC	SEWER CLEANOUT
EX 38	SIDEWALK	EX SL	SEWER LATERAL
EX 39	FIRE HYDRANT	EX WS	WATER SERVICE
EX 40	WATER VALVE		
EX 41	WOOD FENCE		
EX 42	DRIVEWAY		
EX 43	CONTOUR LINE		
EX 44	SPOT ELEVATION		
EX 45	RETAINING WALL		
EX 46	STREET SIGN		
EX 47	HANDICAP RAMP		
EX 48	UTILITY VAULT		
EX 49	IRRIGATION CONTROL VALVE		
		PROPOSED	EDGE OF PAVEMENT/CONCRETE
			WATER LINE
			STANDARD SIDEWALK
			STD CURB AND GUTTER
			STD WATER VALVE
			DROP INLET
			RETAINING WALL/CURB
			100-YEAR OVERLAND RELEASE PATH
			FLOW DIRECTION
			STANDARD DRIVEWAY
			STREET MONUMENT
			STORM DRAIN LINE
			SANITARY SEWER LINE
			CATCH BASIN
			FIRE HYDRANT
			STORM DRAIN MANHOLE
			SANITARY SEWER MANHOLE
			CURB RAMP
			SANITARY SEWER FLUSH HOLE
			SLOPE AS NOTED ON PLANS
			STORM DRAIN METERING STRUCTURE
			WATER SERVICE W/ BFP & WM
			SEWER LATERAL W/ CLEANOUT
			AREA DRAIN
			STREET LIGHT
			MAIL BOX

PROJECT INFORMATION

OWNERS: TRINITY PROJECT, LLC
977 SALVADOR AVENUE
NAPA, CALIFORNIA 94550

ARCHITECT: KIRK GEYER
1038 ROSS CIRCLE
NAPA, CALIFORNIA 94550
(707) 397-3025

LANDSCAPE ARCHITECT: GSN LANDSCAPE ARCHITECTS, INC.
1700 SOGOL AVENUE, STE. 23
NAPA, CALIFORNIA 94559
(707) 255-4630

GEOTECHNICAL ENGINEER: RGH CONSULTANTS
1305 NORTH DUTTON AVENUE
SANTA ROSA, CALIFORNIA 95401
(707) 554-1072

ARBORIST: PRAMUK, TREES AND ASSOCIATES, LLC
P.O. BOX 25
NAPA, CALIFORNIA 94559
(707) 226-2884

CIVIL ENGINEER & SURVEYOR: RSA+
1515 FOURTH STREET
NAPA, CALIFORNIA 94559
(707) 252-3301

PARCEL NO.: ADJUSTED PARCEL 2 (RECORDED LLA)
PARCEL AREA: 9.7± ACRES
EXISTING USE: RESIDENTIAL
PROPOSED USE: SINGLE FAMILY RESIDENTIAL
WATER: CITY OF NAPA
SEWER: NAPA SANITATION DISTRICT

EXISTING ZONING: RS 4
PROPOSED ZONING: RS 4

GENERAL PLAN DESIGNATION AT THE TIME OF PROJECT COMPLETENESS NOTIFICATION (JULY 1, 2021): SFR-20

SHEET INDEX

TM1	COVER SHEET
TM2	EXISTING CONDITIONS
TM3	DIMENSION PLAN
TM3.1	PARKING PLAN
TM4	GRADING PLAN (North Portion)
TM5	GRADING PLAN (South Portion)
TM6	GRADING SECTIONS
TM7	UTILITY PLAN (North Portion)
TM8	UTILITY PLAN (South Portion)
TM9	STORMWATER CONTROL PLAN
TM10	ESCP SITE PLAN

SITE PLAN

SCALE: 1" = 60'

BASIS OF BEARINGS

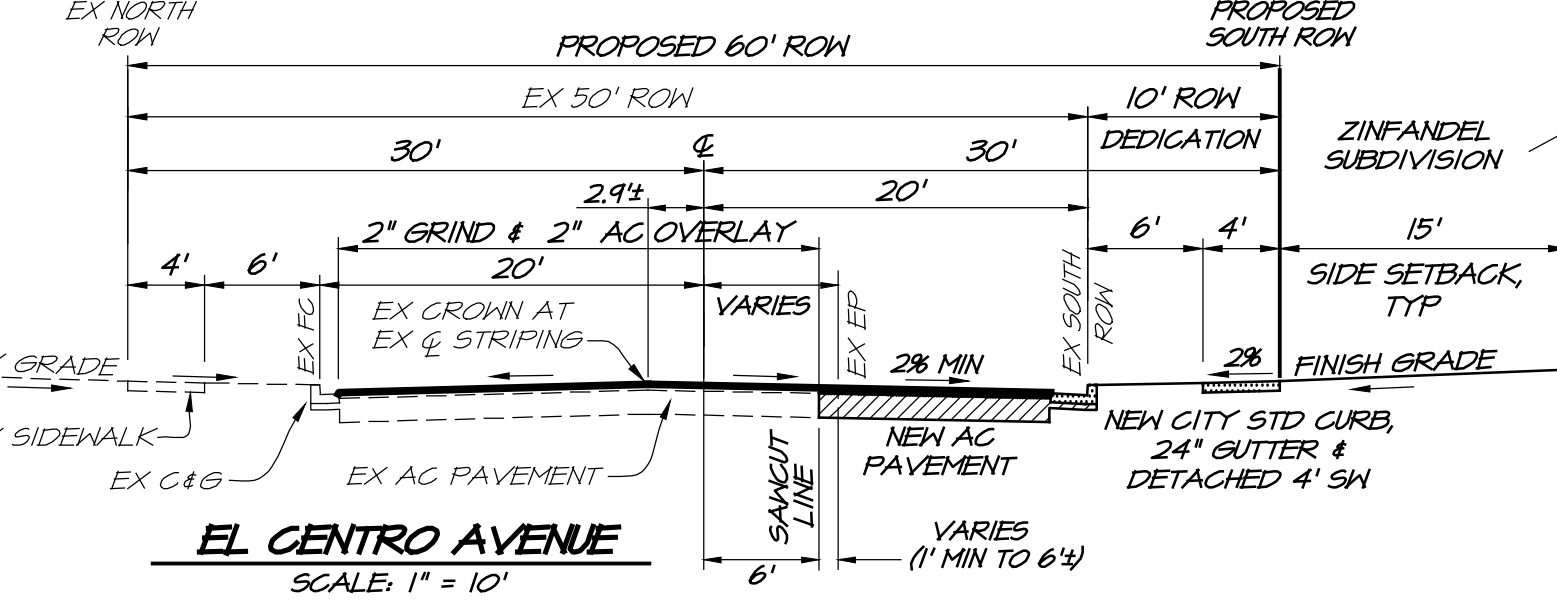
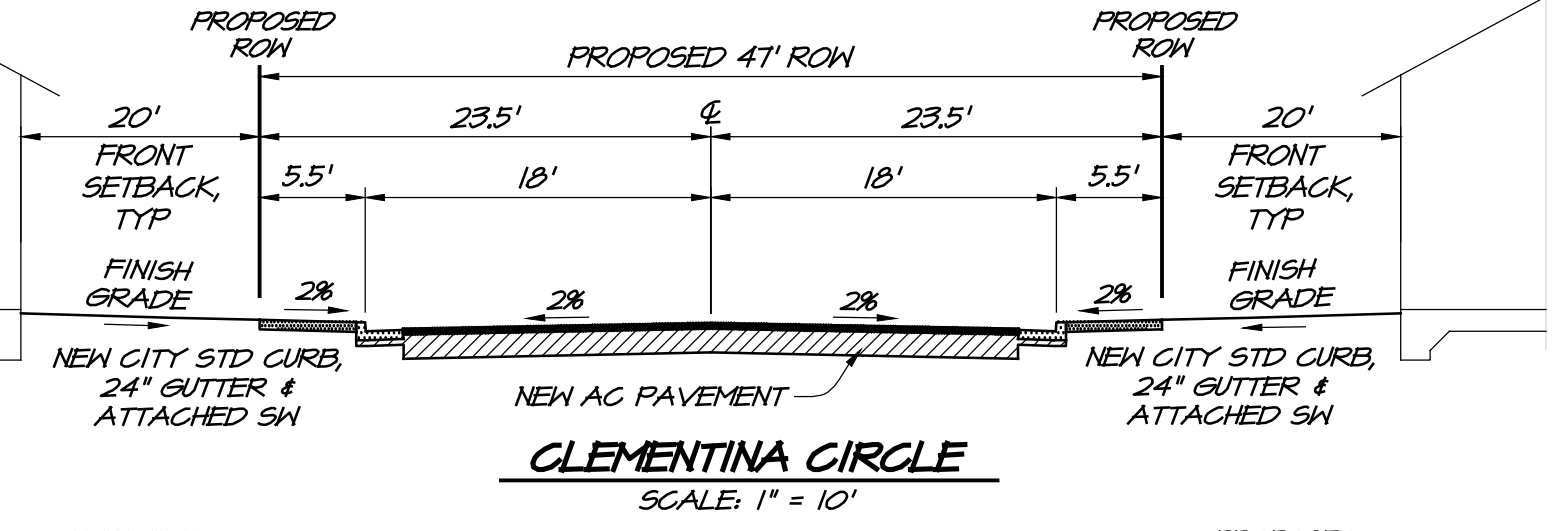
THE BEARING OF NORTH 79°22'58" EAST BETWEEN THE FOUND MONUMENTS ON THE CENTERLINE OF EL CENTRO AVENUE PER BOOK 14 OF RECORD MAPS AT PAGE 100, NAPA COUNTY RECORDS AND BOOK 20 OF RECORD MAPS AT PAGES 7-10, NAPA COUNTY RECORDS.

TOPOGRAPHY NOTE

TOPOGRAPHY SHOWN ON THESE PLANS WAS COMPILED FROM A FIELD SURVEY BY RSA+ DONE ON JUNE 2017.

HORIZONTAL AND VERTICAL BENCHMARKS

G.P.S. CONTROL COORDINATE DATA				
NAD 1983 NAVD 1983 PER 41 RS 441/47, NAPA COUNTY RECORDS				
#	GROUND NORTHING	GROUND EASTING	ELEVATION	DESCRIPTION
22	1882664.801	6410911.274	70.227'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & GASK DRIVE
26	1885246.580	6412246.231	70.212'	2" BRASS DISC IN WELL AT INTERSECTION OF JEFFERSON STREET & SWEETBRIAR DRIVE (IN NORTHBOUND LANE OF JEFFERSON STREET)
27	1886684.244	6411048.718	76.951'	2" BRASS DISC IN WELL IN WESTBOUND LANE OF SALVADOR AVENUE AT JEFFERSON STREET
38	1883934.840	6414442.546	60.247'	3" BRASS DISC IN WELL AT INTERSECTION OF TRONER AVENUE & STOVER STREET



PROJECT NOTES

- TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS ARE FROM A FIELD SURVEY PERFORMED BY RSA+ IN JUNE 2017.
- BOUNDARY INFORMATION SHOWN IS FROM A RECORD OF SURVEY PERFORMED BY RSA+ IN OCTOBER 2017.
- PORTIONS OF THE SUBJECT PROPERTY DO LIE WITHIN THE 100 YEAR FLOODPLAIN PER THE BFE'S SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) AS SHOWN ON SHEETS TM4 AND TM5.
- THIS MAP SHOWS ALL CONTIGUOUS PROPERTY OF THE OWNER.
- ONE RESIDENTIAL HOUSE AND A BARN EXIST ON THE SUBJECT PROPERTY.
- EXISTING AND PROPOSED EASEMENTS ARE SHOWN.
- EXISTING AND PROPOSED UTILITIES ARE SHOWN. EXISTING UNDERGROUND UTILITIES AS SHOWN WERE DRAWN FROM RECORD SOURCES ONLY. BURIED PIPES WERE NOT VERIFIED, NOR WAS ANY SUBSURFACE EXPLORATION CONDUCTED.
- ALL EXISTING UTILITY POLES AND OVERHEAD LINES ALONG STREET FRONTAGE SHALL BE UNDERGROUND.
- CONTOUR LINES AS SHOWN ON SHEETS TM2, TM4 AND TM5 ARE AT 1 FOOT INTERVALS.
- THE EXISTING WELL FOR THE EXISTING HOUSE WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS A SEPTIC TANK FOR THE EXISTING HOUSE WHICH WILL BE REMOVED PER NAPA COUNTY HEALTH DEPARTMENT STANDARDS.
- THERE IS NO PHASING PLANNED FOR THIS PROJECT.
- THERE ARE NO PUBLIC RECREATION SITES OR PARKS PROPOSED IN THIS SUBDIVISION. THERE ARE PATHS PROPOSED IN THIS PROJECT AS SHOWN ON PLANS.
- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.

ABBREVIATIONS

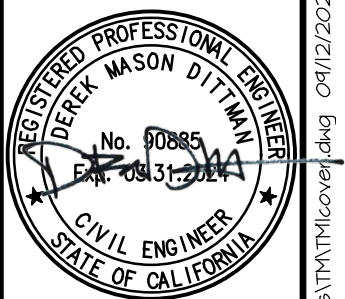
AB	AGGREGATE BASE	FM	FINAL MAP	R	RADIUS
AC	ASPHALT CONCRETE	FT	FEET	RC	RETAINING CURB
AD	AREA DRAIN	GAR	GARAGE	RC	REINFORCED CONCRETE PIPE
ADA	AMERICANS WITH DISABILITIES ACT	GB	GRADE BREAK	RET	RETAINING
APN	ASSESSOR'S PARCEL NUMBER	GF	GARAGE FLOOR	ROW	RIGHT OF WAY LINE
APPROX	APPROXIMATE	GM	GAS METER	RW	RETAINING WALL
AT&T	AMERICAN TELEPHONE & TELEGRAPH	GPS	GLOBAL POSITIONING SYSTEM	RS	RECORD SURVEY
BASHAA	BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION	GR	GRADE	S	SLOPE, SOUTH
BFE	BASE FLOOD ELEVATION	HOB	HOSE BIB	SCP	STORMWATER CONTROL PLAN
BFP	BACKFLOW PREVENTER DEVICE	HOA	HOMEOWNERS ASSOCIATION	SD	STORM DRAIN
BIO	BIORETENTION	HP	HIGH POINT	SDCO	STORM DRAIN CLEANOUT
BMP	BEST MANAGEMENT PRACTICE	HW	HEADWALL	SDE	STORM DRAIN EASEMENT
BO	BLOW OFF	ICV	IRRIGATION CONTROL VALVE	SDMH	STORM DRAIN MANHOLE
BRF	BIORIENTATION FACILITY	INV	INVERT ELEVATION	SDMS	STORM DRAIN METERING STRUCTURE
BSW	BACK OF SIDEWALK	JP	JOINT POLE	SQ FT, SF	SQUARE FEET
BW	BOTTOM OF WALL ELEVATION	LA	LENGTH	SFR	SINGLE FAMILY RESIDENCE
CATV	CABLE TELEVISION	LA	LINEAL ADJUSTMENT	SL	SEWER LATERAL
CB	CATCH BASIN	LF	LINEAL FOOT/FEET	SS	SANITARY SEWER
CI	CAST IRON	LP	LOW POINT	SSCO	SANITARY SEWER CLEANOUT
CL	CENTERLINE	MAX	MAXIMUM	SSE	SANITARY SEWER EASEMENT
CO	CONCRETE	MB	MAILBOX	SSPH	SANITARY SEWER FLUSH HOLE
CONC	CONCRETE	MIN	MINIMUM	SSMH	SANITARY SEWER MANHOLE
CR	CURB RETURN	N	NORTH	STD	STANDARD
CONFORM	CONFORM	NAD	NORTH AMERICAN DATUM	STD	STANDARD
DET	DETENTION	NAPASAN	NAPA SANITATION DISTRICT	SW	SIDEWALK
DIP	DRAINAGE INLET	NAVJ	NORTH AMERICAN VERTICAL DATUM	TA	TREATMENT AREA
DIT	DUCTILE IRON PIPE	NCA	NAPA COUNTY RECORDS	TA	TOP OF CURB ELEVATION
DMA	DRAINAGE MANAGEMENT AREA	NCFCHCD	NAPA COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT	TC	TOP OF PARCEL ELEVATION
EA	EAST	NO	NUMBER	TEL	TELEPHONE
EL	EXISTING GRADE	OH	OVERHEAD UTILITIES	TEL	TELEPHONE POLE
ELEV	ELEVATION	OR	OFFICIAL RECORDS	TH	TOP OF HALL
EP	EDGE OF PAVEMENT	P	PARKING SPACE	UE	UTILITY EASEMENT
ELEC	ELECTRIC	PCL	PARCEL	VAR	VARIABLES
EX	EXISTING	PAE	PRIVATE ACCESS EASEMENT	W	WATER, WEST
EX	EXISTING	PGE	PACIFIC GAS & ELECTRIC	WM	WATER METER
EX	EXISTING	PL	PROPERTY LINE	WS	WATER SERVICE
EX	EXISTING	PSDE	PRIVATE STORM DRAIN EASEMENT	WSE	WATER SURFACE ELEVATION
EX	EXISTING	PUE	PUBLIC UTILITY EASEMENT	WV	WATER VALVE
EX	EXISTING	PVC	POLYVINYL CHLORIDE		
EX	EXISTING	PVT	PRIVATE		

NO.	DATE	REVISIONS	BY

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NAPA, CALIF. 94559
OFFICE (707) 252-3301
WWW.RSACIVIL.COM

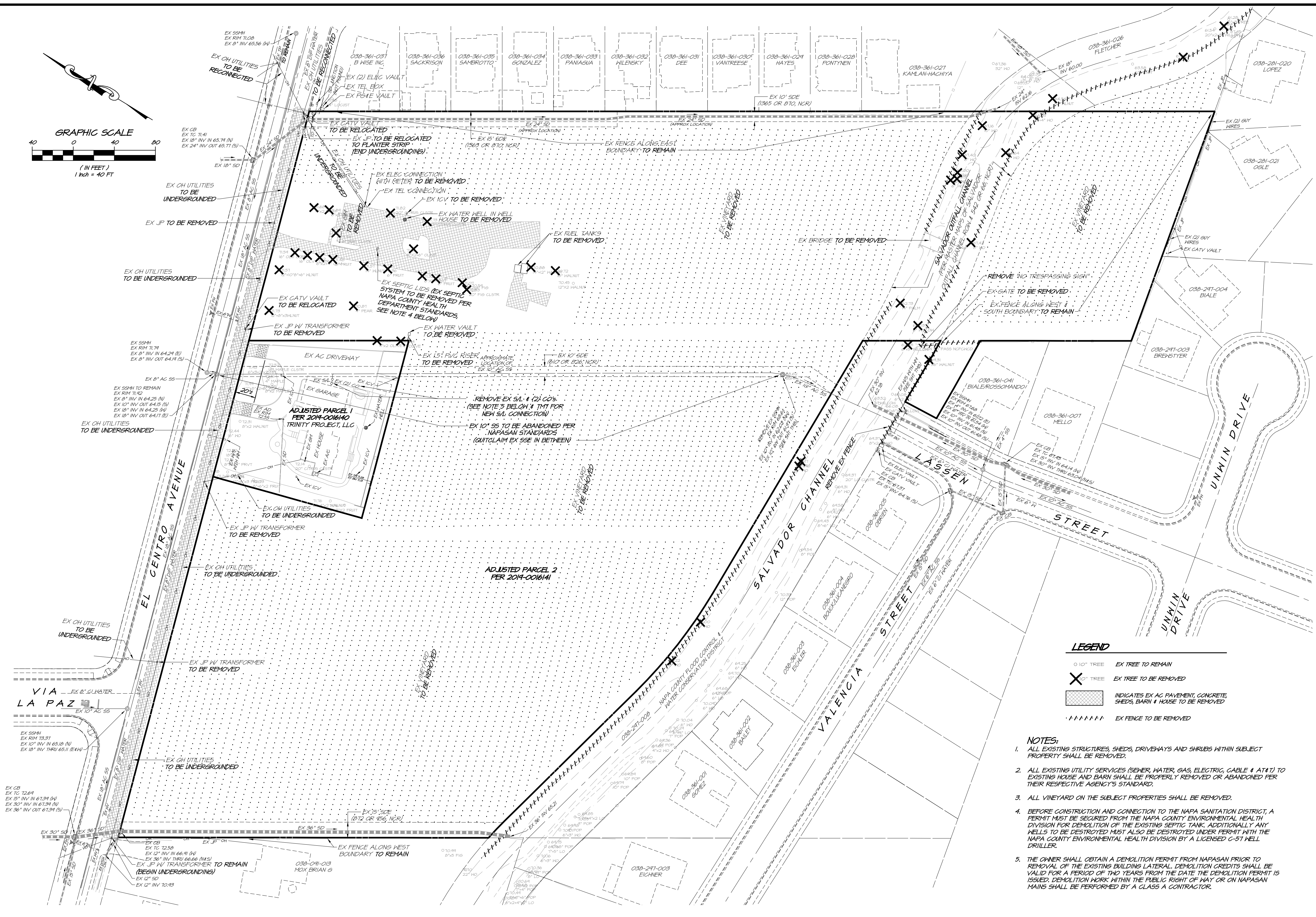
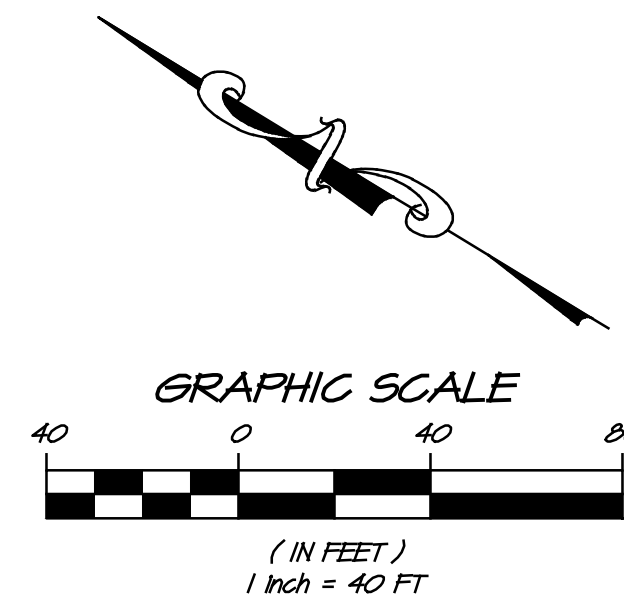
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ZINFANDEL SUBDIVISION COVER SHEET NAPA CALIFORNIA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710

SHEET NO. **TM1**
1 OF 11 SHEETS



- LEGEND**
- 10" TREE EX TREE TO REMAIN
 - ✕ 10" TREE EX TREE TO BE REMOVED
 - ▨ INDICATES EX AC PAVEMENT, CONCRETE, SHEDS, BARN & HOUSE TO BE REMOVED
 - - - - - EX FENCE TO BE REMOVED

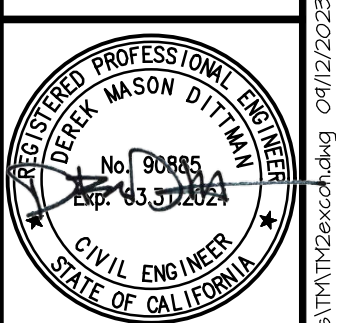
- NOTES:**
- ALL EXISTING STRUCTURES, SHEDS, DRIVENAYS AND SHRUBS WITHIN SUBJECT PROPERTY SHALL BE REMOVED.
 - ALL EXISTING UTILITY SERVICES (SEWER, WATER, GAS, ELECTRIC, CABLE & AT&T) TO EXISTING HOUSE AND BARN SHALL BE PROPERLY REMOVED OR ABANDONED PER THEIR RESPECTIVE AGENCY'S STANDARD.
 - ALL VINEYARD ON THE SUBJECT PROPERTIES SHALL BE REMOVED.
 - BEFORE CONSTRUCTION AND CONNECTION TO THE NAPA SANITATION DISTRICT, A PERMIT MUST BE SECURED FROM THE NAPA COUNTY ENVIRONMENTAL HEALTH DIVISION FOR DEMOLITION OF THE EXISTING SEPTIC TANK. ADDITIONALLY ANY WELLS TO BE DESTROYED MUST ALSO BE DESTROYED UNDER PERMIT WITH THE NAPA COUNTY ENVIRONMENTAL HEALTH DIVISION BY A LICENSED C-57 WELL DRILLER.
 - THE OWNER SHALL OBTAIN A DEMOLITION PERMIT FROM NAPASAN PRIOR TO REMOVAL OF THE EXISTING BUILDING LATERAL. DEMOLITION CREDITS SHALL BE VALID FOR A PERIOD OF TWO YEARS FROM THE DATE THE DEMOLITION PERMIT IS ISSUED. DEMOLITION WORK WITHIN THE PUBLIC RIGHT OF WAY OR ON NAPASAN MAINS SHALL BE PERFORMED BY A CLASS A CONTRACTOR.

NO.	DATE	BY

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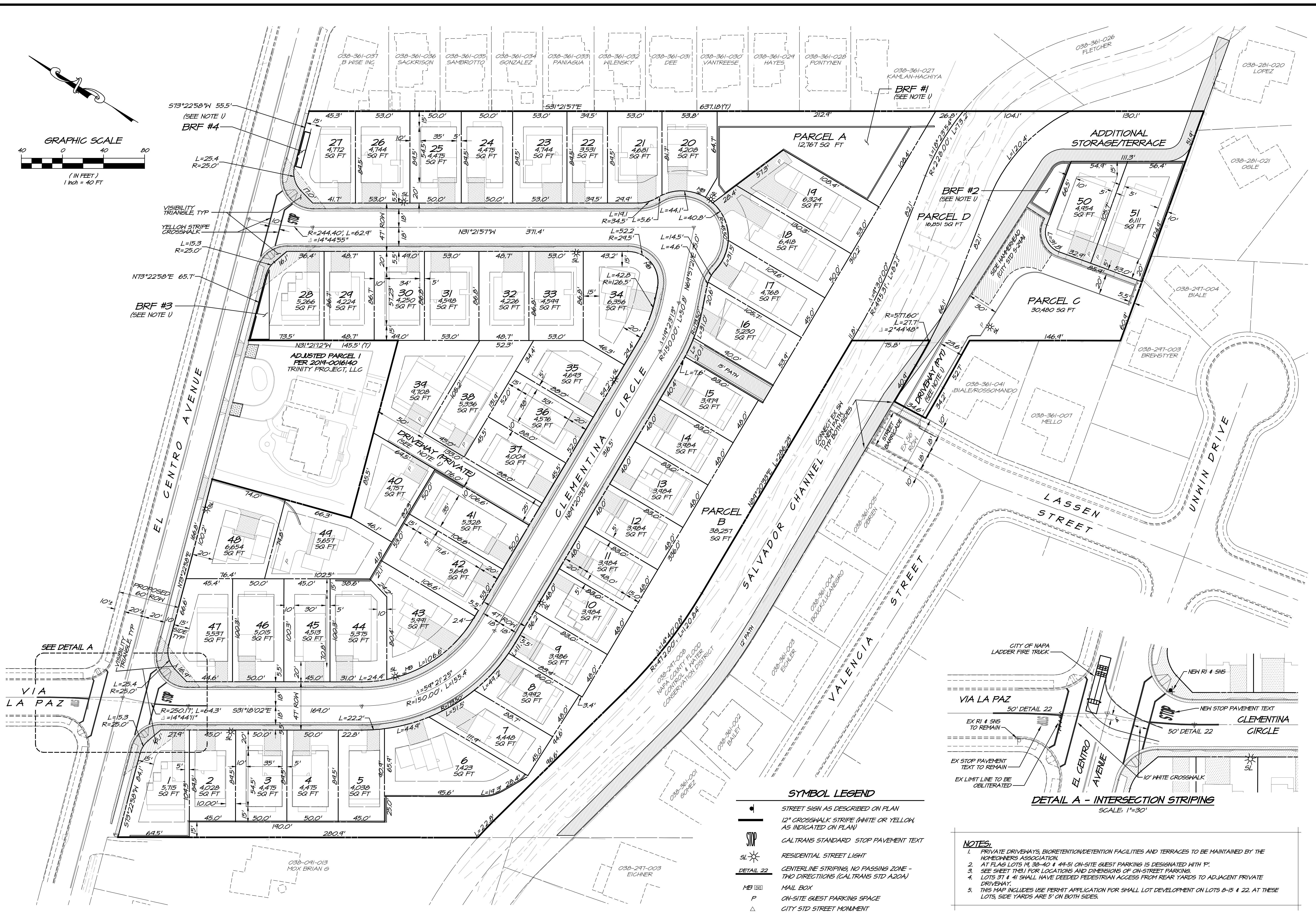
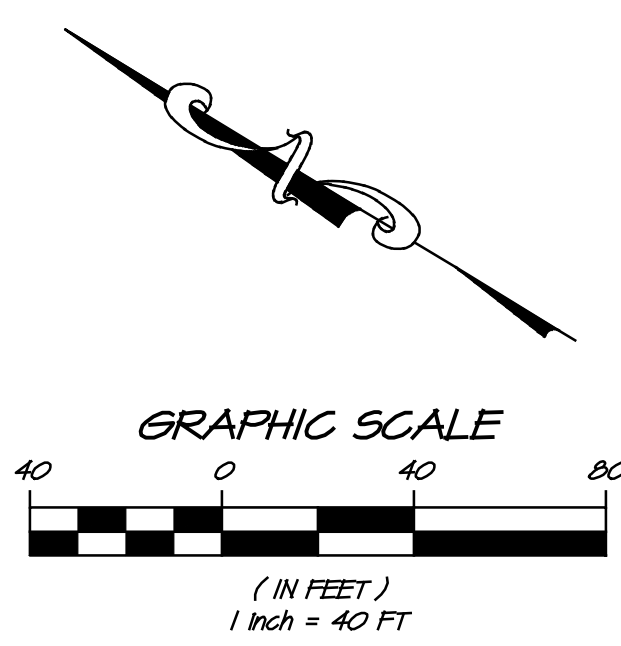
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ZINFANDEL SUBDIVISION
EXISTING CONDITIONS
CALIFORNIA
NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710

SHEET NO.
TM2
2 OF 11 SHEETS

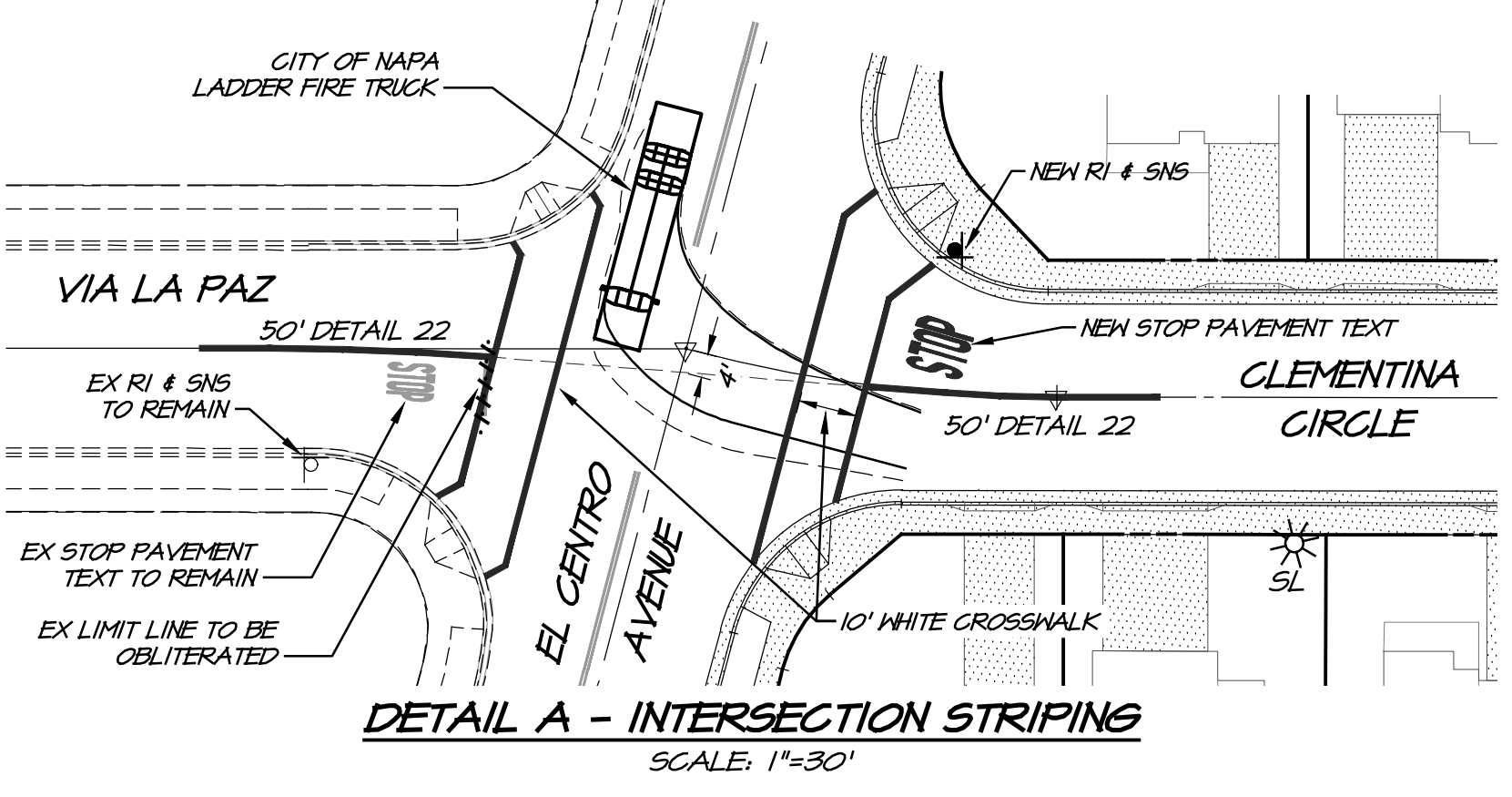


SYMBOL LEGEND

- STREET SIGN AS DESCRIBED ON PLAN
- 12" CROSSWALK STRIPE (WHITE OR YELLOW, AS INDICATED ON PLAN)
- CALTRANS STANDARD STOP PAVEMENT TEXT
- RESIDENTIAL STREET LIGHT
- CENTERLINE STRIPINGS, NO PASSING ZONE - TWO DIRECTIONS (CALTRANS STD A20A)
- MAIL BOX
- ON-SITE GUEST PARKING SPACE
- CITY STD STREET MONUMENT

NOTES:

- PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- AT FLAG LOTS 19, 39-40 & 49-51 ON-SITE GUEST PARKING IS DESIGNATED WITH 'P'.
- SEE SHEET TM-1 FOR LOCATIONS AND DIMENSIONS OF ON-STREET PARKING.
- LOTS 31 & 41 SHALL HAVE DEEDED PEDESTRIAN ACCESS FROM REAR YARDS TO ADJACENT PRIVATE DRIVEWAY.
- THIS MAP INCLUDES USE PERMIT APPLICATION FOR SMALL LOT DEVELOPMENT ON LOTS 8-15 & 22. AT THESE LOTS, SIDE YARDS ARE 5' ON BOTH SIDES.



DATE: SEPT 15, 2023

DRAWN: DEL

DESIGNED: RAY

CHECKED: DMD

JOB NO.: 4170710

SHEET NO. **TM3**

3 OF 11 SHEETS

ZINFANDEL SUBDIVISION

DIMENSION PLAN

NAPA CALIFORNIA

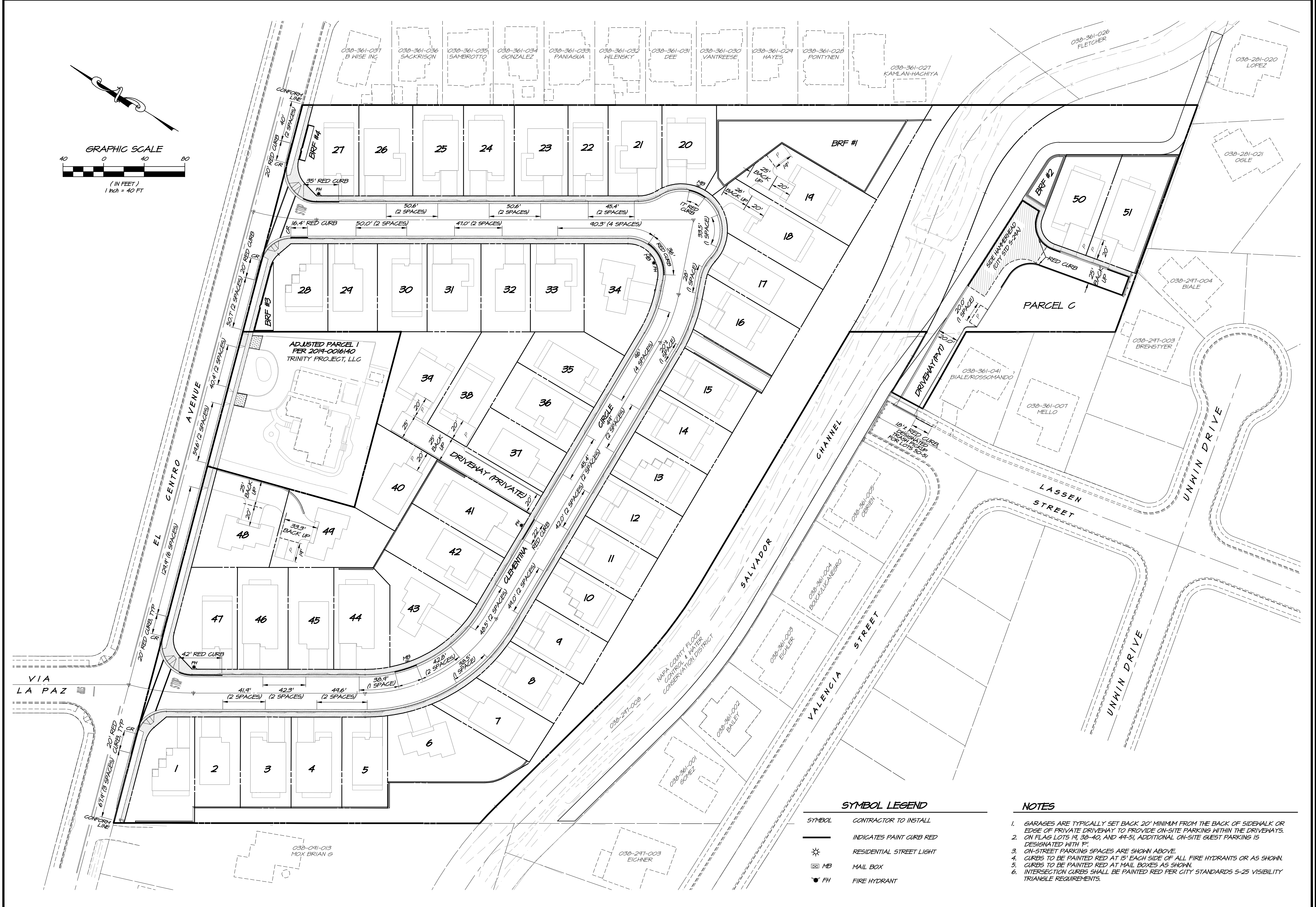
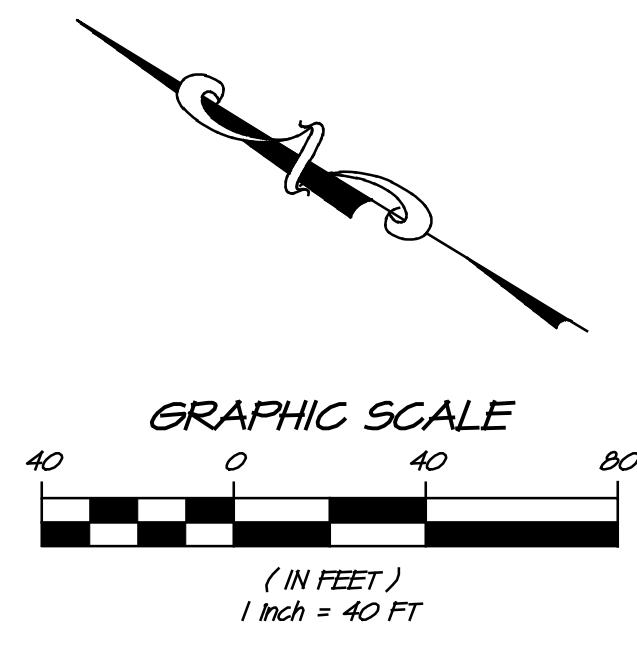
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REVISIONS

NO.	DATE	BY	APPD



SYMBOL LEGEND

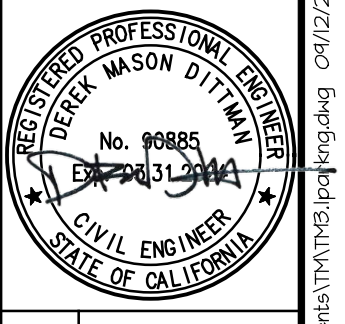
—	CONTRACTOR TO INSTALL
—	INDICATES PAINT CURB RED
☼	RESIDENTIAL STREET LIGHT
MB	MAIL BOX
FH	FIRE HYDRANT

- NOTES**
- GARAGES ARE TYPICALLY SET BACK 20' MINIMUM FROM THE BACK OF SIDEWALK OR EDGE OF PRIVATE DRIVEWAY TO PROVIDE ON-SITE PARKING WITHIN THE DRIVEWAYS.
 - ON FLAG LOTS 14, 38-40, AND 44-51, ADDITIONAL ON-SITE GUEST PARKING IS DESIGNATED WITH 'P'.
 - ON-STREET PARKING SPACES ARE SHOWN ABOVE.
 - CURBS TO BE PAINTED RED AT 15' EACH SIDE OF ALL FIRE HYDRANTS OR AS SHOWN.
 - CURBS TO BE PAINTED RED AT MAIL BOXES AS SHOWN.
 - INTERSECTION CURBS SHALL BE PAINTED RED PER CITY STANDARDS 5-25 VISIBILITY TRIANGLE REQUIREMENTS.

NO.	DATE	REVISIONS	BY

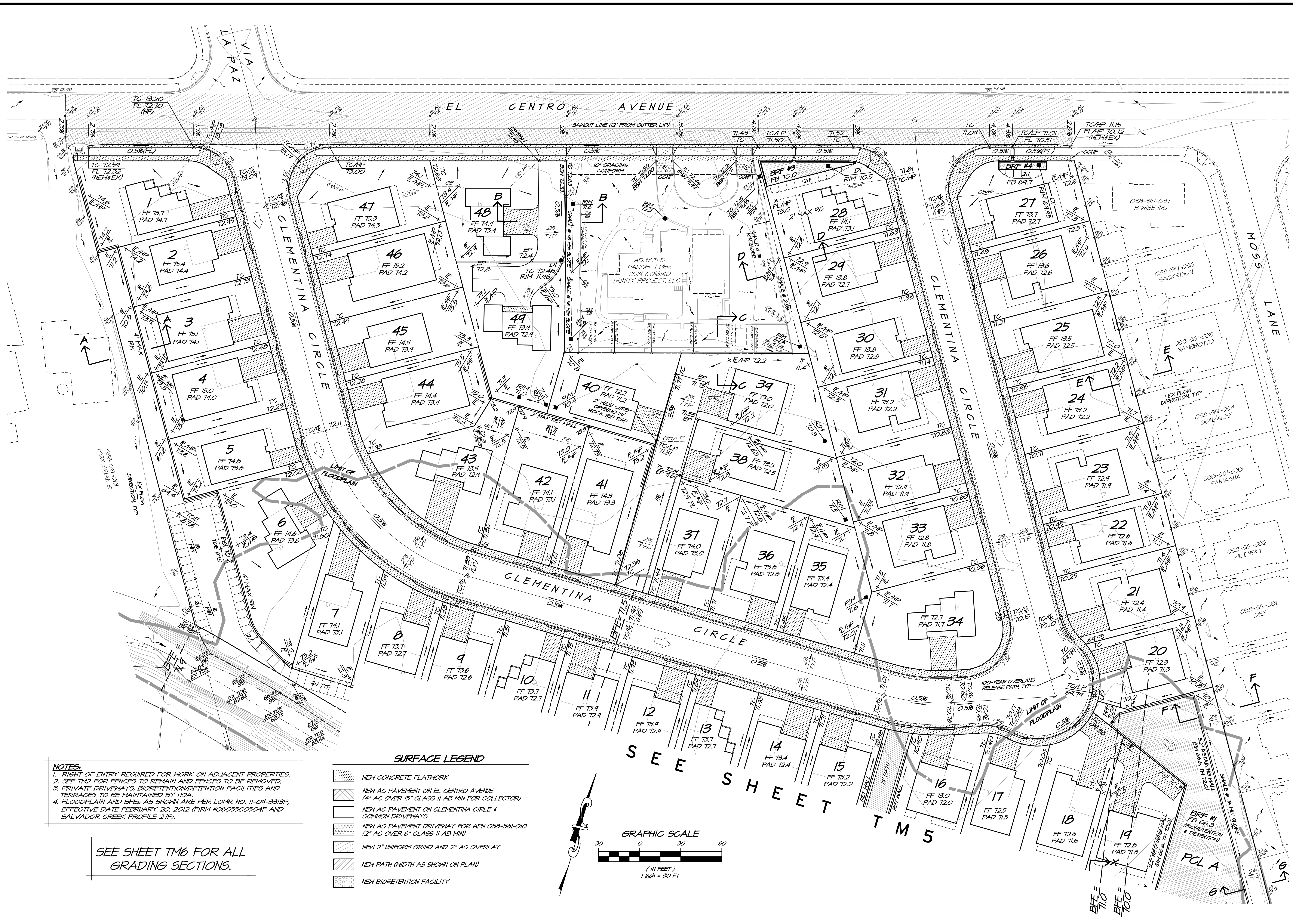
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**ZINFANDEL SUBDIVISION
 PARKING PLAN**
 CALIFORNIA
 NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710

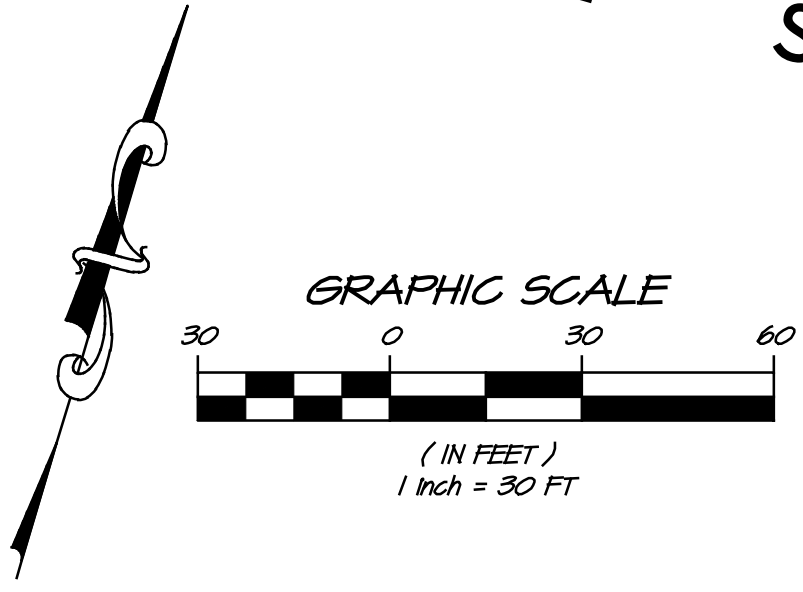
SHEET NO. TM3.1
 4 OF 11 SHEETS



NOTES:
 1. RIGHT OF ENTRY REQUIRED FOR WORK ON ADJACENT PROPERTIES.
 2. SEE TM2 FOR FENCES TO REMAIN AND FENCES TO BE REMOVED.
 3. PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
 4. FLOODPLAIN AND BFEs AS SHOWN ARE PER LOMR NO. 11-04-3313P, EFFECTIVE DATE FEBRUARY 20, 2012 (FIRM #060550504F AND SALVADOR CREEK PROFILE 2TP).

SEE SHEET TM6 FOR ALL GRADING SECTIONS.

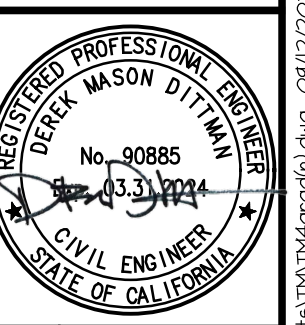
- SURFACE LEGEND**
- NEW CONCRETE FLATWORK
 - NEW AC PAVEMENT ON EL CENTRO AVENUE (4" AC OVER 15" CLASS II AB MIN FOR COLLECTOR)
 - NEW AC PAVEMENT ON CLEMENTINA CIRCLE & COMMON DRIVENWAYS
 - NEW AC PAVEMENT DRIVEWAY FOR APN 038-361-010 (2" AC OVER 6" CLASS II AB MIN)
 - NEW 2" UNIFORM GRIND AND 2" AC OVERLAY
 - NEW PATH (WIDTH AS SHOWN ON PLAN)
 - NEW BIORETENTION FACILITY



NO.	DATE	BY	APPROVED

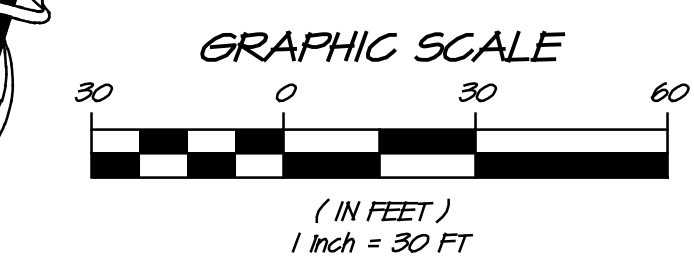
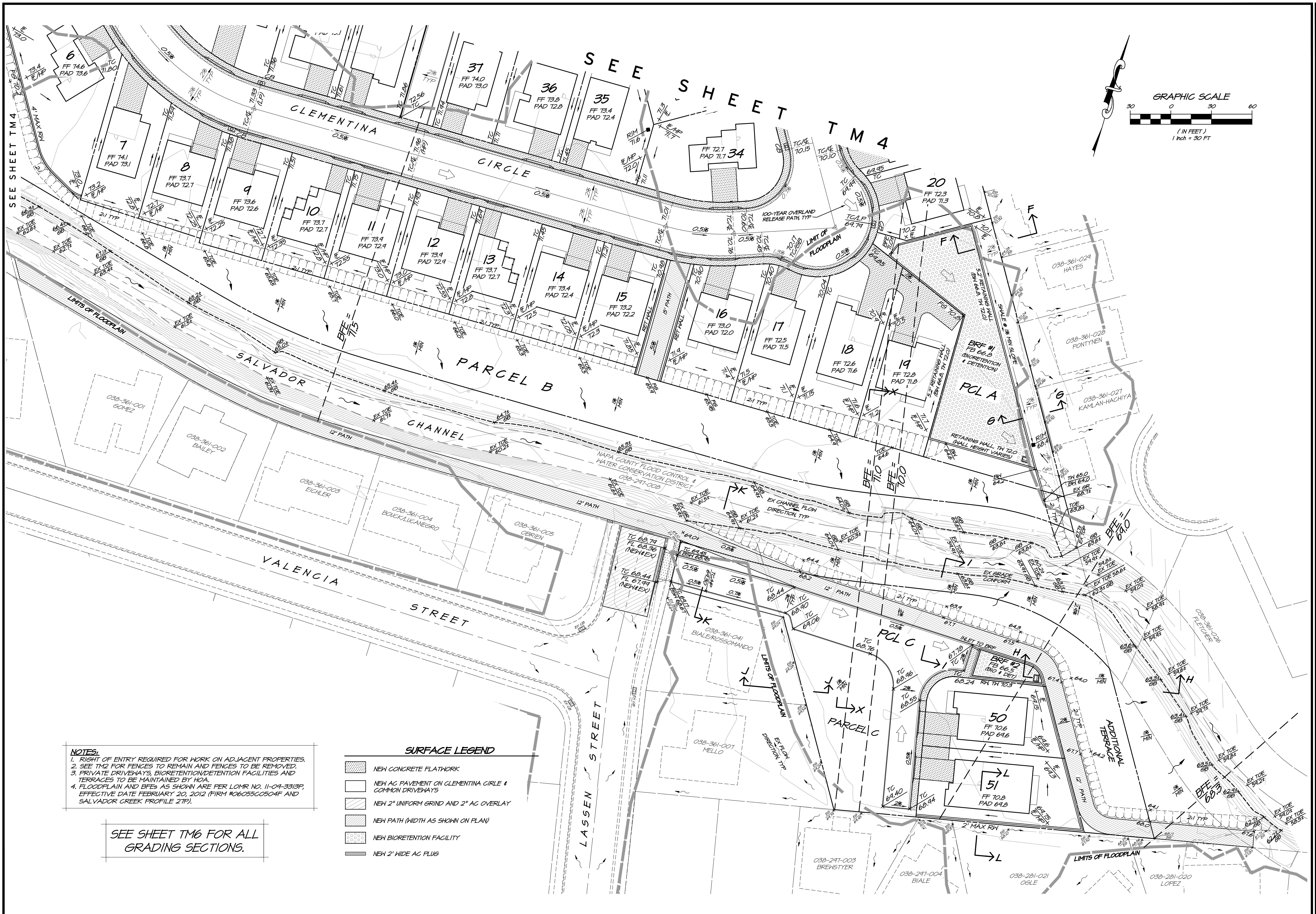
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**ZINFANDEL SUBDIVISION
 GRADING PLAN (North Portion)**
 CALIFORNIA
 NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170170

SHEET NO.
TM4
 5 OF 11 SHEETS



NOTES:
 1. RIGHT OF ENTRY REQUIRED FOR WORK ON ADJACENT PROPERTIES.
 2. SEE TM2 FOR FENCES TO REMAIN AND FENCES TO BE REMOVED.
 3. PRIVATE DRIVENAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
 4. FLOODPLAIN AND BFEs AS SHOWN ARE PER LOMR NO. 11-09-3313P, EFFECTIVE DATE FEBRUARY 20, 2012 (FIRM #06055C0504F AND SALVADOR CREEK PROFILE 21P).

SURFACE LEGEND

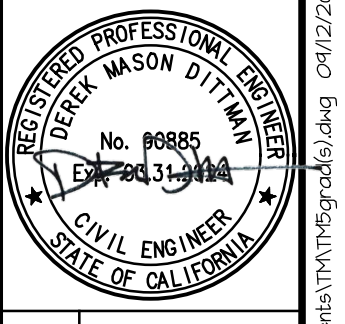
	NEW CONCRETE FLATWORK
	NEW AC PAVEMENT ON CLEMENTINA CIRCLE & COMMON DRIVENAYS
	NEW 2" UNIFORM GRIND AND 2" AC OVERLAY
	NEW PATH (WIDTH AS SHOWN ON PLAN)
	NEW BIORETENTION FACILITY
	NEW 2" WIDE AC PLUG

SEE SHEET TM6 FOR ALL GRADING SECTIONS.

NO.	DATE	REVISIONS	BY

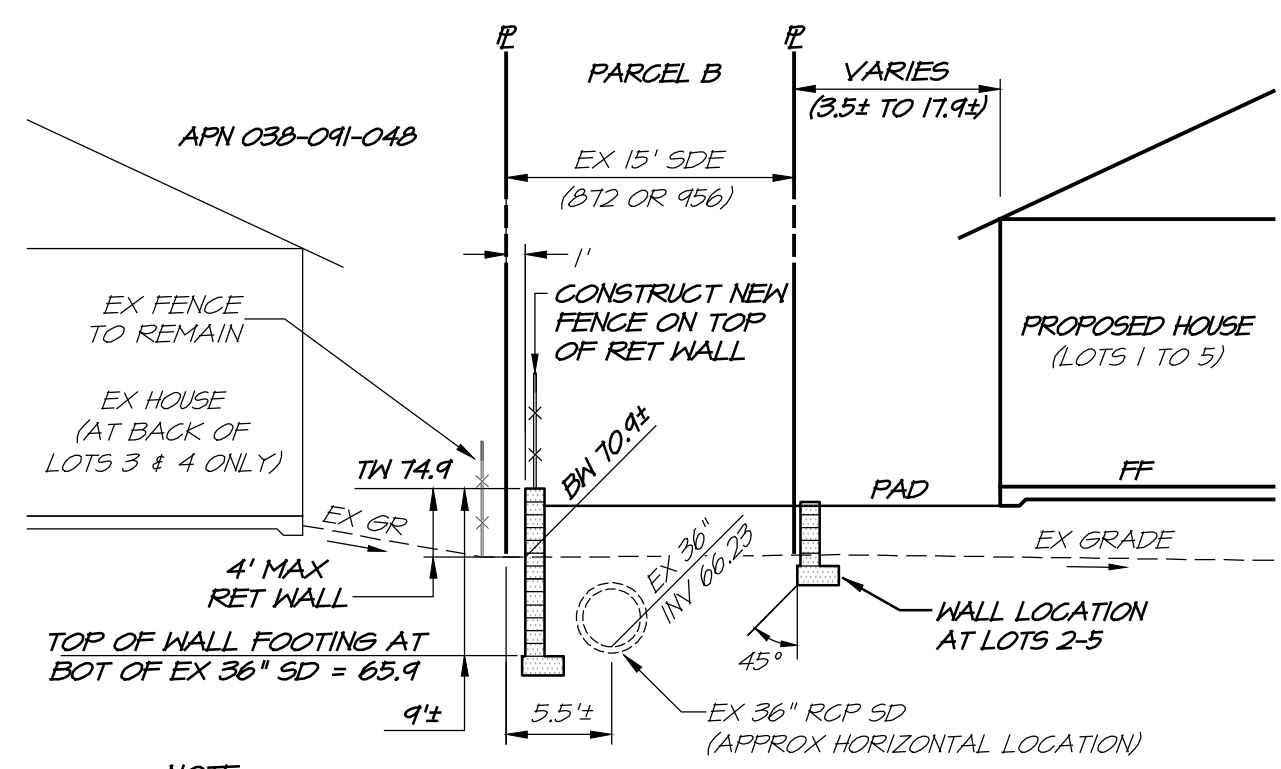
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ZINFANDEL SUBDIVISION
 GRADING PLAN (South Portion)
 CALIFORNIA
 NAPA



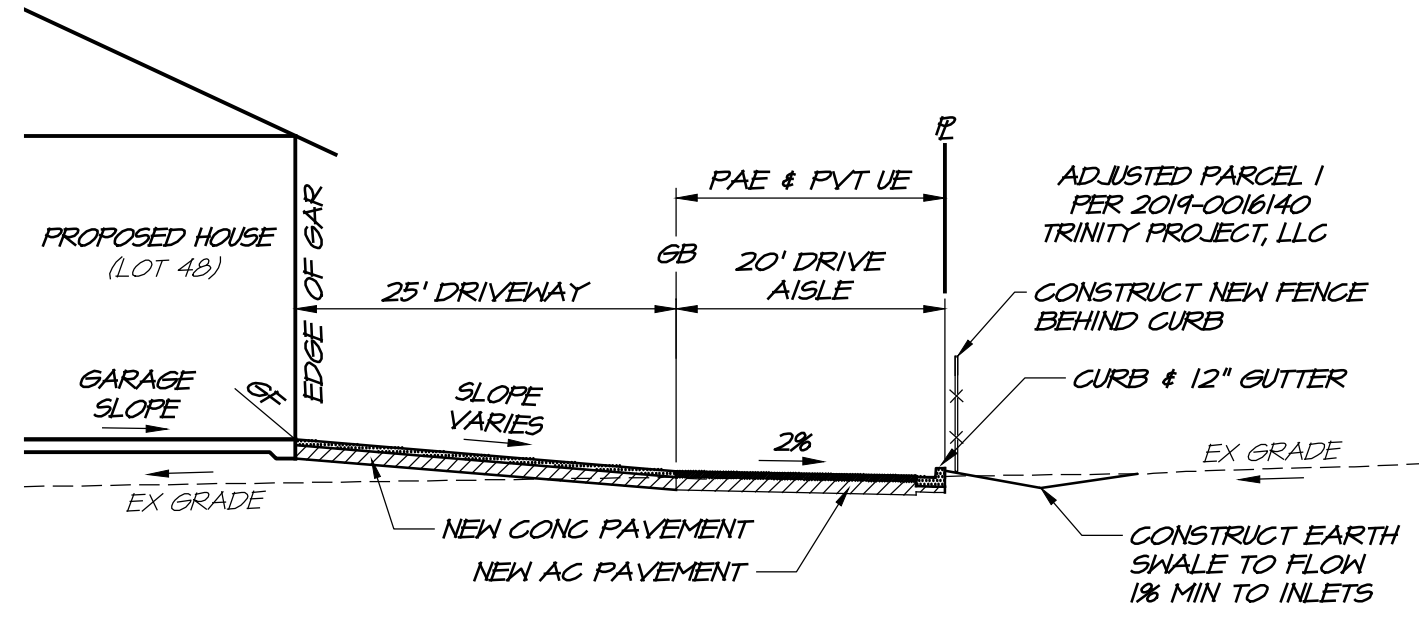
DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	417070

SHEET NO.
TM5
 6 OF 11 SHEETS

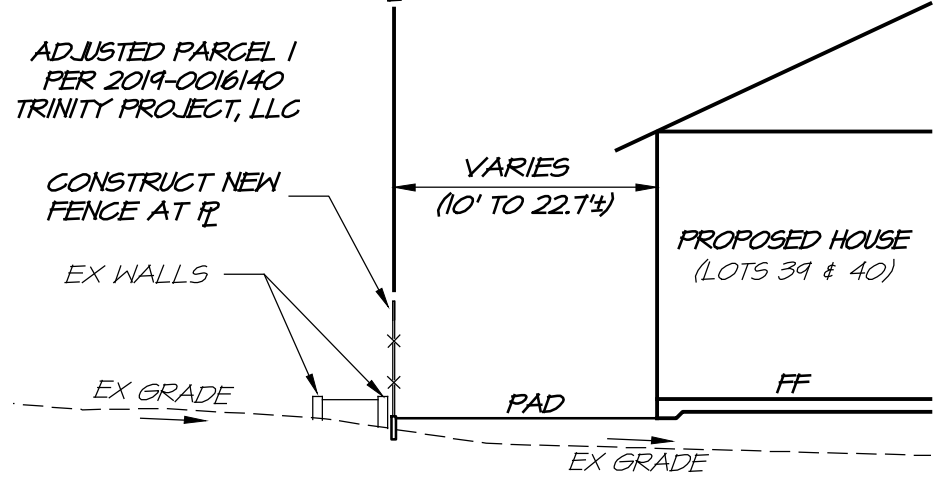


SECTION A-A
SCALE: 1"=10'

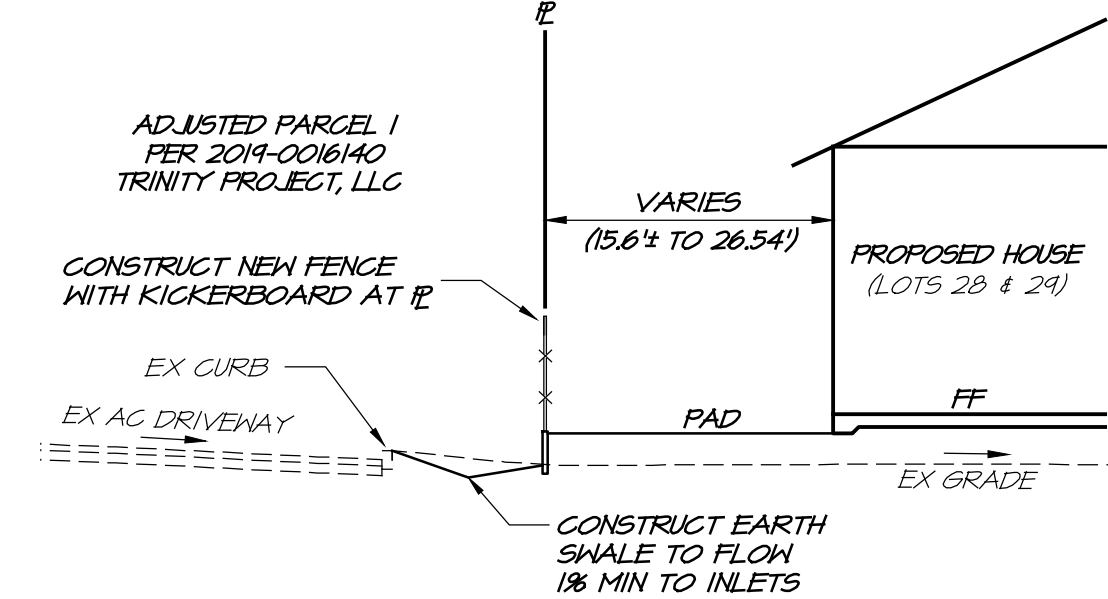
NOTE:
TM, BM FOOTINGS DEPTH & EXISTING 36" INVERT ELEVATIONS SHOWN IN THIS SECTION ARE TAKEN AT THE ACTUAL SECTION LINE ON LOT 3 WHERE THE MAXIMUM RETAINING WALL HEIGHT IS APPROXIMATELY 4 FEET.



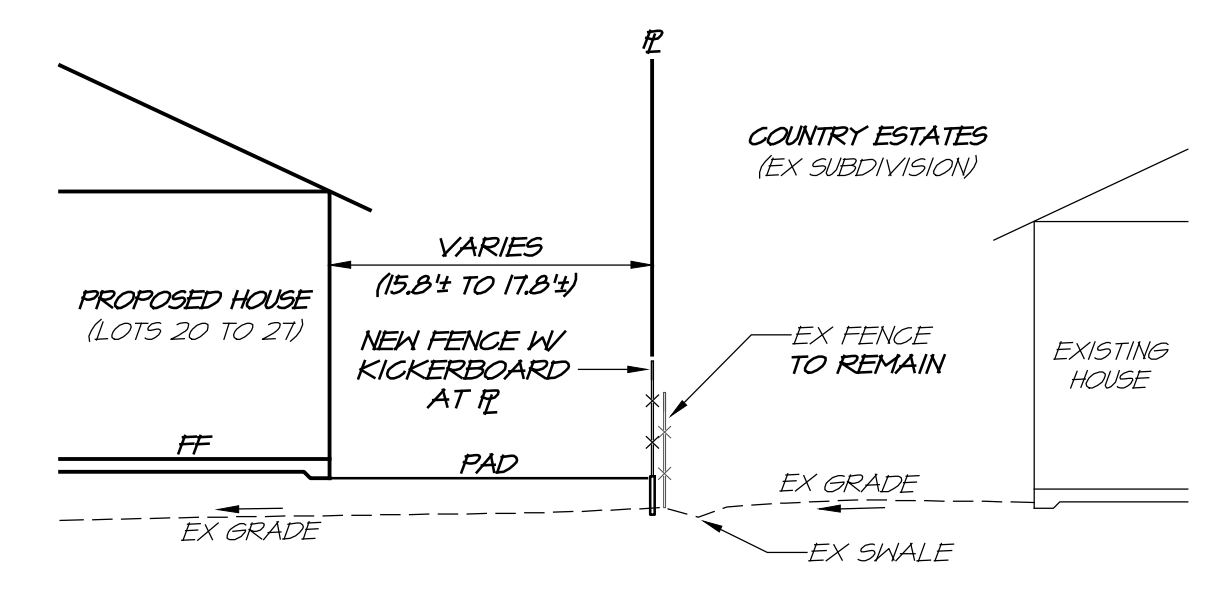
SECTION B-B
SCALE: 1"=10'



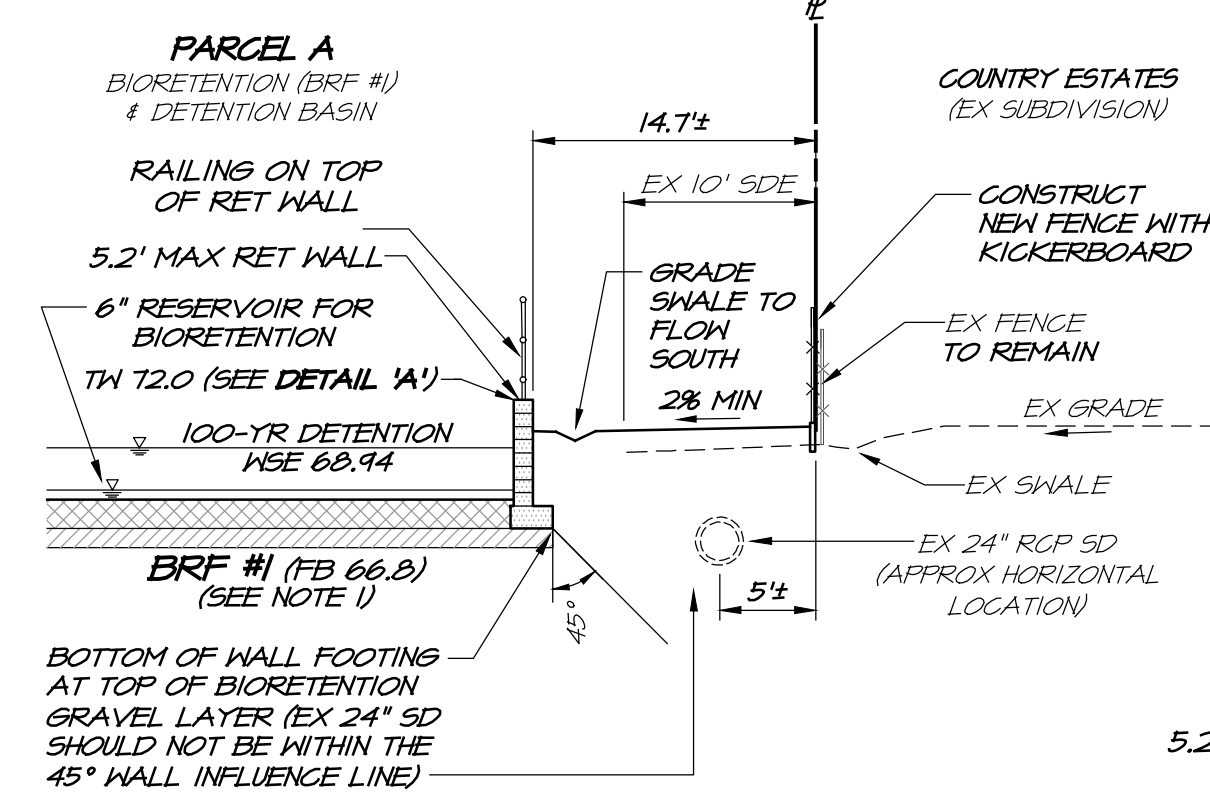
SECTION C-C
SCALE: 1"=10'



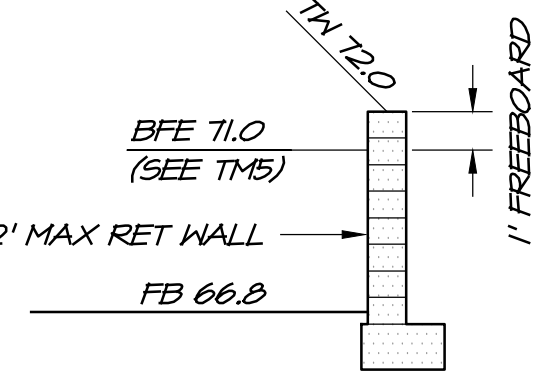
SECTION D-D
SCALE: 1"=10'



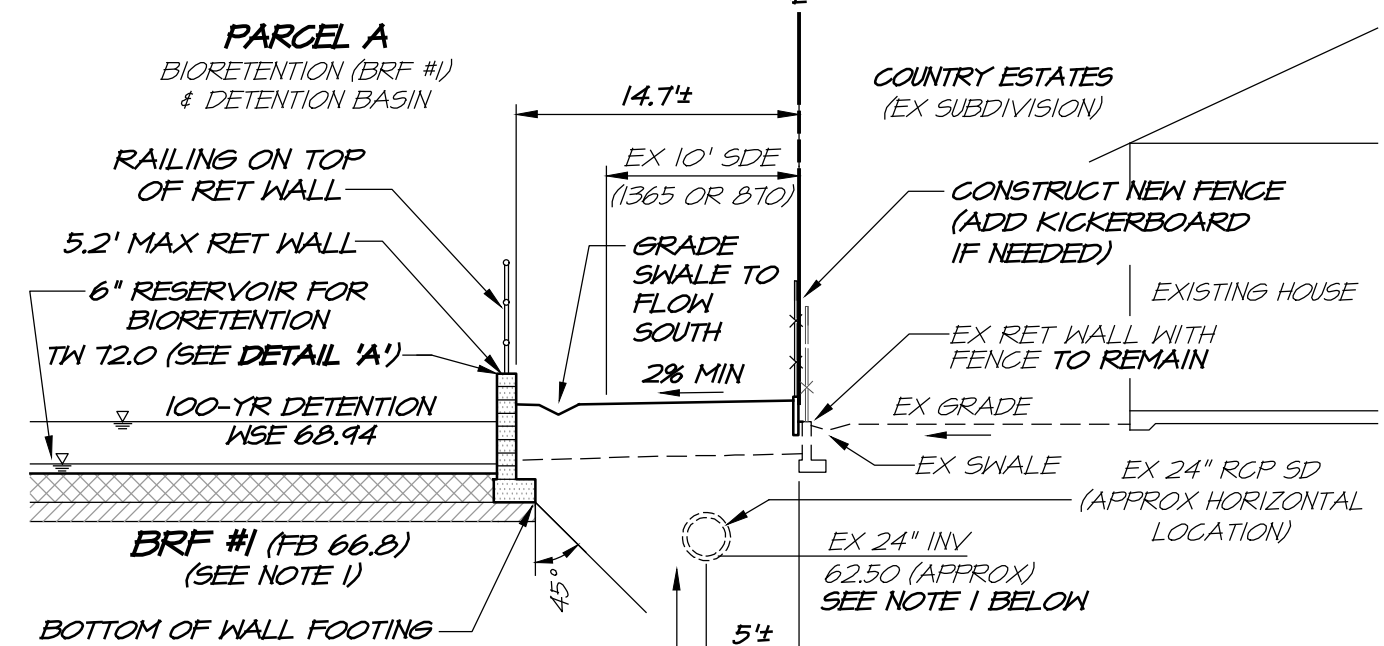
SECTION E-E
SCALE: 1"=10'



SECTION F-F
SCALE: 1"=10'

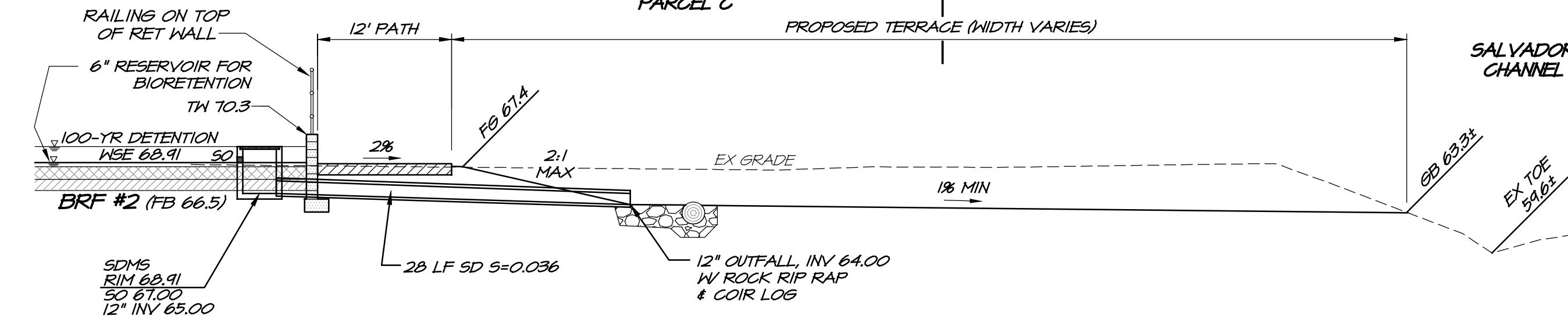


DETAIL A'
SCALE: 1"=5'

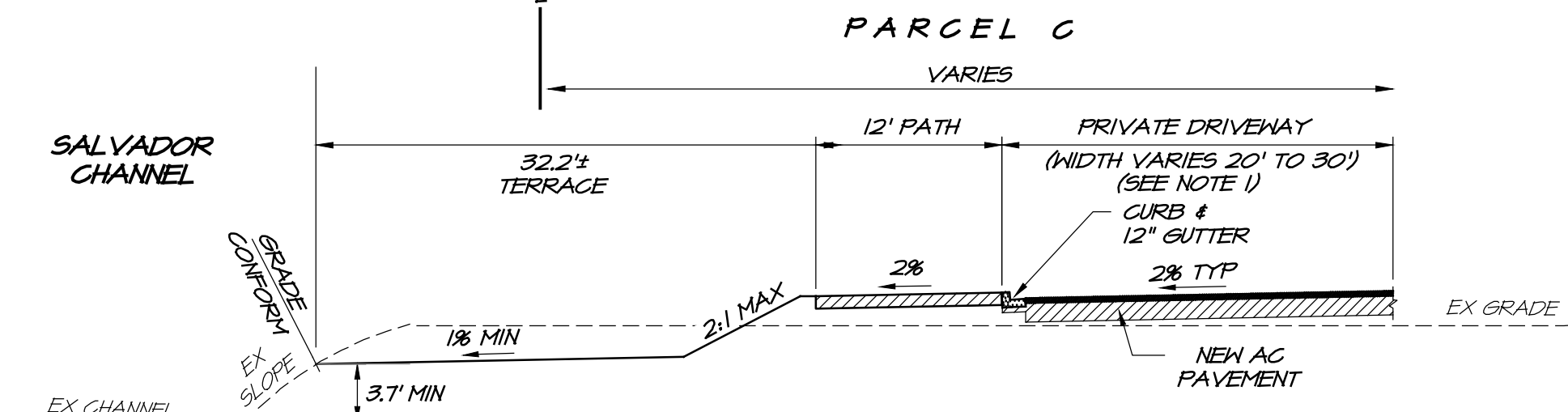


SECTION G-G
SCALE: 1"=10'

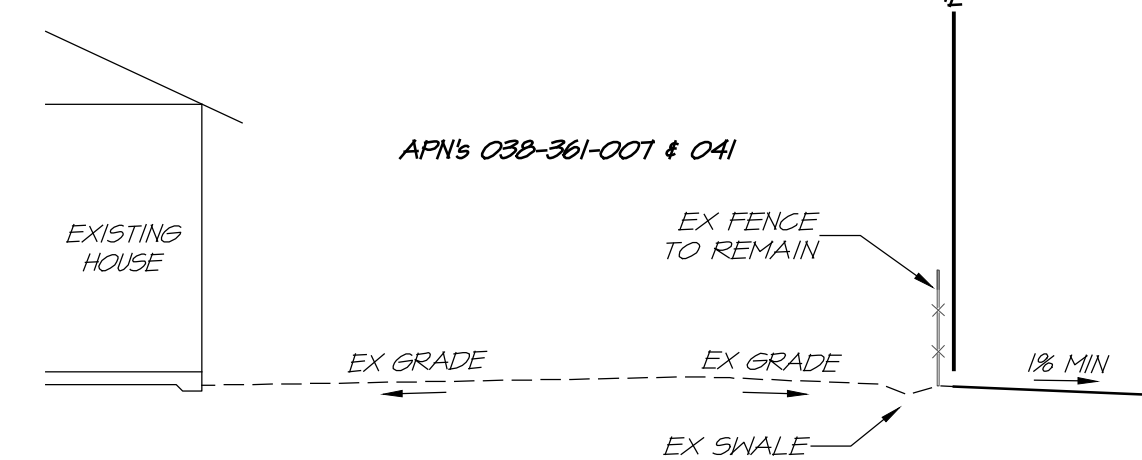
NOTES:
1. EXISTING 24" INVERT ELEVATION IS TAKEN AT THE MOST NORTHERLY CORNER OF RETAINING WALL FOR BRF #1 WHERE THE EXISTING 24" STORM DRAIN PIPE INVERT IS AT ITS DEEPEST.
2. DEEPEN RETAINING WALL FOOTINGS AS NEEDED FOR THE EXISTING 24" STORM DRAIN PIPE TO BE OUTSIDE OF THE 45° INFLUENCE LINE.



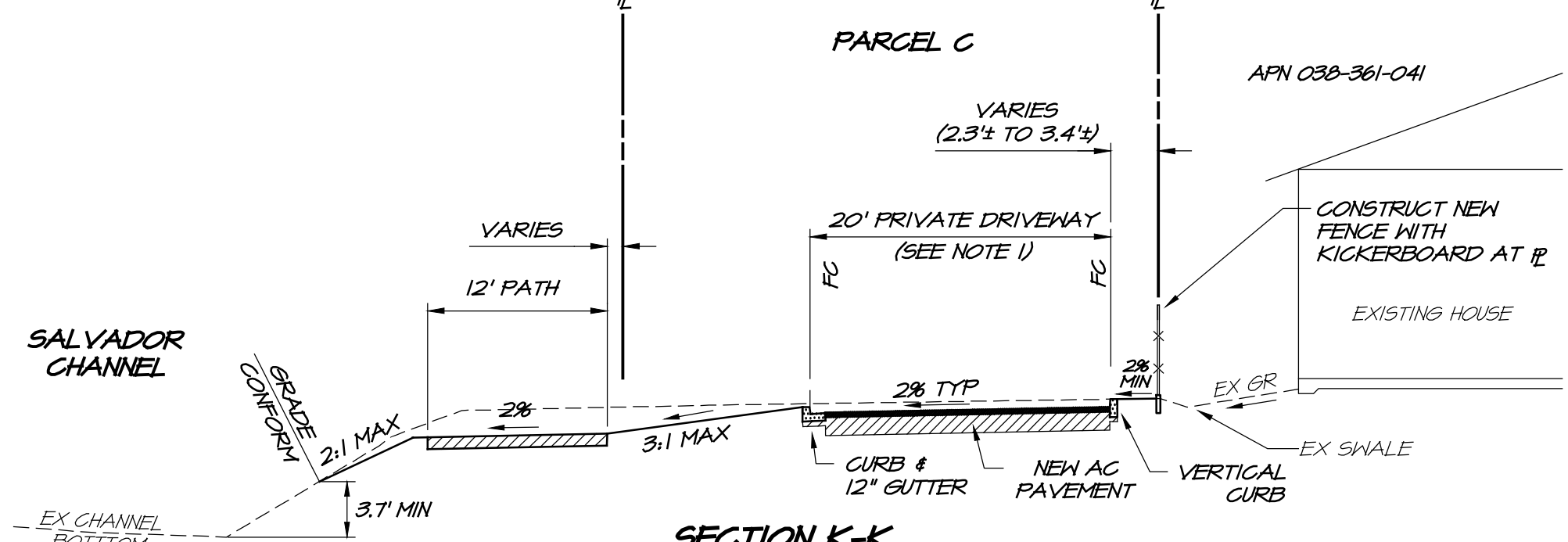
SECTION H-H
SCALE: 1"=10'



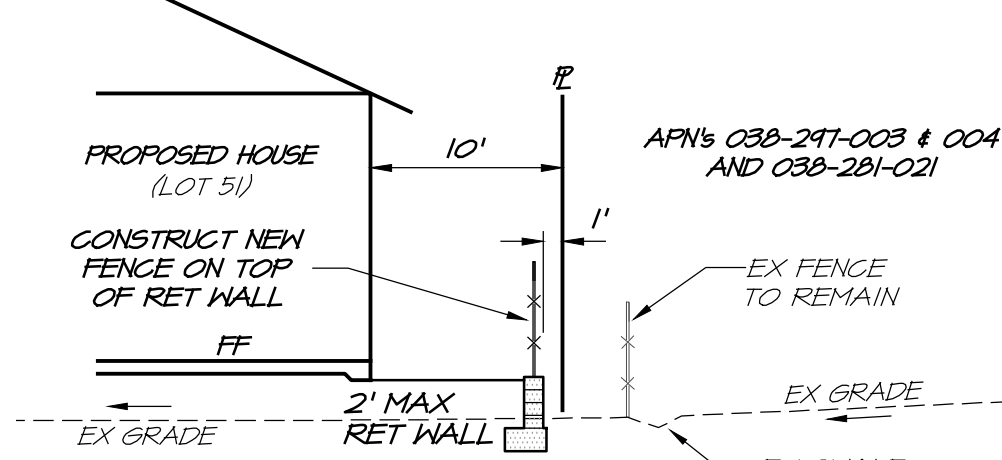
SECTION I-I
SCALE: 1"=10'



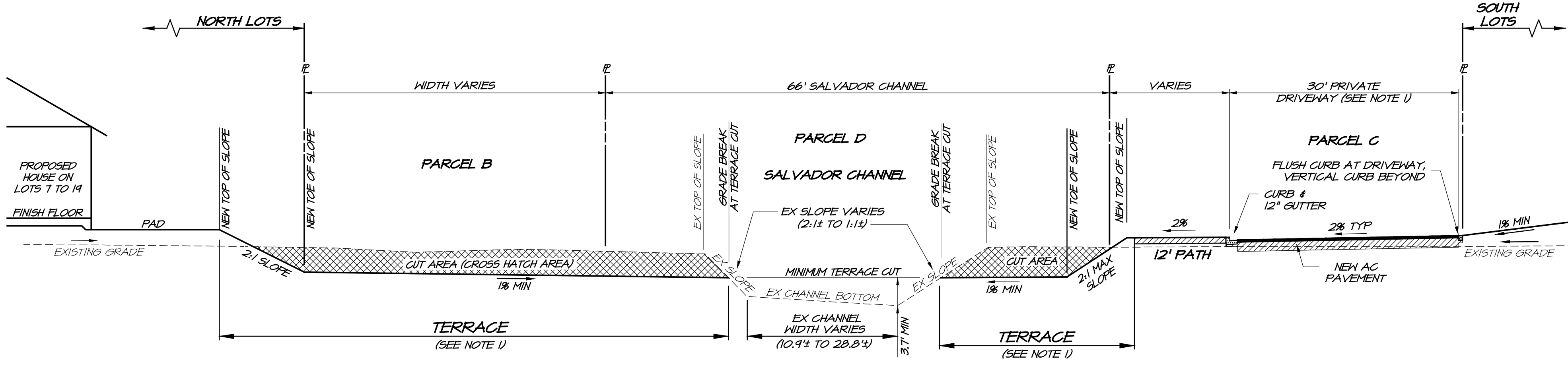
SECTION J-J
SCALE: 1"=10'



SECTION K-K
SCALE: 1"=10'



SECTION L-L
SCALE: 1"=10'



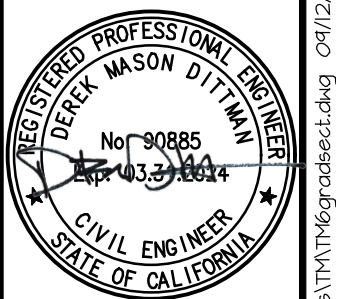
TYPICAL SALVADOR CHANNEL CROSS SECTION X-X
SCALE: 1"=10'

NOTE:
1. PRIVATE DRIVEWAYS, BIORETENTION/DETENTION FACILITIES AND TERRACES TO BE MAINTAINED BY HOA.
2. DEVELOPER WILL ATTEMPT TO COORDINATE WITH NEIGHBORING PROPERTY OWNERS TO CONSTRUCT NEW FENCE ALONG SHARED PROPERTY LINES OR USE EXISTING FENCE IF IT IS IN GOOD CONDITION IN LIEU OF CONSTRUCTING NEW FENCE ADJACENT TO EXISTING FENCE AS SHOWN IN THE SECTIONS ABOVE.

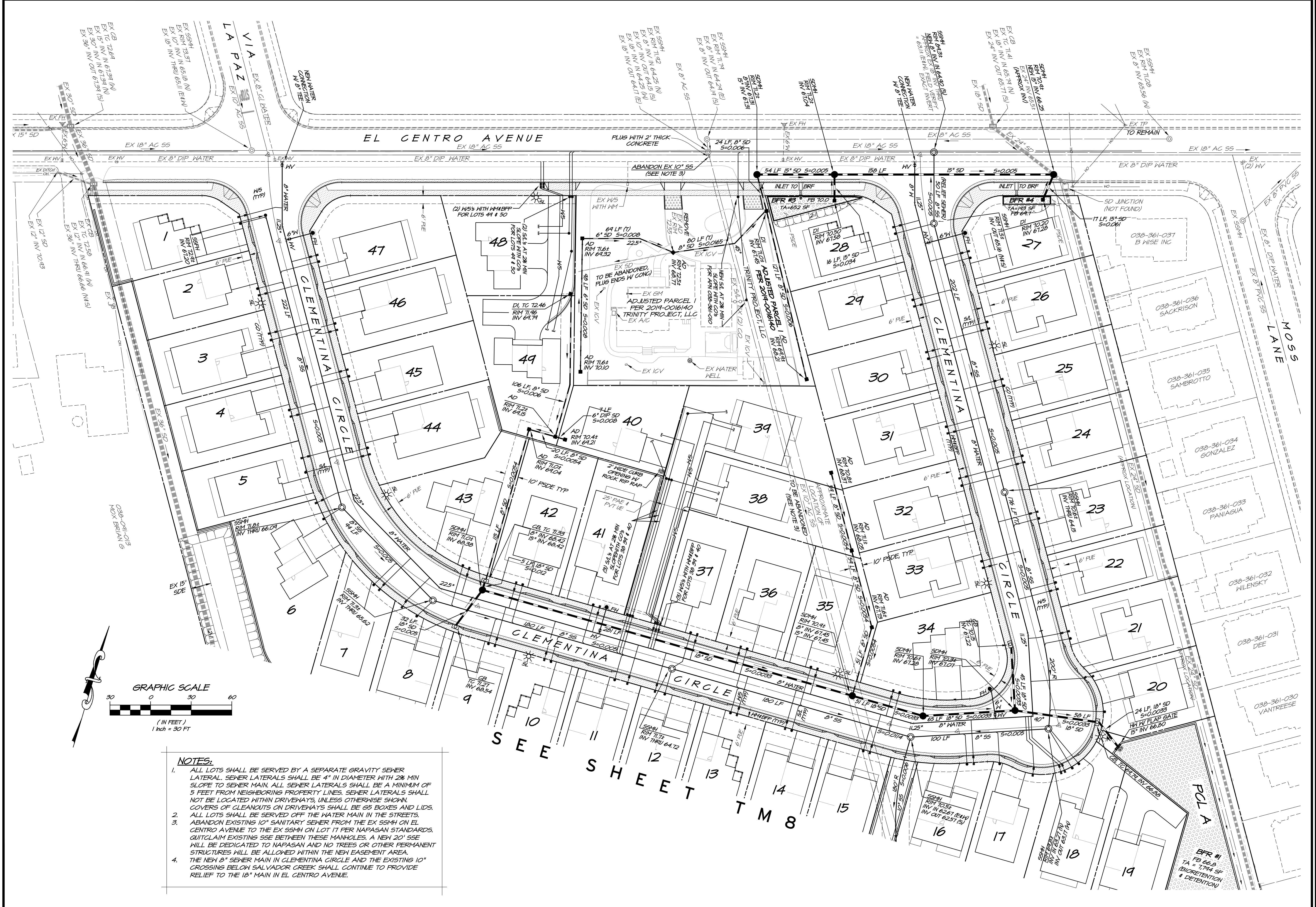
NO.	DATE	REVISIONS	BY	APP'D

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1815 FOURTH STREET
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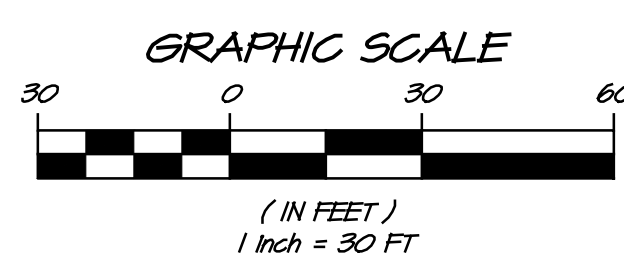
**ZINFANDEL SUBDIVISION
GRADING SECTIONS**
CALIFORNIA
NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710



- NOTES:**
1. ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 66" BOXES AND LIDS.
 2. ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS.
 3. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX SSMH ON EL CENTRO AVENUE TO THE EX SSMH ON LOT 17 PER NAPASAN STANDARDS. QUITCLAIM EXISTING SSE BETWEEN THESE MANHOLES. A NEW 20" SSE WILL BE DEDICATED TO NAPASAN AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
 4. THE NEW 8" SEWER MAIN IN CLEMENTINA CIRCLE AND THE EXISTING 10" CROSSINGS BELOW SALVADOR CREEK SHALL CONTINUE TO PROVIDE RELIEF TO THE 18" MAIN IN EL CENTRO AVENUE.



NO.	DATE	BY	APPD.

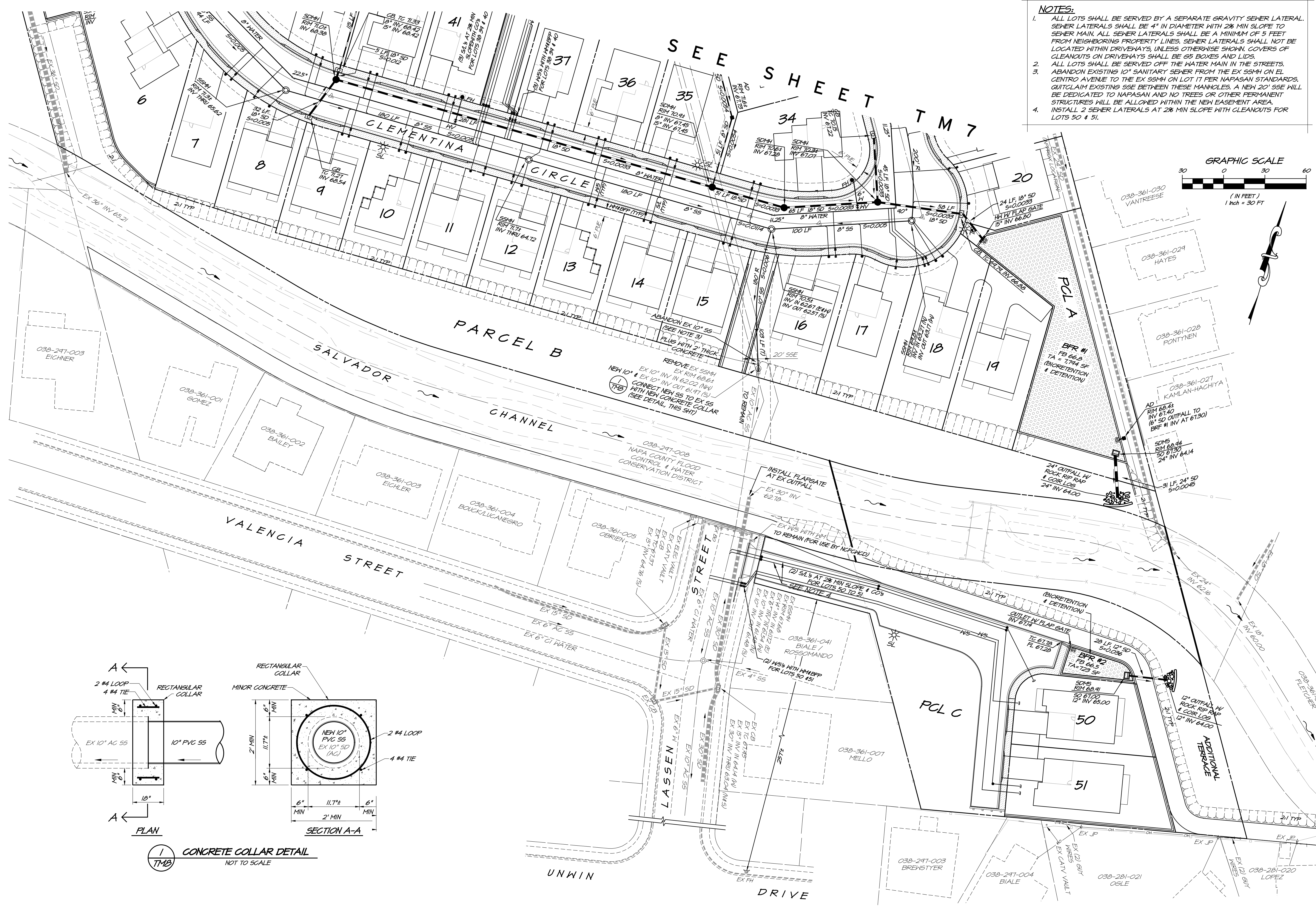
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**ZINFANDEL SUBDIVISION
 UTILITY PLAN (North Portion)**
 CALIFORNIA
 NAPA



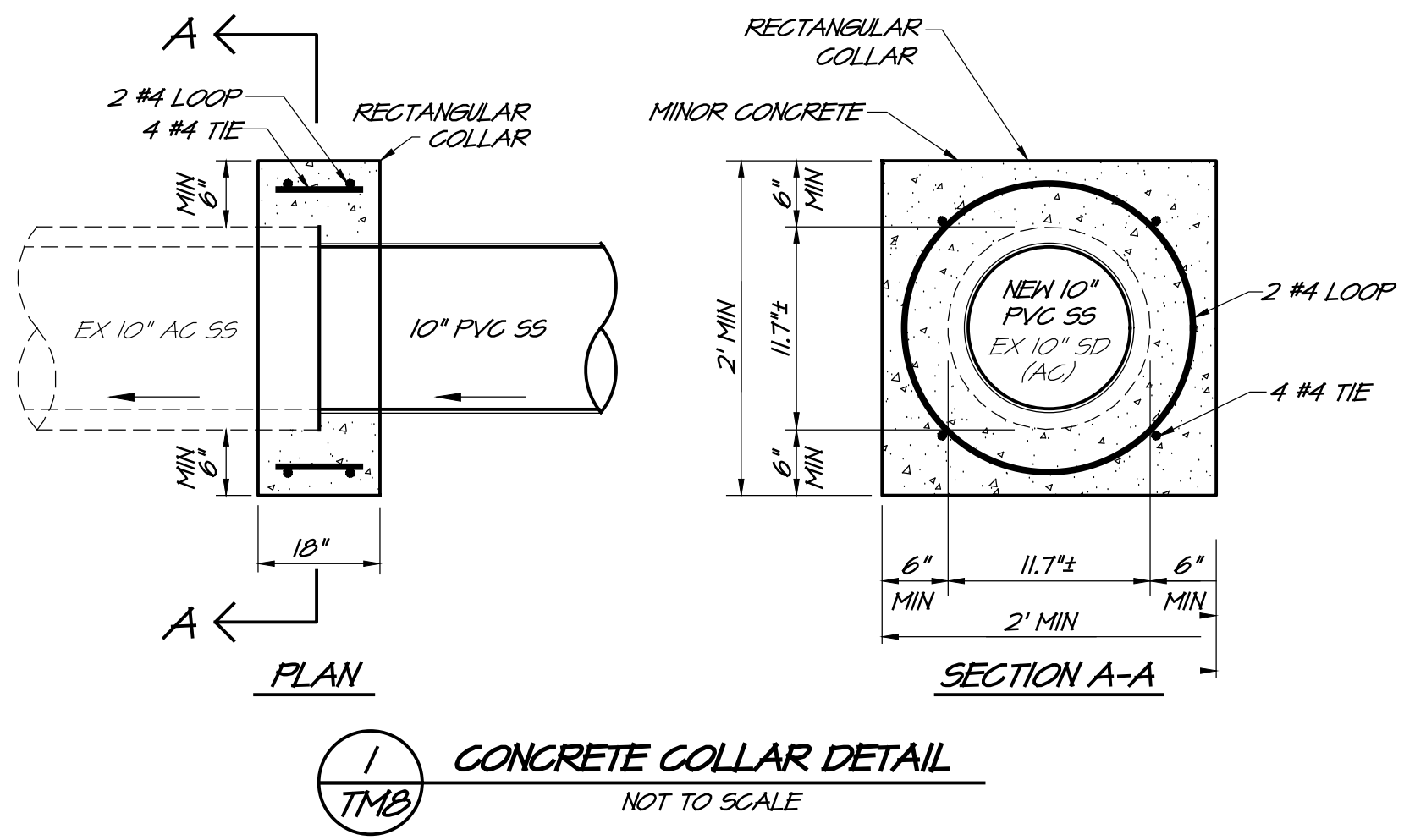
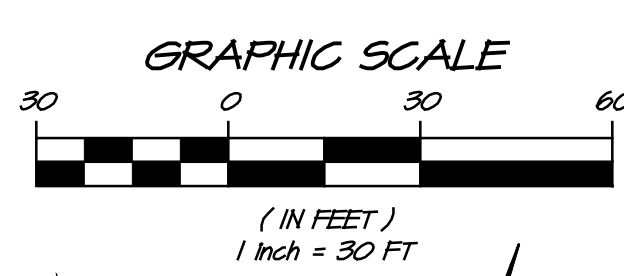
DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	417070

**SHEET NO.
 TM7**
 8 OF 11 SHEETS



NOTES:

1. ALL LOTS SHALL BE SERVED BY A SEPARATE GRAVITY SEWER LATERAL. SEWER LATERALS SHALL BE 4" IN DIAMETER WITH 2% MIN SLOPE TO SEWER MAIN. ALL SEWER LATERALS SHALL BE A MINIMUM OF 5 FEET FROM NEIGHBORING PROPERTY LINES. SEWER LATERALS SHALL NOT BE LOCATED WITHIN DRIVEWAYS, UNLESS OTHERWISE SHOWN. COVERS OF CLEANOUTS ON DRIVEWAYS SHALL BE 6" BOXES AND LIDS.
2. ALL LOTS SHALL BE SERVED OFF THE WATER MAIN IN THE STREETS. ABANDON EXISTING 10" SANITARY SEWER FROM THE EX SSMH ON EL CENTRO AVENUE TO THE EX SSMH ON LOT 17 PER NAPASAN STANDARDS. QUITCLAIM EXISTING SSE BETWEEN THESE MANHOLES. A NEW 20" SSE WILL BE DEDICATED TO NAPASAN AND NO TREES OR OTHER PERMANENT STRUCTURES WILL BE ALLOWED WITHIN THE NEW EASEMENT AREA.
3. INSTALL 2 SEWER LATERALS AT 2% MIN SLOPE WITH CLEANOUTS FOR LOTS 50 & 51.

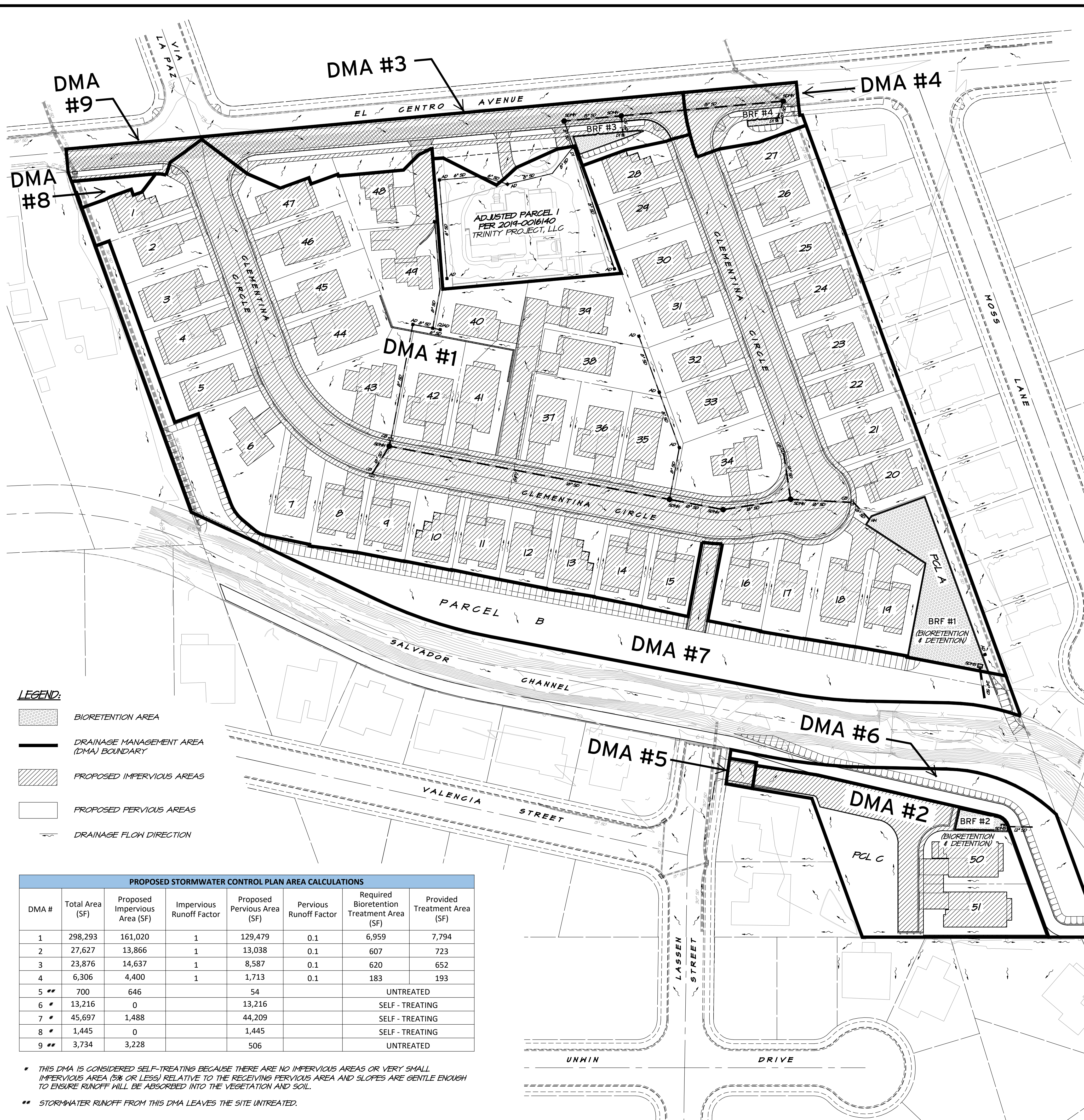


DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710
SHEET NO.	TM8
	9 OF 11 SHEETS

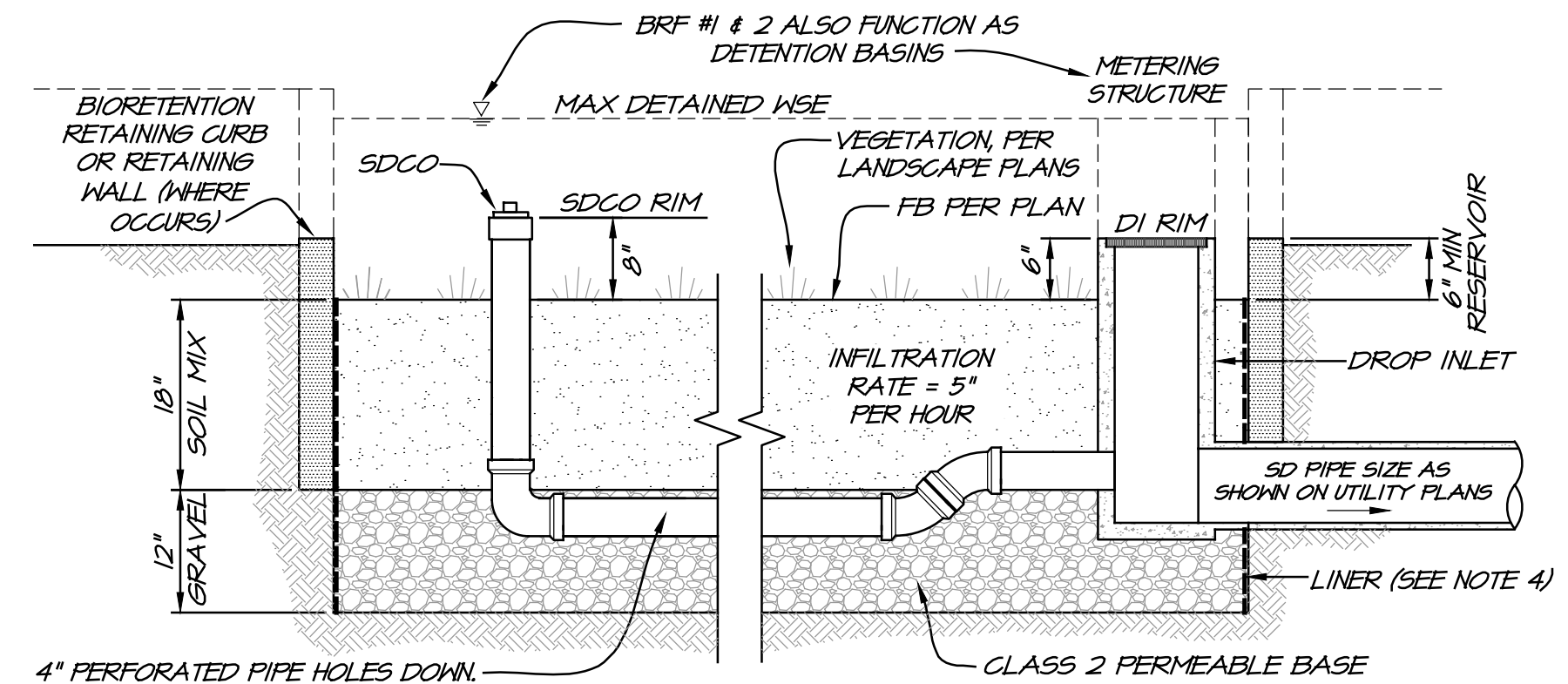
**ZINFANDEL SUBDIVISION
UTILITY PLAN (South Portion)**

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CALIFORNIA

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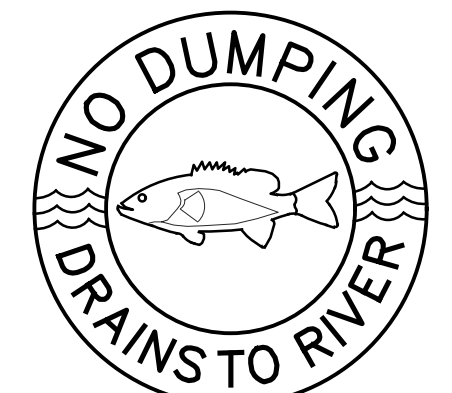
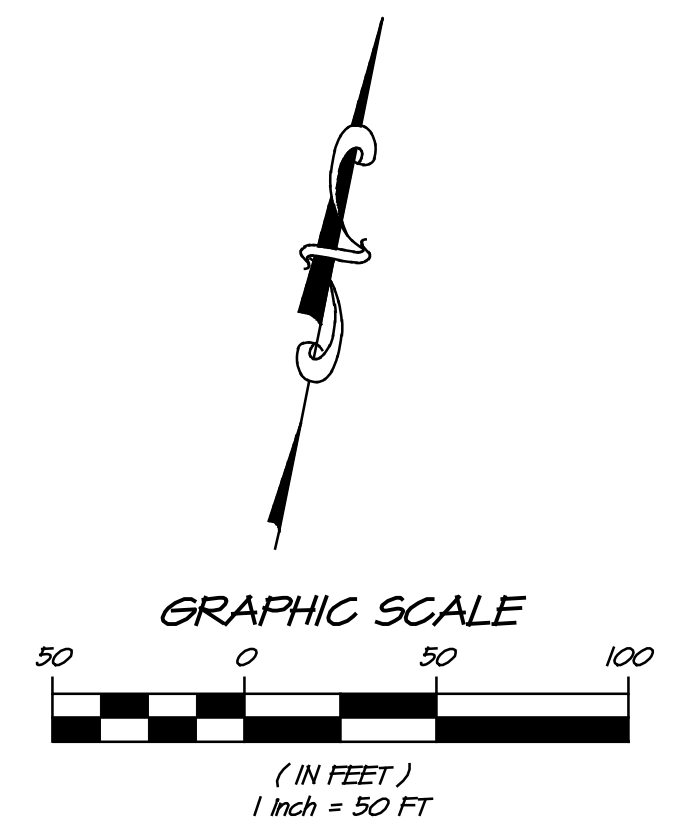


PROPOSED POST CONSTRUCTION BMP's	
BMP (BEST MANAGEMENT PRACTICES)	TREATMENT AREA
1. BIORETENTION AREAS, 4 EACH (SEE DETAIL 1/TM9 IN THIS SHEET)	SEE MAP FOR DMA
2. NO DUMPING, DRAINS TO RIVER'S STAMPING ON ALL INLETS (SEE DETAIL 2/TM9 IN THIS SHEET)	ENTIRE PROJECT
3. WATER QUALITY FEATURE ON SITE'S STAMPING ON ALL BIORETENTION INLETS (SEE DETAIL 3/TM9 IN THIS SHEET)	ENTIRE PROJECT
4. SPLASH BLOCKS ON ALL DOWNSPOUTS (SEE DETAIL 4/TM9 IN THIS SHEET)	ENTIRE PROJECT
5. HOMEOWNER EDUCATION, COPY OF SCP AND MAINTENANCE AGREEMENT TO BE PROVIDED TO OWNER	ENTIRE PROJECT



- 4\"/>**

1
TM9
BIORETENTION AREA DETAIL
NOT TO SCALE

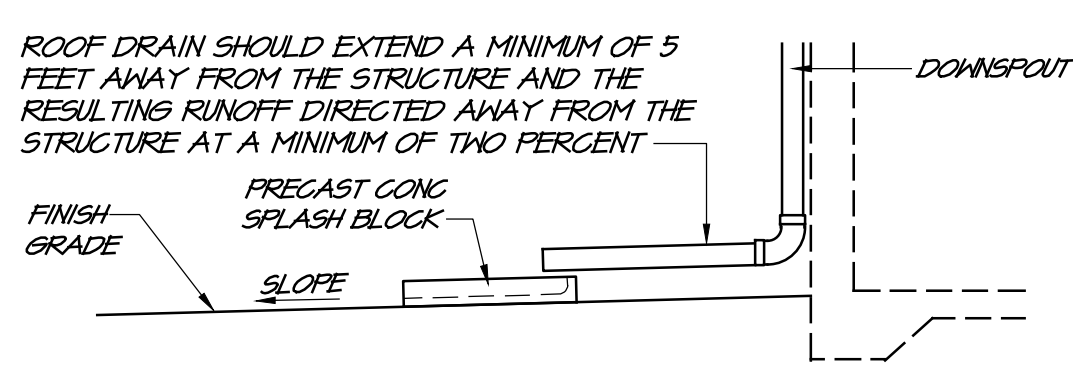


2
TM9
DROP INLET MARKER
NOT TO SCALE



- NOTES**
- EACH BIORETENTION FACILITY WITHIN THE CITY LIMITS SHALL BE MARKED WITH A "WATER QUALITY FEATURE ON SITE - DO NOT ALTER OR REMOVE" MARKER.
 - CONTRACTOR IS TO PURCHASE THESE MARKERS FROM THE PUBLIC WORKS DEPARTMENT LOCATED AT 1600 FIRST STREET.

3
TM9
BIORETENTION FACILITY MARKER
NOT TO SCALE



4
TM9
SPLASH BLOCK DETAIL
NOT TO SCALE

- LEGEND:**
- BIORETENTION AREA
 - DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
 - PROPOSED IMPERVIOUS AREAS
 - PROPOSED PERVIOUS AREAS
 - DRAINAGE FLOW DIRECTION

PROPOSED STORMWATER CONTROL PLAN AREA CALCULATIONS							
DMA #	Total Area (SF)	Proposed Impervious Area (SF)	Impervious Runoff Factor	Proposed Pervious Area (SF)	Pervious Runoff Factor	Required Bioretention Treatment Area (SF)	Provided Treatment Area (SF)
1	298,293	161,020	1	129,479	0.1	6,959	7,794
2	27,627	13,866	1	13,038	0.1	607	723
3	23,876	14,637	1	8,587	0.1	620	652
4	6,306	4,400	1	1,713	0.1	183	193
5 **	700	646		54		UNTREATED	
6 *	13,216	0		13,216		SELF-TREATING	
7 *	45,697	1,488		44,209		SELF-TREATING	
8 *	1,445	0		1,445		SELF-TREATING	
9 **	3,734	3,228		506		UNTREATED	

* THIS DMA IS CONSIDERED SELF-TREATING BECAUSE THERE ARE NO IMPERVIOUS AREAS OR VERY SMALL IMPERVIOUS AREA (3% OR LESS) RELATIVE TO THE RECEIVING PERVIOUS AREA AND SLOPES ARE GENTLE ENOUGH TO ENSURE RUNOFF WILL BE ABSORBED INTO THE VEGETATION AND SOIL.

** STORMWATER RUNOFF FROM THIS DMA LEAVES THE SITE UNTREATED.

BY APPD
REVISIONS
DATE
NO.

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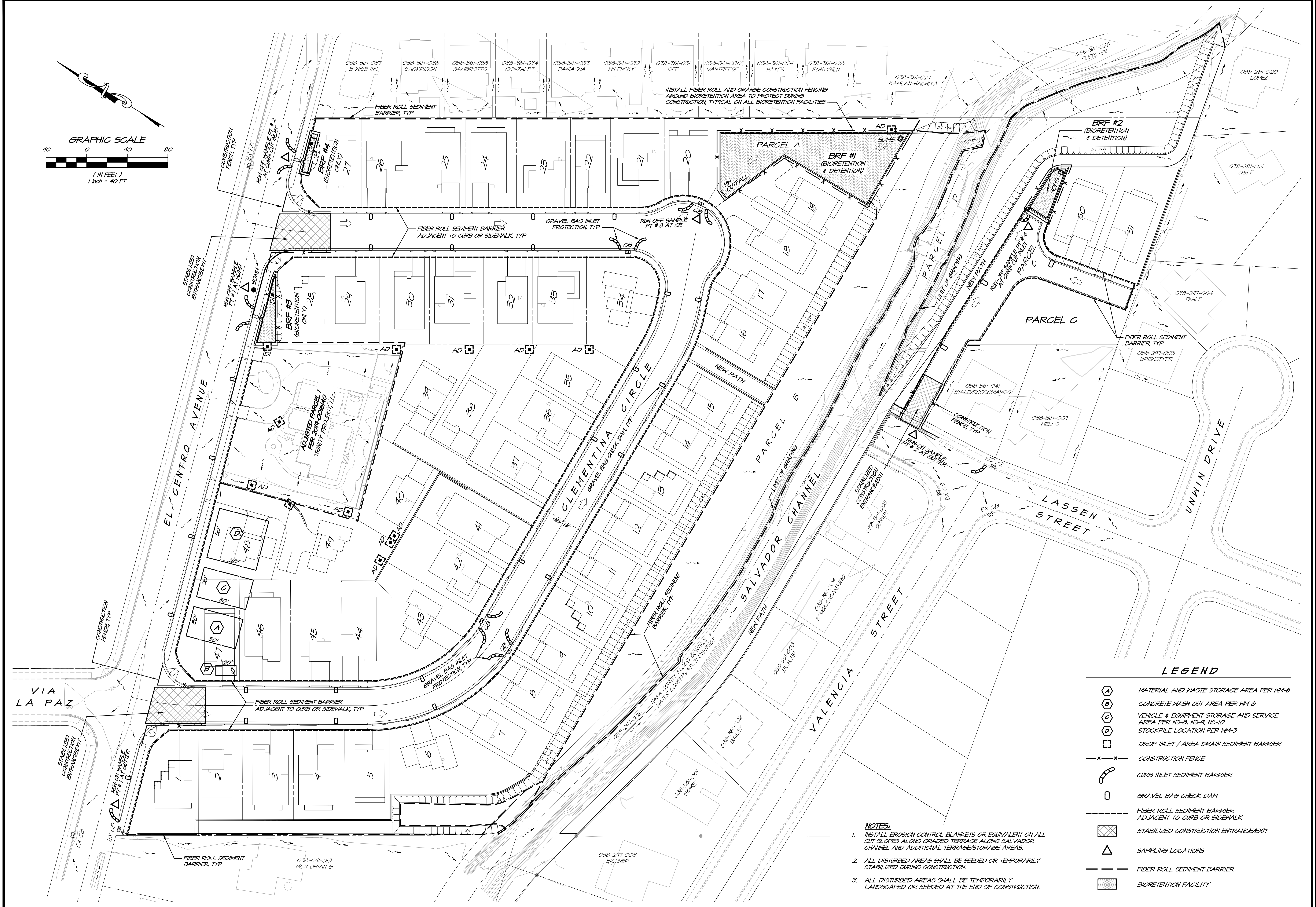
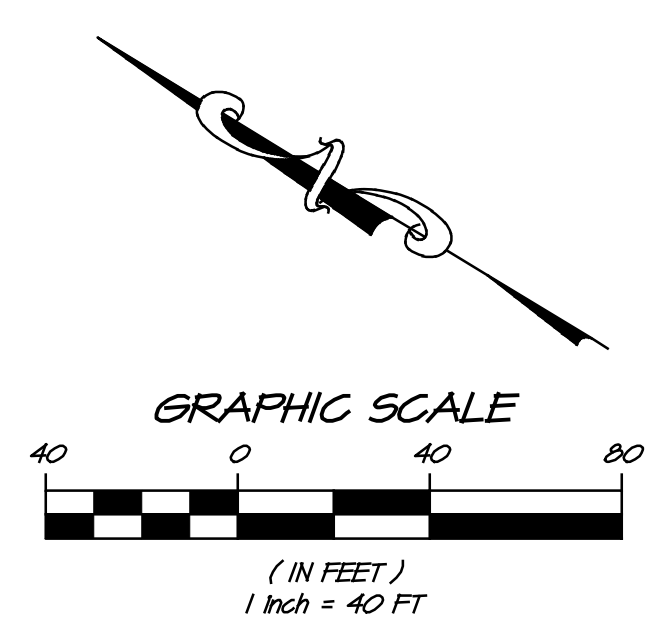
**ZINFANDEL SUBDIVISION
STORMWATER CONTROL PLAN**
CALIFORNIA

NAPA

TM9
10 OF 11 SHEETS

DATE: SEPT 15, 2023
DRAWN: DEL
DESIGNED: RAY
CHECKED: DMD
JOB NO.: 4170710
SHEET NO.: TM9

REGISTERED PROFESSIONAL ENGINEER
No. 20885
DATE OF CALIFORNIA LICENSE: 11/11/2014



INSTALL FIBER ROLL AND ORANGE CONSTRUCTION FENCING AROUND BIORETENTION AREA TO PROTECT DURING CONSTRUCTION, TYPICAL ON ALL BIORETENTION FACILITIES

FIBER ROLL SEDIMENT BARRIER, TYP

BRF #4 (BIORETENTION ONLY)

PARCEL A

BRF #1 (BIORETENTION & DETENTION)

BRF #2 (BIORETENTION & DETENTION)

PARCEL C

ADJUSTED PARCEL 1 PER 2014 CONCORD TRINITY PROJECT, LLC

CLEMENTINA CIRCLE

PARCEL B

LASSEN STREET

UNWIN DRIVE

VIA LA PAZ

EL CENTRO AVENUE

SALVADOR CHANNEL

VALENCIA STREET

FIBER ROLL SEDIMENT BARRIER, TYP

038-041-013 MOX BRIAN G

038-241-003 EICHNER

LEGEND

	MATERIAL AND WASTE STORAGE AREA PER WM-6
	CONCRETE WASH-OUT AREA PER WM-8
	VEHICLE & EQUIPMENT STORAGE AND SERVICE AREA PER NS-8, NS-9, NS-10
	STOCKPILE LOCATION PER WM-3
	DROP INLET / AREA DRAIN SEDIMENT BARRIER
	CONSTRUCTION FENCE
	CURB INLET SEDIMENT BARRIER
	GRAVEL BAG CHECK DAM
	FIBER ROLL SEDIMENT BARRIER ADJACENT TO CURB OR SIDEWALK
	STABILIZED CONSTRUCTION ENTRANCE/EXIT
	SAMPLING LOCATIONS
	FIBER ROLL SEDIMENT BARRIER
	BIORETENTION FACILITY

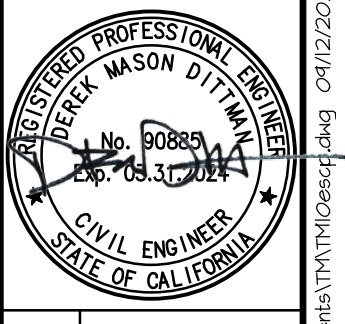
- NOTES:**
- INSTALL EROSION CONTROL BLANKETS OR EQUIVALENT ON ALL CUT SLOPES ALONG GRADED TERRACE ALONG SALVADOR CHANNEL AND ADDITIONAL TERRACE STORAGE AREAS.
 - ALL DISTURBED AREAS SHALL BE SEED OR TEMPORARILY STABILIZED DURING CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE TEMPORARILY LANDSCAPED OR SEED AT THE END OF CONSTRUCTION.

NO.	DATE	REVISIONS	BY

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 * www.rsacivil.com *

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ZINFANDEL SUBDIVISION
 ESCP SITE PLAN
 CALIFORNIA
 NAPA



DATE	SEPT 15, 2023
DRAWN	DEL
DESIGNED	RAY
CHECKED	DMD
JOB NO.	4170710

SHEET NO.
TM10
 11 OF 11 SHEETS