



Service: Pre-Listing Inspection

Prepared for: Amy Gulden

WIN Inspector

Aaron McBride

License No: 21024905
















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🌐 WIN Home Inspection Mt. Vernon

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Inspection Information

Order Details

Site Address: 3221 Brooks Hill Road, Langley, WA 98260
Service Date And Time: September 04, 2025 At 09:00 AM
Work Order Number: 090425AM
ICN Number: 11158AO007

Property Details

Approximate Year Built: 1947	Bedrooms: 2
Approximate Square Footage: 1524	Baths: 2
Occupied: No	Floors: 2
Main Entry Door Faces: South	

Inspector Details

Name: Aaron McBride
License Number: 21024905
Contact Number: (360) 320-8133
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Client

Name: Amy Gulden
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Contact Number: (808) 463-4674

Listing Agent

Name: Amy Gulden
Email: amy@windermere.com
Contact Number: (808) 463-4674
Company: Windermere Langley

Present At Inspection: Listing Agent

Explanation Of Terms

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report

Action Required

Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, or other related items, or present a potential health and/or safety hazard.

Repairs Recommended

Items marked Repairs Recommended are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

Attention

Items marked Attention should be monitored or evaluated further. These items may not require immediate repair, but they show signs of wear or minor deficiencies that, if left unaddressed, could develop into more significant issues over time.

Preventive Measures

Items marked Preventive Measure are in need of routine maintenance or service to ensure continued functionality and prevent potential future issues. The inspector may recommend budgeting for this maintenance or obtaining further evaluation from a third-party professional to clarify or assess the condition of the item.

Functional

Items marked Functional appear to be in serviceable condition using normal operating controls. There was no visible indication of failure at the time the services were performed.

Limitation

Items marked limitation have limited access or limited ability to test or inspect fully, We recommend gaining further information on items marked as a limitation from the owner of the property or from a third party.

Not Inspected

Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, accessibility, visibility, limitation, weather conditions or the inspection of the item is not within the scope of the services performed.

Informational

Items marked informational are included in the inspection as a courtesy or to add information to the customer to help them live in and maintain their home.

Summary

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

Summary

Exterior

1 Mildew And Lichen Growth Concerns

🔧 Repairs Recommended

📍 Location: Detached Studio

The presence of mildew and lichen on the siding can indicate excessive moisture levels, which may lead to degradation of the siding material over time. It is recommended to evaluate and address the moisture source to prevent further growth and potential damage. A qualified contractor can assist in properly cleaning and treating the affected areas to restore the exterior appearance of the property.



2 Unfinished Siding

🔧 Repairs Recommended

📍 Location: Main House

The siding on the house appears to be unfinished. This can lead to moisture penetration, which may result in water damage and mold growth. It is recommended to evaluate and repair the unfinished siding to prevent further damage. A qualified siding contractor can help in completing the siding installation properly to ensure the protection of the exterior walls.



3 Trim With Moss Growth

Repairs Recommended

Location: Main House

The trim on the exterior of the property shows signs of deterioration and moss growth. It is recommended to address this issue promptly to prevent further damage and maintain the aesthetic appeal of the home. A qualified carpenter or general contractor can evaluate the extent of the damage and repair or replace the trim as needed. To prevent future moss growth, ensure proper drainage and sunlight exposure in the area.



4 Exterior Touchup Paint

Repairs Recommended

Location: Main House

The exterior of the property shows signs of wear and tear with areas of chipped or faded paint observed. It is recommended to evaluate and repair the affected areas by touching up the paint to maintain the aesthetics and protect the surfaces from weather damage. Hiring a qualified painter for the paint touchup is advised for a professional finish.



5 Faded Sealant On Exterior Surface

🔧 Repairs Recommended

📍 Location: Detached Studio

The exterior sealant on the surfaces is faded. This can lead to reduced protection against moisture intrusion and may result in damage to the underlying structure. It is recommended to evaluate the sealant and reapply as necessary to maintain the integrity and weather resistance of the surfaces. A qualified contractor can assist with this task.



6 Failed Seals On Storm Windows

🔧 Repairs Recommended

📍 Location: Main House, Multiple Locations

The storm windows show signs of a failed seals. This can lead to decreased energy efficiency and potential water leaks. It is recommended to replace the seal or consider recaulking around the edges to prevent further damage.





7 Broken Glass Pane

✚ Repairs Recommended

Location: Main House, Kitchen

There is a broken window pane at the structure. Replacing the glass pane is needed to provide proper security and for preventative safety measures. Repairs are recommended by a qualified glass company.



8 Door Hinge Pins Exposed

✚ Repairs Recommended

The exterior door(s) appear to be functional; however, further investigation may be needed to determine if the doors were properly installed. By having the hinges on the exterior of the door, removal of the pins could allow the doors to be pulled open and access be gained. Contact a qualified trade for evaluations.

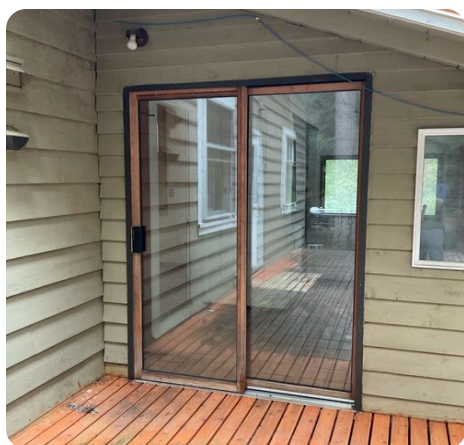


9 Sliding Glass Door Lock Damage

🔧 Repairs Recommended

📍 Location: Main House

The sliding glass door lock is damaged. Evaluate and repair the lock to ensure proper security and functionality. It is recommended to consult a qualified locksmith to repair or replace the damaged lock for optimal safety.



10 French Door Latch Issue

🔧 Repairs Recommended

📍 Location: Detached Studio

The French door latch is not functioning properly, which can impact security and ease of access. It is recommended to evaluate and repair the latch to ensure the door can be securely closed and locked when needed. Seeking the expertise of a qualified locksmith or door repair specialist can help in resolving this issue effectively.



11 Damaged Weather Stripping

Repairs Recommended

Location: Detached Studio

Damaged or missing weather stripping was noted at the exterior door. Having the affected weather stripping replaced is recommended to help prevent moisture penetration and heat loss.



Decks, Balconies, Paved Surfaces

12 Lag Bolts Not Present

Repairs Recommended

Location: Front Deck

The current structure does not appear to be lag bolted or positively anchored. Proper anchoring is essential for supporting both vertical and lateral loads, as nails or toe-nails are prone to withdrawal. It is recommended that all elevated structures be properly lag bolted as a preventative safety measure. Consult with your local jurisdiction department for current requirements and contact a qualified building contractor for repair estimates.



13 Deteriorated Deck Boards

✚ Repairs Recommended

📍 Location: Front Deck, Rear Deck

The inspector noted that the surface is in need of repairs. There were some deteriorated boards noted. We recommend evaluating all of the decks and replacing the deteriorated boards to prevent any further issues. Any repairs should be completed by a qualified professional.





14 **Loose Post** **✚ Repairs Recommended**

📍 Location: Front Deck

The deck has a loose post. This issue can lead to structural instability and compromise the safety of the deck. It is recommended to evaluate and repair the post promptly to prevent any further damage or safety hazards. A qualified contractor should be hired to properly secure the post to ensure the stability of the deck.



15 Railings Issue

Repairs Recommended

Location: Rear Deck

The missing railings pose a safety hazard by not providing necessary support and fall protection. It is recommended to install railings in compliance with building codes to ensure the safety of occupants, especially in elevated areas. Evaluation and repair by a qualified contractor are advised to prevent accidents.



16 Damaged Steps

Repairs Recommended

Location: Rear Deck, Front Deck

Damage to the steps was observed, which could present a safety hazard. It is important to have a qualified contractor evaluate and repair the damaged steps promptly to prevent accidents or further deterioration.



17 Weathered Steps Evaluation

🔧 Repairs Recommended

📍 Location: Rear Deck

The steps on the deck appear weathered, which can impact their structural integrity and safety over time. It is recommended to have a qualified carpenter evaluate the steps for any signs of rot or damage. Repairing or replacing the weathered steps will help ensure the safety of individuals using the deck.



18 Wood/Ground Contact

🔧 Repairs Recommended

The front and back deck steps are in contact with the ground beneath them. This is a conducive condition that can lead to pest infestation. There should generally be at least 4-6 inches of clearance between non-pressure treated wood and the ground to prevent moisture wicking and deterioration. No deterioration appeared to have occurred thus far; however, providing clearance would assist in preventing future deterioration.



Roof

19 Debris On Roof

🔧 Repairs Recommended

📍 Location: Detached Studio

There is debris on the roof. Leaves, branches, or other material that should be removed. This debris will hold moisture and can cause damage to the roof system. Inspection of the areas under the debris is recommended after debris is removed.



20 Algae On Metal Roof

🔧 Repairs Recommended

📍 Location: Detached Garage, Main House

The presence of algae on the metal roof is noted. While algae growth does not typically pose an immediate threat to the roof's integrity, it can affect the aesthetics and longevity of the roof. Cleaning the algae off the metal roof can help improve its appearance and prevent any potential damage over time. It is recommended to address this issue by cleaning the roof surface using a solution of water and mild detergent, or by consulting with a qualified roofing contractor for professional cleaning services.



21 Moss Growth Issue

🔧 Repairs Recommended

📍 Location: Main House

The presence of moss growth on a metal roof can trap moisture, leading to potential water damage and corrosion. It is recommended to evaluate and remove the moss to prevent further deterioration of the roof surface. A qualified roofing contractor can address this issue by safely cleaning the moss and applying treatments to inhibit regrowth. Additionally, ensuring proper ventilation and sunlight exposure can help prevent future moss growth.



22 Excessive Caulking Concern

🔧 Repairs Recommended

📍 Location: Main House

The excessive caulking around the chimney can indicate poor craftsmanship or an attempt to hide underlying issues. This can lead to trapping moisture, causing rot, and further damage. It is recommended to evaluate and repair the caulking by a qualified contractor to prevent water intrusion and maintain the chimney's integrity.



23 Skylight Debris Buildup

🔧 Repairs Recommended

📍 Location: Main House, Detached Studio

Organic debris is covering the skylight. It is recommended to clean the skylight to prevent potential blockage and ensure proper drainage. Use a gentle cleaner and a soft cloth to remove debris. Regular maintenance can help prolong the lifespan of the skylight.



24 Gutters Missing

✚ Repairs Recommended

Location: Detached Studio

The gutters are missing on the roof, which could result in water damage to the foundation and siding of the property. It is recommended to install gutters to properly redirect water away from the home and prevent potential issues. A qualified gutter installation professional can evaluate and install gutters to improve drainage and protect the property.



25 Missing Gutters

🔧 Repairs Recommended

📍 Location: Detached Garage, South Side

There are areas on the roof where gutters are missing. Gutters play a crucial role in directing water away from the foundation of the house, preventing potential damage. Evaluating and repairing these missing gutters is recommended to ensure proper drainage and prevent water issues. A qualified gutter specialist should be contacted for further evaluation and installation if needed.

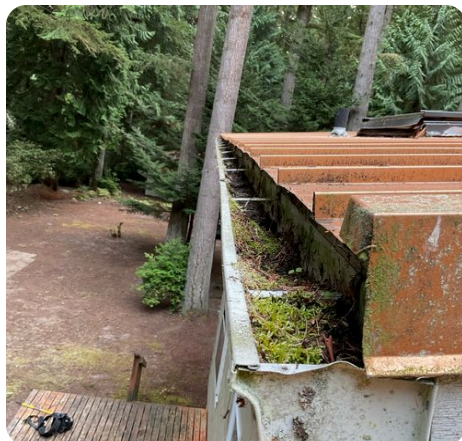


26 Debris In Gutters

🔧 Repairs Recommended

📍 Location: Main House

The gutters have debris buildup which should be cleaned to prevent clogging of the gutters, downspouts, and/or drainage systems. It is recommended to clean the gutters semi-annually for proper care and maintenance of the gutter system. Contacting a qualified professional for this maintenance is advised.



27 Loose Gutter

🔧 Repairs Recommended

📍 Location: Detached Garage

There is a loose gutter on the roof area, which may cause water overflow and potential damage to the surrounding areas. It is recommended to evaluate and repair the loose gutter to ensure proper functionality and prevent any future issues. A qualified gutter repair professional should be contacted for further assistance.



Garage

28 Moisture Issue On Garage Floor

🔧 Repairs Recommended

The presence of moisture on the garage floor could indicate a potential water leakage issue. It is recommended to evaluate the source of moisture and repair it promptly to prevent further damage and potential mold growth. A qualified contractor can assess the situation and suggest appropriate solutions.



29 Deteriorated Trim/Siding Issue

✚ Repairs Recommended

📍 Location: NE Corner, East Door

The trim and siding on the corner of the garage and garage door trim are deteriorated. This can lead to further damage to the structure and should be evaluated and repaired by a qualified carpenter to prevent moisture intrusion and maintain the integrity of the garage.

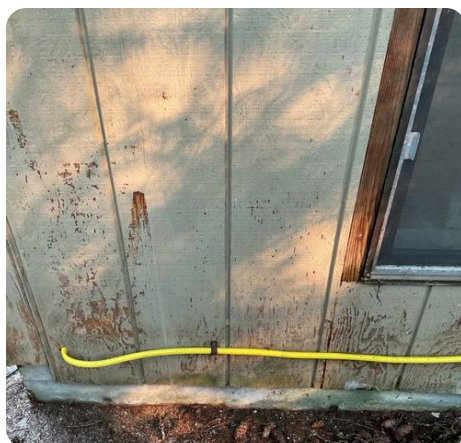


30 Exterior Paint Touch Up Required

Repairs Recommended

Location: Detached Garage

The exterior of the detached garage shows signs of paint deterioration, with areas that require touch up to maintain protection against weather elements. It is recommended to evaluate the extent of the damage and hire a qualified painter to repair the affected areas to prevent further issues and ensure the aesthetics of the property.



31 Unpainted Soffit Areas

Repairs Recommended

Location: Detached Garage

The soffit areas in the garage are unpainted. It is recommended to paint the soffits to protect the wood from moisture damage and extend its lifespan. Painting the soffit areas also enhances the overall appearance of the garage interior. Consider evaluating and painting the unpainted soffit areas to maintain them in good condition.



32 Insect Damage In Garage

Repairs Recommended

Location: Attic, Detached Garage

The presence of insect damage is observed in the garage. It is recommended to evaluate and repair the affected areas to prevent further damage and infestation. Hiring a qualified pest control professional can help address the issue effectively.





33 Door Trim Holes

🔧 Repairs Recommended

📍 Location: Detached Garage

The emergence holes in the door trim should be properly evaluated and repaired. These holes may indicate the presence of wood-destroying insects such as termites or carpenter ants. It is recommended to consult with a licensed pest control professional to assess the extent of the infestation and to treat it accordingly.



34 Dry Moisture Stains Issue

Repairs Recommended

Location: Detached Garage

The presence of dry moisture stains on the ceiling may indicate a previous water leak or high humidity levels. It is recommended to evaluate the source of the moisture and repair accordingly to prevent any further damage. Depending on the extent of the issue, a qualified contractor may need to address the underlying cause and repair the affected area to ensure the structural integrity of the ceiling.





35 Mildew On Exterior Siding

✚ Repairs Recommended

📍 Location: Detached Garage

The presence of mildew on the exterior siding. It is recommended to clean the affected areas with a mixture of water and bleach to inhibit further growth. Consider improving ventilation around the siding to prevent future mildew growth. If the issue persists, contact a qualified professional.



36 Rodent Intrusion In Garage

✚ Repairs Recommended

📍 Location: Detached Garage

The presence of rodent intrusion in the garage is noted. This can lead to damage to property, contamination, and potential health hazards. It is recommended to evaluate and remove any nesting materials, seal entry points, and consider contacting a pest control specialist to address the issue.



37 Organic Staining Observation

🔧 Repairs Recommended

📍 Location: Attic, Detached Garage

The presence of organic staining on the sheathing has been noted. This could be an indication of water intrusion or potential mold growth. It is recommended to further evaluate the source of moisture and address any underlying issues to prevent further damage. A qualified contractor should be consulted to investigate and repair as needed.



Electrical

38 Trees In Contact With Overhead Utility Lines

🔧 Repairs Recommended

Tree branches were noted to be in contact with the overhead electrical service wires. Trees may cause damage to the service entrance conductors presenting an electrical functionality and safety concern. The inspector recommends having the tree limbs trimmed away from the service lines by a qualified professional. The utility provider may or may not be responsible for keeping trees trimmed away from the service lines. Please contact your local utility provider for more information. This work should not be performed by the homeowner or an unqualified professional due to the safety hazard that exists.

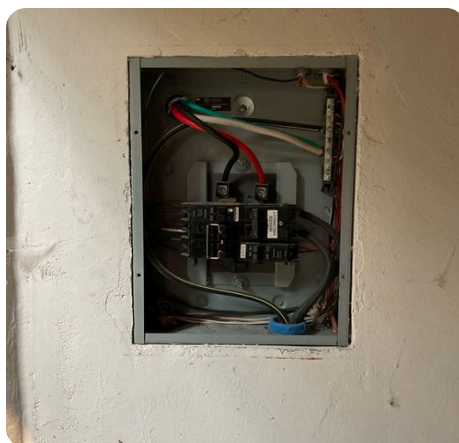


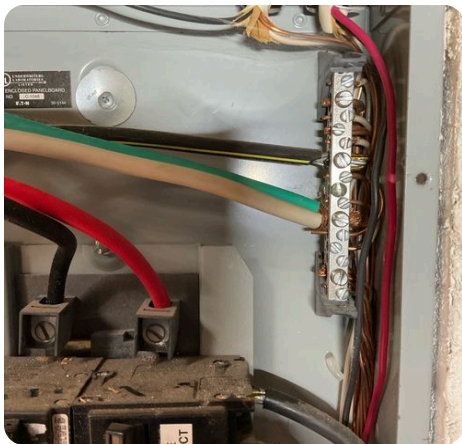
39 Shared Bus Bar For Grounds And Neutrals

🔧 Repairs Recommended

📍 Location: Detached Studio

The subpanel has grounds and neutrals sharing the same bus bar, which is not up to current electrical code standards. This setup can lead to safety hazards, such as improper grounding and potential overloading. It is recommended to have a qualified electrician evaluate and repair this issue by separating the grounds and neutrals onto their respective bus bars to ensure proper functioning and safety of the electrical system.



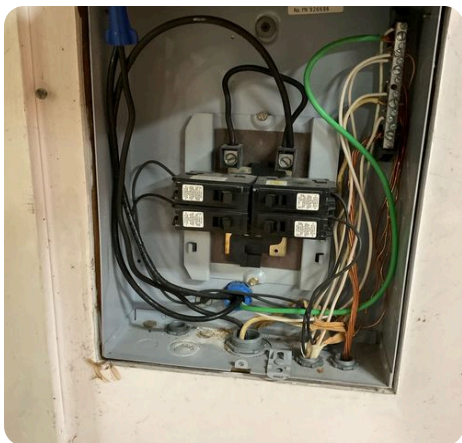


40 Double-Tapped Neutral

✚ Repairs Recommended

📍 Location: Detached Garage

Double-tapped neutral was observed at the sub-panel where two neutral wires are connected to a single terminal slot. This could result in poor connections, and overheating, and poses a potential fire hazard. It is advised to contact a qualified electrician to address this issue for the safety and optimal performance of the electrical system.



41 Face Plate Not Installed

✚ Repairs Recommended

📍 Location: Detached Garage

The face plate is not installed and is sitting on the ground. It is recommended to properly install the face plate to ensure safety and functionality of the electrical components. Securing the face plate in place will prevent dust accumulation and reduce the risk of accidental damage to the wiring.



42 GFCI Receptacle Failed Test

Repairs Recommended

Location: Main House, Multiple Locations, Detached Garage, Detached Studio

The GFCI receptacle did not operate properly or 'trip' when tested. GFCI receptacles are designed to protect against electrical shock and should be in proper working condition. It is recommended to have a qualified electrician evaluate and repair or replace the receptacle.



43 Missing GFCI Protection

Repairs Recommended

Location: Main House, Bathrooms, Kitchen

Ground Fault Circuit Interrupter (GFCI) protection is missing in potential wet locations. GFCIs are crucial in these areas to protect against electric shocks. It is recommended to have a qualified electrician install GFCI outlets for safety.

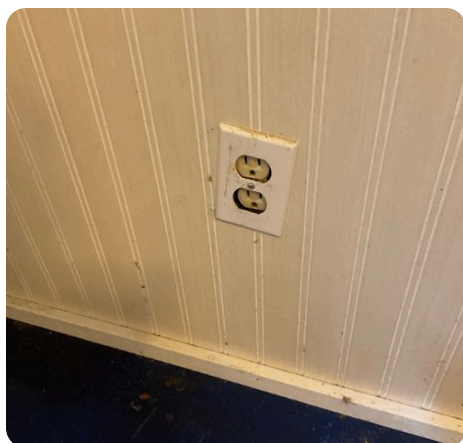


44 Gap Between Outlets And Covers

🔧 Repairs Recommended

📍 Location: Main House, Multiple Locations

The presence of a gap between outlets and their covers can pose a safety hazard as it exposes electrical components. It is recommended to evaluate and repair these gaps promptly to prevent any risk of electric shock or damage. This can be addressed by installing proper-sized outlet covers or utilizing outlet spacers. If unsure, contacting a licensed electrician is advised for professional assistance.



45 Missing Junction Box Covers

🔧 Repairs Recommended

📍 Location: Attic, Main House, Detached Garage

Some junction boxes are missing covers. Installing covers is recommended for safety reasons.

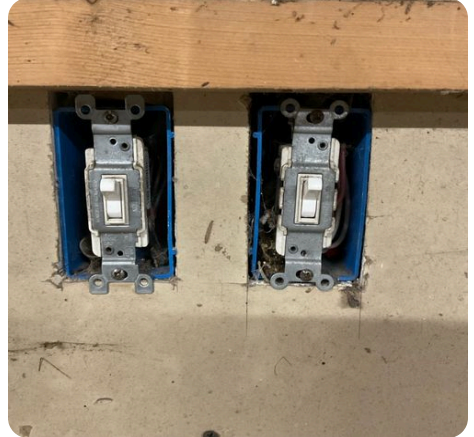


46 Missing Outlet And Switch Covers

Repairs Recommended

Location: Detached Garage

The outlet and switch covers are missing in multiple areas. It is recommended to install outlet and switch covers to prevent electrical hazards and to ensure the safety of the occupants. You can easily purchase covers at a hardware store and install them yourself following the manufacturer's instructions.



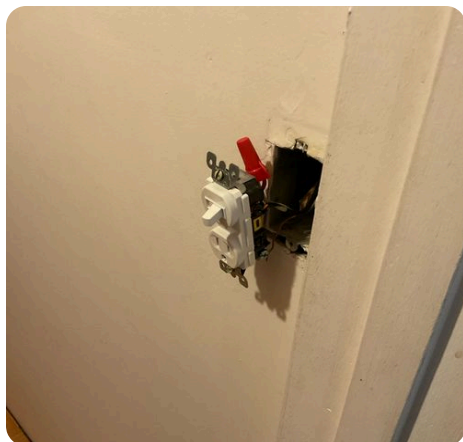


47 **Loose Switch**

🔧 **Repairs Recommended**

📍 Location: Upstairs Closet, Main House

The switch was found to be loose during the inspection. A loose switch can be a safety hazard as it may cause electrical arcing or even a potential fire risk due to overheating. It is recommended to have a qualified electrician evaluate and repair this issue to ensure proper and safe operation.



48 **Loose Switch Knob**

🔧 **Repairs Recommended**

📍 Location: Lower Level Bathroom, Main House

The switch knob on one of the switches is loose. This can lead to difficulty in operating the switch and might pose a safety hazard. It is recommended to tighten or replace the switch knob to ensure proper functionality and safety. If unsure, consider hiring a qualified electrician to evaluate and repair as needed.



49 **Outlet Not Functioning**

🔧 **Repairs Recommended**

📍 Location: Detached Studio

The inspector found one exterior outlet that did not have power. Contact an electrician for further evaluation and repair.



HVAC

50 **Non-Functional Electric Wall Heater**

🔧 **Repairs Recommended**

📍 Location: Upstairs Room, Main House

One of the electric wall heaters in the was not functional. We recommend evaluating and repairing the electric wall heater as needed. All other electric wall heaters were functional. Contact a licensed electrician to inspect and repair the electric wall heater as needed.



51 Missing Thermostat Control Knob

Repairs Recommended

Location: Main House, Laundry Room

The thermostat in the HVAC system is missing a control knob. This can make it difficult to adjust the temperature settings accurately. It is recommended to replace the missing knob to ensure proper functionality and control of the HVAC system.



52 Thermostat Cover Missing

Repairs Recommended

Location: Detached Garage

The thermostat cover is missing. It is recommended to have the thermostat cover in place to protect the internal components from dust and damage. Consider replacing the cover to ensure proper functioning of the thermostat.



Plumbing

53 Insulation Needed For Water Pipes

✚ Repairs Recommended

📍 Location: Main House, Crawl Space

The water pipes in the home are uninsulated. It is recommended to insulate water pipes, especially in cold climates, to prevent freezing and potential bursting during winter months. Insulating water pipes can also help in conserving energy by reducing heat loss. A qualified plumber can evaluate the pipes and install appropriate insulation to prevent any issues in the future.



54 Propane Tanks Not Secured

✚ Repairs Recommended

📍 Location: Detached Garage

The propane tank(s) is/are not secured to prevent movement. Strapping the tank(s) to prevent it/them from tipping over is recommended. Contact a qualified professional to perform this maintenance.



55 Stained Toilet With Broken Seat

✚ Repairs Recommended

📍 Location: Lower Level Bathroom, Main House

The stained toilet with a broken seat suggests that there may have been an overflow in the past, leading to potential water damage. It is recommended to evaluate the toilet for any underlying issues and repair or replace the broken seat to ensure proper functionality.

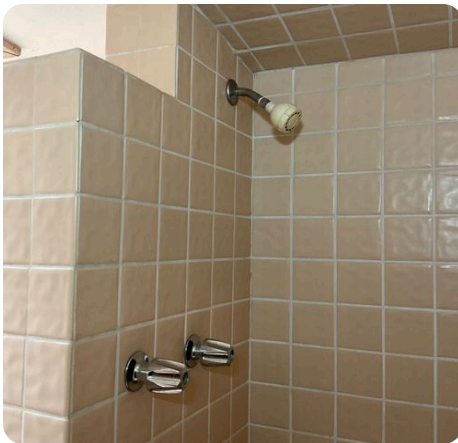


56 Non-Functioning Tub/Shower Faucet

✚ Repairs Recommended

📍 Location: Main House, Upstairs Bathroom, North Shower Head

The tub/shower faucet is not functioning properly. This issue can lead to inconvenience and affect the functionality of the tub/shower unit. It is recommended to have a licensed plumber evaluate and repair the faucet to ensure proper operation.



57 Non Functional Sink Faucet

✚ Repairs Recommended

📍 Location: Upstairs Bathroom

The sink faucet is not functioning properly. This can be due to a variety of issues such as a damaged internal mechanism or mineral build-up. It is recommended to have a qualified plumber evaluate and repair the faucet to ensure proper functionality. Regular maintenance, such as cleaning out debris and mineral deposits, can help prevent similar issues in the future.



58 Low Water Flow When Other Fixtures Are In Use

✚ Repairs Recommended

📍 Location: **Lower Level Bathroom**

The water pressure in the sink appears to decrease when other fixtures are being used concurrently, indicating a potential issue with the plumbing system. It is recommended to have a licensed plumber evaluate the water pressure and make any necessary repairs to improve the flow rate. In some cases, installing a pressure-balancing valve or upgrading to a larger pipe size may help alleviate this issue.



Water Heating Equipment

59 Missing Water Heater Straps

✚ Repairs Recommended

📍 Location: **Detached Studio**

The water heater is missing seismic straps for stability. It is recommended to have a qualified plumber install water heater earthquake straps to secure the unit and reduce the risk of tipping over during seismic activity.



60 Rust At Water Heater

✚ Repairs Recommended

📍 Location: Detached Studio

The presence of rust on the water heater can indicate corrosion, which may lead to leaks or other water damage. It is recommended to have a qualified plumber evaluate the extent of corrosion and repair or replace any affected parts to prevent further deterioration.

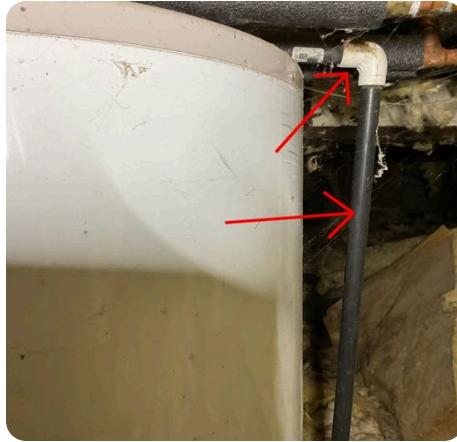


61 Improper Discharge Pipe Material

✚ Repairs Recommended

📍 Location: Main House

The discharge pipe material appears to be PVC, which is not heat-rated. The discharge pipe should be made of heat-resistant material, such as copper, PEX, or CPVC, to ensure it can withstand high temperatures in the event of a discharge. It is recommended to have a qualified plumber evaluate and repair this issue to ensure proper functionality of the TPR valve.



62 TPR Valve Encrustation Issue

🔧 Repairs Recommended

📍 Location: Detached Studio

The TPR valve shows encrustation, which can hinder its proper functioning. It is recommended to evaluate the valve to ensure it opens smoothly in case of high temperature or pressure. A qualified plumber should be contacted to clean or replace the valve if necessary.



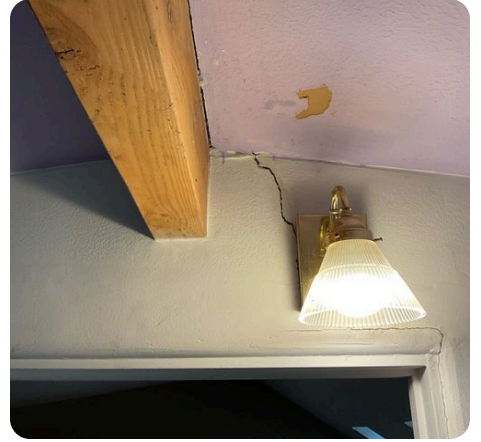
Interior

63 Damaged Drywall

🔧 Repairs Recommended

📍 Location: Main House

Areas of damaged or cracked drywall were observed in the walls. Evaluating and repairing these issues is recommended as they can impact the aesthetic appeal of the home and may lead to further damage if not addressed. Contacting a qualified drywall contractor to assess the extent of necessary repairs and to ensure proper repairs are made is suggested.



64 Effluence Staining Issue

✚ Repairs Recommended

📍 Location: Main House, Lower Level Bathroom

There is effluence staining on the bathroom floor, which indicates a potential plumbing leak. We recommend further evaluation and repair by a qualified plumber to address the issue and prevent any further damage.



65 Carpet Condition

Repairs Recommended

Location: Main House

The carpet in the property is heavily stained and damaged. This can not only be unsightly but also indicate a lack of maintenance. It is recommended to evaluate and repair the carpet by either deep cleaning or replacing it to improve the aesthetic appeal of the space.

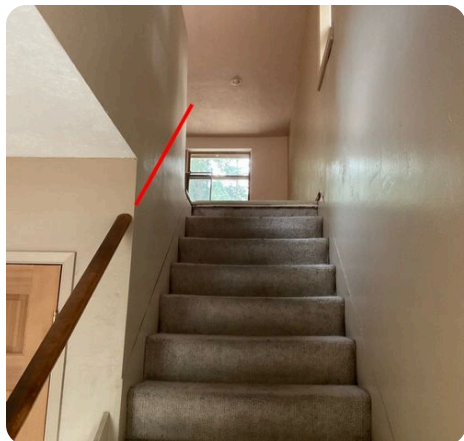


66 Missing Handrail

Repairs Recommended

Location: Main House

The handrail/railing system is missing in the stairwell, posing a fall hazard if someone were to trip. It is recommended to have a qualified professional install handrail/railing systems as a preventive safety measure.



67 Smoke Alarm Missing

✚ Repairs Recommended

📍 Location: **Lower Level Bedroom, Main House**

There is a missing smoke alarm. Smoke alarms provide early warning in case of a fire, ensuring the safety of the occupants. A working smoke alarm should be installed in every bedroom and in the hallway outside sleeping areas. Installing a smoke alarm is recommended to ensure occupant safety. Regularly testing the alarms is also advised.



68 Smoke Alarm Missing

✚ Repairs Recommended

📍 Location: **Detached Studio**

There is a missing smoke alarm. Smoke alarms provide early warning in case of a fire, ensuring the safety of the occupants. A working smoke alarm should be installed in every bedroom and in the hallway outside sleeping areas. Installing a smoke alarm is recommended to ensure occupant safety. Regularly testing the alarms is also advised.

69 No CO Alarm

✚ Repairs Recommended

Location: **Detached Studio**

A carbon monoxide (CO) detector is not present in the structure. It is crucial to have a CO alarm installed at the required location for safety reasons. Each level of the home, including basements, should have a detector located near sleeping areas, following recommended safety guidelines. Installation and placement of CO detectors can be done by a qualified trade if needed.

70 Past Moisture Damage In Cabinet

✚ Repairs Recommended

Location: **Upstairs Bathroom, Kitchen**

The cabinet shows signs of past moisture damage, which could indicate a previous leak or elevated moisture levels in the area. It is recommended to evaluate the extent of the damage and repair any affected areas to prevent further issues such as mold growth or structural deterioration. A qualified contractor can assess the damage and replace any compromised materials.

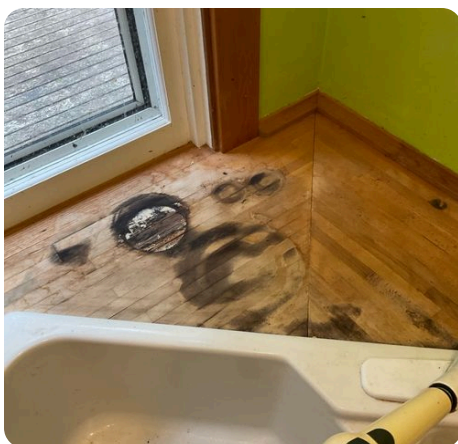


71 Damaged Countertops

✚ Repairs Recommended

Location: **Kitchen**

The countertops exhibit visible scratches, chips, or cracks on the surface, which can impact both the aesthetics and functionality of the area. It is important to address this issue by evaluating and repairing the damaged areas. Depending on the severity of the damage, contacting a qualified countertop professional may be necessary for repair or replacement.

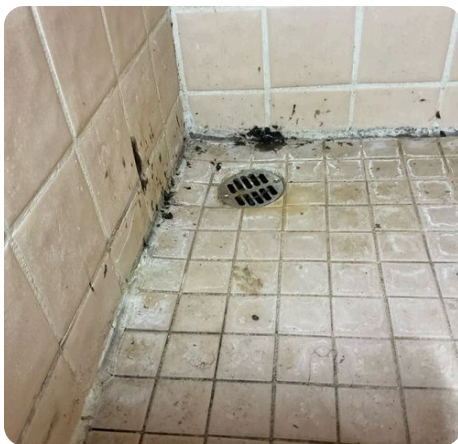
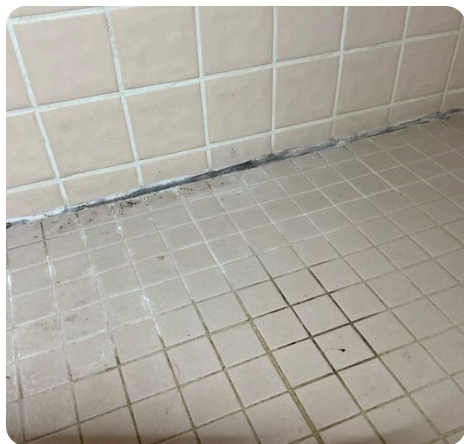


72 Mildew In Grout

🔧 Repairs Recommended

📍 Location: Main House

The presence of mildew in the grout can indicate excessive moisture levels in the area, which can lead to mold growth and potentially impact indoor air quality. It is recommended to evaluate and repair the grout by thoroughly cleaning it with a mixture of water and vinegar or a mildew cleaner, and ensuring proper ventilation to prevent future mildew growth.



73 Shower Caulking Mildew Issue

🔧 Repairs Recommended

📍 Location: Main House

The presence of mildew in the shower caulking should be addressed. Mildew not only looks unsightly, but can also indicate a damp environment which can lead to mold growth. It is recommended to evaluate the caulking, remove any mildew present, and recaulk the shower to prevent further issues. Ensure the shower area is well-ventilated after each use to discourage mildew growth in the future.



74 Painted Shut Window

Repairs Recommended

Location: **Main House, Multiple Locations**

The window is painted shut, which is common in older homes or windows that have not been opened for a long time. It is essential to be able to open windows for ventilation and emergencies. Having a qualified window contractor assess and fix the window is recommended to ensure smooth operation.

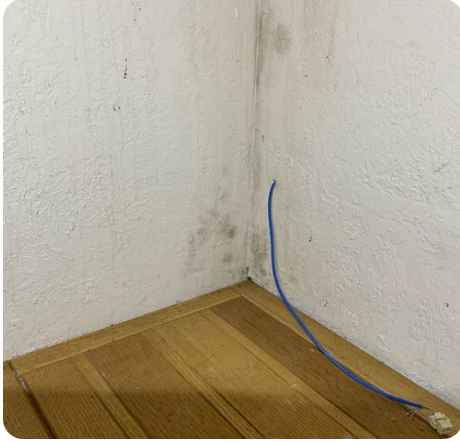


75 Mildew Presence Concerns

Repairs Recommended

Location: **Main House**

Mildew is present in multiple areas. It is recommended to address this issue promptly to prevent further growth and to maintain a healthy indoor environment. Evaluation and repair by a qualified mold remediation specialist may be necessary to effectively eliminate the mildew.



76 Carpenter Ant Frass And Carcasses

Repairs Recommended

Location: Loft, Detached Studio

The presence of carpenter ant frass and carcasses indicates a possible infestation in the property. It is recommended to evaluate and address this issue promptly to prevent further damage to the structure. Hiring a licensed pest control professional can help in identifying the extent of the infestation and providing appropriate treatment to eliminate the ants.



77 Evidence Of Rodents

Repairs Recommended

Location: Detached Studio

The presence of rodent droppings in a property can lead to health hazards and damage. It is recommended to address this issue promptly to prevent further infestation. Contacting a licensed pest control professional for evaluation and extermination is advised.



78 Mildew And Elevated Moisture Issue

Repairs Recommended

Location: Detached Studio

The presence of mildew and elevated moisture on the walls is a sign of excessive moisture levels within the property. This can lead to mold growth and potential structural damage if not addressed. It is recommended to evaluate the ventilation in the affected area and repair any leaks or sources of moisture. A qualified contractor can help in identifying the root cause and providing solutions to prevent further moisture issues.





Appliances

79 No Anti-Tip Bracket

🔧 Repairs Recommended

📍 Location: Kitchen

There is no anti-tip bracket installed for the oven. This device prevents the oven from tipping forward in the event that something heavy is set on the open oven door. For added safety, the inspector recommends that a bracket be installed.



80 Door Not Closing

🔧 Repairs Recommended

📍 Location: Kitchen

The dishwasher door is not closing properly. This issue can lead to water leakage during operation and may result in inefficient cleaning. Evaluate and repair the door latch or hinges as needed to ensure proper functionality. If the problem persists, consider contacting a qualified appliance repair technician for further assistance.



Fireplace

81 Wood Stove Cleaning Recommended

🔧 Repairs Recommended

📍 Location: Main House

It is recommended to clean the wood stove to ensure proper functionality and prevent potential fire hazards. Soot and debris accumulation can restrict airflow and decrease efficiency. Consider hiring a professional chimney sweep for a thorough cleaning.



82 Cracked Fire Bricks In Firebox

🔧 Repairs Recommended

📍 Location: Main House

The fire bricks at the backside of the firebox are cracked, which can lead to heat escaping and potential safety hazards. It is recommended to evaluate and repair the cracked fire bricks by a qualified mason or fireplace technician to ensure proper functionality and safety of the fireplace.



Structural Components

83 Insect Damage

🔧 Repairs Recommended

📍 Location: Main House

The presence of insect damage in the structural components should be evaluated and repaired promptly. Insect damage can weaken the integrity of the beams, columns, or posts, potentially compromising the stability of the structure. It is recommended to consult with a licensed pest control professional to address the infestation and repair any damage to prevent further structural issues.



84 Improperly Notched Beam With Split

Repairs Recommended

Location: Main House

The beam in the property has been improperly notched, leading to a split. This issue compromises the structural integrity of the beam, which could affect the overall stability of the building. It is recommended to evaluate the extent of the damage and repair the beam promptly to prevent further deterioration. A qualified carpenter or structural engineer should be consulted for appropriate repairs to ensure the beam is properly reinforced.



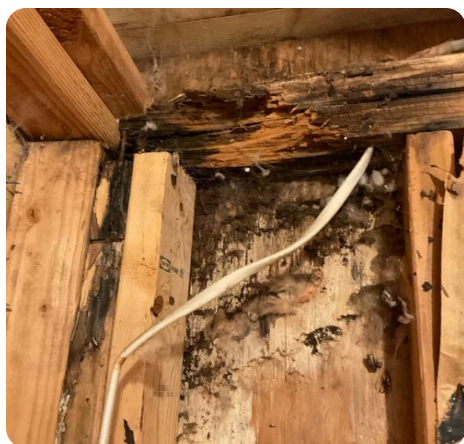
85 Deteriorated Rafter And Framing

Repairs Recommended

Location: Upstairs Closet, Upstairs Room, Main House

The rafter and framing in the roof show signs of deterioration. This can compromise the structural integrity of the roof and may lead to further damage if not addressed. It is recommended to evaluate the extent of the deterioration and repair or replace the affected components as necessary. A qualified contractor should be consulted to ensure the repairs are done properly.





86 Insect Frass Issue

🔧 Repairs Recommended

📍 Location: Main House

The presence of insect frass in the attic indicates a possible infestation. Insect frass, the excrement of wood-destroying insects like termites or carpenter ants, can lead to structural damage if left unchecked. It is recommended to contact a pest control specialist to evaluate the extent of the infestation and address it promptly to prevent further damage.



Insulation and Ventilation

87 Rodent/Small Animal Activity

🔧 Repairs Recommended

📍 Location: Main House

There was evidence of rodent/Small Animal activity in the insulation (visible droppings and/or trails). It could not be determined at the time of the inspection whether the activity was current, and no available access could be found. Extermination and control measures are recommended. Contact a qualified Pest Control Operator to evaluate and provide the appropriate control measures.





88 Insecure Crawlspace Access Covers

🔧 Repairs Recommended

📍 Location: Main House

The Crawlspace access covers are not secure. This can lead to safety hazards, pest infestations, and energy inefficiency. It is recommended to secure the access covers properly to prevent these issues. You may consider installing locks or latches to ensure the covers are tightly sealed.





89 Rodent/Small Animal Intrusion

Repairs Recommended

Location: Main House

Evidence of rodent or small animal intrusion found in the crawl space. (Inspector visually saw raccoon in crawl space) This can lead to damage to insulation and potential health hazards. It is recommended to evaluate and repair any entry points or gaps in the crawl space to prevent further intrusion. Consider hiring a pest control professional to address the issue and ensure the crawl space is properly sealed to prevent future infestations.





90 Old Vapor Barrier

🔧 Repairs Recommended

📍 Location: Main House

The vapor barrier in the crawl space appears to be old. It is recommended to evaluate and replace the vapor barrier with 6 mil black vapor barrier to ensure proper moisture control and insulation effectiveness. Qualified professionals such as insulation contractors can assist with this replacement.

91 Kitchen Vent Fan Recirculation

🔧 Repairs Recommended

📍 Location: Main House

The vent fan should be properly vented to the outdoors to effectively remove cooking odors, moisture, and airborne grease. Recirculating the vent fan may not be as efficient in improving indoor air quality. It is recommended to evaluate the current setup and consider rerouting the vent to exhaust outside to enhance ventilation.



Pre-Listing Inspection

Pre-Listing Inspection

1.1 Exterior > Siding and Trim

About the Siding and Trim

Siding Material: Wood, Stucco

Mildew And Lichen Growth Concerns

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The presence of mildew and lichen on the siding can indicate excessive moisture levels, which may lead to degradation of the siding material over time. It is recommended to evaluate and address the moisture source to prevent further growth and potential damage. A qualified contractor can assist in properly cleaning and treating the affected areas to restore the exterior appearance of the property.



Unfinished Siding

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The siding on the house appears to be unfinished. This can lead to moisture penetration, which may result in water damage and mold growth. It is recommended to evaluate and repair the unfinished siding to prevent further damage. A qualified siding contractor can help in completing the siding installation properly to ensure the protection of the exterior walls.



Trim With Moss Growth

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The trim on the exterior of the property shows signs of deterioration and moss growth. It is recommended to address this issue promptly to prevent further damage and maintain the aesthetic appeal of the home. A qualified carpenter or general contractor can evaluate the extent of the damage and repair or replace the trim as needed. To prevent future moss growth, ensure proper drainage and sunlight exposure in the area.



Siding Functional

 Functional

 Location: Main House

The siding material appears to be in an overall functional condition. A program of regular/routine maintenance is recommended to maintain the integrity of the caulking around the windows, doors, nail holes, and gaps between the siding boards as well as periodic painting or surface refinishing to provide long-term protection. Note: This is a non-invasive inspection and the inspector cannot see conditions behind the siding material.




1.2 Exterior > Paint/Coating and Caulking

Exterior Touchup Paint

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The exterior of the property shows signs of wear and tear with areas of chipped or faded paint observed. It is recommended to evaluate and repair the affected areas by touching up the paint to maintain the aesthetics and protect the surfaces from weather damage. Hiring a qualified painter for the paint touchup is advised for a professional finish.





Faded Sealant On Exterior Surface

 (Included in
Summary)

 Repairs Recommended

 Location: Detached Studio

The exterior sealant on the surfaces is faded. This can lead to reduced protection against moisture intrusion and may result in damage to the underlying structure. It is recommended to evaluate the sealant and reapply as necessary to maintain the integrity and weather resistance of the surfaces. A qualified contractor can assist with this task.



1.3 Exterior > Exterior Windows


About the Exterior Windows

Window Type: Wood

Failed Seals On Storm Windows

 (Included in
Summary)

 Repairs Recommended

 Location: Main House, Multiple Locations

The storm windows show signs of a failed seals. This can lead to decreased energy efficiency and potential water leaks. It is recommended to replace the seal or consider recaulking around the edges to prevent further damage.






Broken Glass Pane

 (Included in Summary)

 Repairs Recommended

 Location: Main House, Kitchen


There is a broken window pane at the structure. Replacing the glass pane is needed to provide proper security and for preventative safety measures. Repairs are recommended by a qualified glass company.



1.4 Exterior > Eaves, Soffits, and Fascia

Unfinished/Unpainted Soffits

 Preventive Measure

 Location: Main House

The soffits were found to be unfinished. It is recommended to properly prep and paint these areas to protect the wood from weathering and prolong its lifespan. A qualified painter or carpenter can assist with evaluating and repairing these issues.



1.5 Exterior > Vegetation, Grading, Surface Drainage

Grading Recommendations

i Informational

The grading around the perimeter of the foundation should be maintained to adequately drain excessive surface and roof runoff water away from the structure. Due to the soil type and/or amount of water from surrounding areas, even flat lots may hold water. It is recommended that the grade slope away from the structure at least 6" for the first 6'-10' away from the foundation.





Vegetation Recommendations

Informational

All vegetation should be kept trimmed 12 inches away from the structure to eliminate a common avenue for pest infestation and damage to the exterior structure material. Maintenance of overhanging trees, vines and other plant material is recommended.

1.6 Exterior > Exhaust Hoods, Vents, and Other Penetrations

Generally Serviceable

Functional

Location: Main House

The exhaust hoods, vents, and other penetrations appeared to be serviceable.



1.7 Exterior > Exterior Doors

Door Hinge Pins Exposed

(Included in Summary)

Repairs Recommended


The exterior door(s) appear to be functional; however, further investigation may be needed to determine if the doors were properly installed. By having the hinges on the exterior of the door, removal of the pins could allow the doors to be pulled open and access be gained. Contact a qualified trade for evaluations.



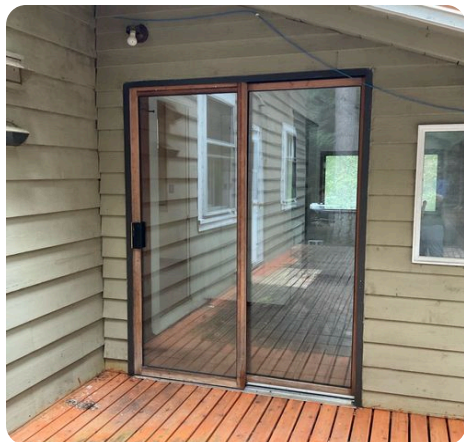
Sliding Glass Door Lock Damage

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The sliding glass door lock is damaged. Evaluate and repair the lock to ensure proper security and functionality. It is recommended to consult a qualified locksmith to repair or replace the damaged lock for optimal safety.



French Door Latch Issue

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The French door latch is not functioning properly, which can impact security and ease of access. It is recommended to evaluate and repair the latch to ensure the door can be securely closed and locked when needed. Seeking the expertise of a qualified locksmith or door repair specialist can help in resolving this issue effectively.



Damaged Weather Stripping

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

Damaged or missing weather stripping was noted at the exterior door. Having the affected weather stripping replaced is recommended to help prevent moisture penetration and heat loss.




2.1 Decks, Balconies, Paved Surfaces > Deck Installation, Foundation

Lag Bolts Not Present

 (Included in Summary)

 Repairs Recommended

 Location: Front Deck


The current structure does not appear to be lag bolted or positively anchored. Proper anchoring is essential for supporting both vertical and lateral loads, as nails or toe-nails are prone to withdrawal. It is recommended that all elevated structures be properly lag bolted as a preventative safety measure. Consult with your local jurisdiction department for current requirements and contact a qualified building contractor for repair estimates.



Deteriorated Deck Boards

 (Included in
Summary)

 **Repairs Recommended**

 Location: Front Deck, Rear Deck

The inspector noted that the surface is in need of repairs. There were some deteriorated boards noted. We recommend evaluating all of the decks and replacing the deteriorated boards to prevent any further issues. Any repairs should be completed by a qualified professional.






Loose Post

 (Included in
Summary)

 **Repairs Recommended**

 Location: **Front Deck**

The deck has a loose post. This issue can lead to structural instability and compromise the safety of the deck. It is recommended to evaluate and repair the post promptly to prevent any further damage or safety hazards. A qualified contractor should be hired to properly secure the post to ensure the stability of the deck.



2.2 Decks, Balconies, Paved Surfaces > Hand Rails, Guardrails, Steps

Railings Issue

 (Included in Summary)


 Repairs Recommended

 Location: Rear Deck


The missing railings pose a safety hazard by not providing necessary support and fall protection. It is recommended to install railings in compliance with building codes to ensure the safety of occupants, especially in elevated areas. Evaluation and repair by a qualified contractor are advised to prevent accidents.



Damaged Steps

 (Included in Summary)

 Repairs Recommended

 Location: Rear Deck, Front Deck

Damage to the steps was observed, which could present a safety hazard. It is important to have a qualified contractor evaluate and repair the damaged steps promptly to prevent accidents or further deterioration.



Weathered Steps Evaluation

 (Included in
Summary)

 Repairs Recommended

 Location: Rear Deck

The steps on the deck appear weathered, which can impact their structural integrity and safety over time. It is recommended to have a qualified carpenter evaluate the steps for any signs of rot or damage. Repairing or replacing the weathered steps will help ensure the safety of individuals using the deck.



Wood/Ground Contact

*(Included in
Summary)*

Repairs Recommended

The front and back deck steps are in contact with the ground beneath them. This is a conducive condition that can lead to pest infestation. There should generally be at least 4-6 inches of clearance between non-pressure treated wood and the ground to prevent moisture wicking and deterioration. No deterioration appeared to have occurred thus far; however, providing clearance would assist in preventing future deterioration.



2.3 Decks, Balconies, Paved Surfaces > Walkways, Driveway

About the Walkways, Driveway

Address Identification: Visible

Visible: The property's address is visible from the street, facilitating easy location by first responders. It's advisable to verify the visibility of house numbers twice annually to ensure they remain clear.

Address Visible

Functional

The address on the post is clearly visible from the street.



Gravel Driveway Inspection

✓ Functional

The gravel driveway was serviceable at the time of inspection.



3.1 Roof > Roof Covering

About the Roof Covering

Pitch: Pitched

Pitched: A pitched roof is characterized by sloped surfaces that meet at an angle, designed to facilitate water runoff and add architectural appeal.

Roof Covering Material: Metal, Composition Shingle

Metal: Metal roofs are known for their durability, with a life expectancy of about 40-60 years. Regular inspections and repairs, especially of the seams, are essential for maintaining their condition and extending their lifespan.

Composition Shingle: Asphalt shingles are categorized by their warranty duration, such as 20, 25, 30, 40, and 50 years.

Apparent Number of Layers: 1 Layer

Debris On Roof

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

There is debris on the roof. Leaves, branches, or other material that should be removed. This debris will hold moisture and can cause damage to the roof system. Inspection of the areas under the debris is recommended after debris is removed.



Algae On Metal Roof

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage, Main House

The presence of algae on the metal roof is noted. While algae growth does not typically pose an immediate threat to the roof's integrity, it can affect the aesthetics and longevity of the roof. Cleaning the algae off the metal roof can help improve its appearance and prevent any potential damage over time. It is recommended to address this issue by cleaning the roof surface using a solution of water and mild detergent, or by consulting with a qualified roofing contractor for professional cleaning services.



Moss Growth Issue

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The presence of moss growth on a metal roof can trap moisture, leading to potential water damage and corrosion. It is recommended to evaluate and remove the moss to prevent further deterioration of the roof surface. A qualified roofing contractor can address this issue by safely cleaning the moss and applying treatments to inhibit regrowth. Additionally, ensuring proper ventilation and sunlight exposure can help prevent future moss growth.



Not A Warranty

Limitation

Location: Detached Garage, Detached Studio, Main House

The inspector does not provide a leak-tight guarantee or a warranty for the roof. The inspector is not a roofing contractor and only provides a general condition report on the visible surface areas at the time of inspection. Should a more detailed inspection of the installation and remaining service life of the roof cover be desired, contact a qualified roofing contractor for any further review.

3.2 Roof > Exterior Chimney

Excessive Caulking Concern

(Included in Summary)

Repairs Recommended

Location: Main House

The excessive caulking around the chimney can indicate poor craftsmanship or an attempt to hide underlying issues. This can lead to trapping moisture, causing rot, and further damage. It is recommended to evaluate and repair the caulking by a qualified contractor to prevent water intrusion and maintain the chimney's integrity.



3.3 Roof > Flashing and Valleys

Visible Flashing

✓ Functional

Location: Main House, Detached Garage, Detached Studio

The roof flashing was inspected and appears installed with no visible issues. Properly installed flashing plays a crucial role in preventing water leaks and protecting the integrity of the roof structure. We recommend continuing routine inspections to ensure the flashing remains intact and well-maintained.



3.4 Roof > Roof Vents and Penetrations

Roof Penetrations: Functional

✓ Functional

Location: Main House

All accessible roof penetrations, such as roof vents, vent covers, and plumbing vents were inspected and appeared to be free of defects. This includes the related flashing.



3.5 Roof > Skylights

Skylight Debris Buildup

 (Included in
Summary)

 **Repairs Recommended**

 Location: Main House, Detached Studio

Organic debris is covering the skylight. It is recommended to clean the skylight to prevent potential blockage and ensure proper drainage. Use a gentle cleaner and a soft cloth to remove debris. Regular maintenance can help prolong the lifespan of the skylight.





3.6 Roof > Gutters, Downspouts, and Drainage

Gutters Missing

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The gutters are missing on the roof, which could result in water damage to the foundation and siding of the property. It is recommended to install gutters to properly redirect water away from the home and prevent potential issues. A qualified gutter installation professional can evaluate and install gutters to improve drainage and protect the property.



Missing Gutters

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage, South Side

There are areas on the roof where gutters are missing. Gutters play a crucial role in directing water away from the foundation of the house, preventing potential damage. Evaluating and repairing these missing gutters is recommended to ensure proper drainage and prevent water issues. A qualified gutter specialist should be contacted for further evaluation and installation if needed.



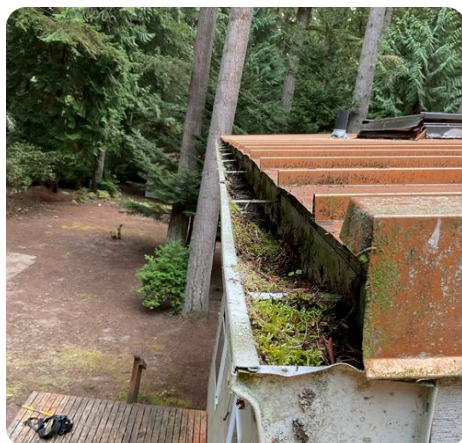
Debris In Gutters

 (Included in Summary)

 **Repairs Recommended**

 Location: **Main House**

The gutters have debris buildup which should be cleaned to prevent clogging of the gutters, downspouts, and/or drainage systems. It is recommended to clean the gutters semi-annually for proper care and maintenance of the gutter system. Contacting a qualified professional for this maintenance is advised.



Loose Gutter

 (Included in Summary)

 **Repairs Recommended**

 Location: **Detached Garage**

There is a loose gutter on the roof area, which may cause water overflow and potential damage to the surrounding areas. It is recommended to evaluate and repair the loose gutter to ensure proper functionality and prevent any future issues. A qualified gutter repair professional should be contacted for further assistance.



Downspouts Discharging Near Structure

Informational

Location: Main House, Detached Garage

There were downspouts discharging near the structure. It is recommended that the downspouts are extended or rerouted at least 6 feet away from the structure to help reduce the chance of soil saturation next to the foundation. Extensions for downspouts can be purchased from many home improvement stores.





3.7 Roof > Evaluation Method

About the Evaluation Method

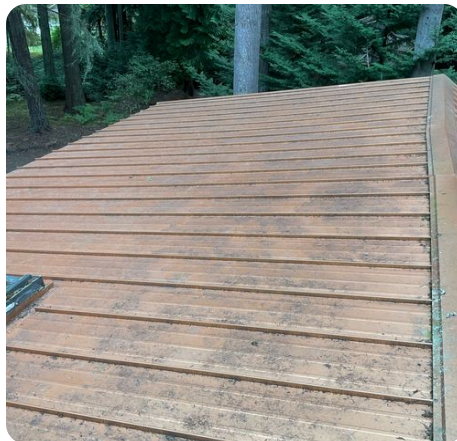
Method of Inspection: Walked Surface

Roof Cover Evaluation From Rooftop

✓ Functional

📍 Location: Main House

The roof was evaluated from the rooftop. It is recommended to periodically inspect the roof cover for any signs of damage or wear to ensure its functionality and prolong its lifespan.



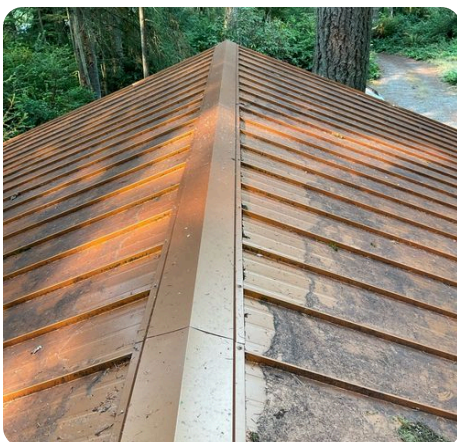
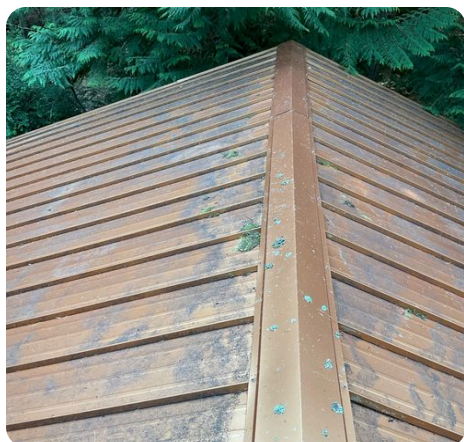
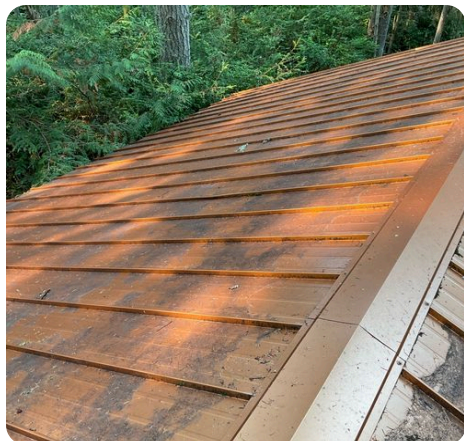


Roof Cover Evaluation From Rooftop

✓ Functional

Location: Detached Garage

The roof cover was evaluated from the rooftop. It is recommended to periodically inspect the roof cover for any signs of damage or wear to ensure its functionality and prolong its lifespan.



Roof Cover Evaluation From Rooftop

✓ Functional

Location: Detached Studio

The roof cover was evaluated from the rooftop. It is recommended to periodically inspect the roof cover for any signs of damage or wear to ensure its functionality and prolong its lifespan.

3.8 Roof > Additional Information

Overhanging Branches

🔔 Preventive Measure

Location: Detached Garage

The overhanging branches in contact with the roofing surface can cause damage to the roof covering. It is recommended to trim back the branches to prevent potential issues such as moisture penetration, mold growth, and damage to the shingles. Evaluation and trimming by a qualified tree service professional is advised.



4.1 Garage > Garage Vehicle Door

About the Garage Vehicle Door

Size of Garage: 2 Car , Detached Garage

Type of Garage Door: Metal

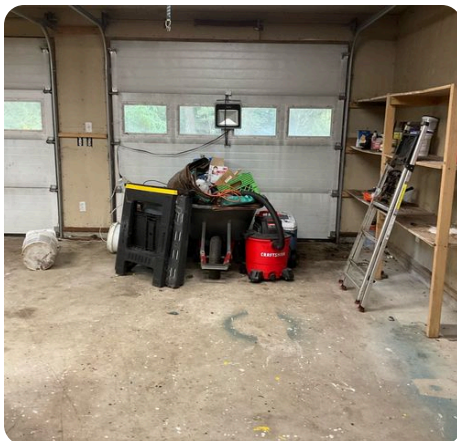
Garage Vehicle Doors: Functional

✓ Functional

📍 Location: Detached Garage

The garage doors were evaluated and found to be in functional condition at this time.





4.2 Garage > Garage Door Opener and Safety

Manual Door Functionality

i Informational

📍 Location: Detached Garage

The manual door was functional at the time of inspection. It is recommended to ensure proper maintenance and lubrication of the manual door components to keep it operating smoothly.

4.3 Garage > Garage Floor and Surfaces

Moisture Issue On Garage Floor

📄 (Included in Summary)

🔧 Repairs Recommended

The presence of moisture on the garage floor could indicate a potential water leakage issue. It is recommended to evaluate the source of moisture and repair it promptly to prevent further damage and potential mold growth. A qualified contractor can assess the situation and suggest appropriate solutions.

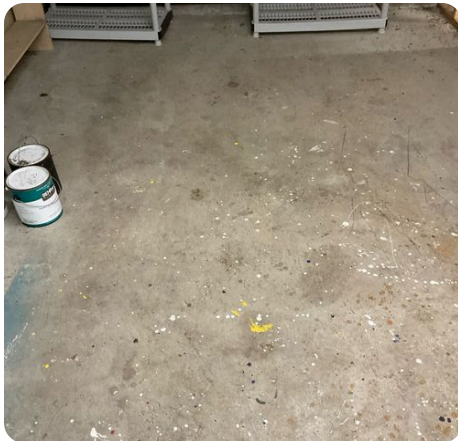




Not Visible

 Limitation

Due to the vinyl flooring in the West side of the garage at the time of the inspection, the inspector was unable to see all areas of the flooring.



4.4 Garage > Additional Information

Exterior Paint Touch Up Required

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage

The exterior of the detached garage shows signs of paint deterioration, with areas that require touch up to maintain protection against weather elements. It is recommended to evaluate the extent of the damage and hire a qualified painter to repair the affected areas to prevent further issues and ensure the aesthetics of the property.



Unpainted Soffit Areas

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage

The soffit areas in the garage are unpainted. It is recommended to paint the soffits to protect the wood from moisture damage and extend its lifespan. Painting the soffit areas also enhances the overall appearance of the garage interior. Consider evaluating and painting the unpainted soffit areas to maintain them in good condition.



Deteriorated Trim/Siding Issue

 (Included in
Summary)


 **Repairs Recommended**

 Location: NE Corner, East Door


The trim and siding on the corner of the garage and garage door trim are deteriorated. This can lead to further damage to the structure and should be evaluated and repaired by a qualified carpenter to prevent moisture intrusion and maintain the integrity of the garage.



Insect Damage In Garage

 (Included in
Summary)

 **Repairs Recommended**

 Location: Attic, Detached Garage

The presence of insect damage is observed in the garage. It is recommended to evaluate and repair the affected areas to prevent further damage and infestation. Hiring a qualified pest control professional can help address the issue effectively.





Door Trim Holes

 (Included in
Summary)


 Repairs Recommended

 Location: Detached Garage

The emergence holes in the door trim should be properly evaluated and repaired. These holes may indicate the presence of wood-destroying insects such as termites or carpenter ants. It is recommended to consult with a licensed pest control professional to assess the extent of the infestation and to treat it accordingly.



Dry Moisture Stains Issue

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage

The presence of dry moisture stains on the ceiling may indicate a previous water leak or high humidity levels. It is recommended to evaluate the source of the moisture and repair accordingly to prevent any further damage. Depending on the extent of the issue, a qualified contractor may need to address the underlying cause and repair the affected area to ensure the structural integrity of the ceiling.





Mildew On Exterior Siding

 (Included in Summary)


 Repairs Recommended

 Location: Detached Garage

The presence of mildew on the exterior siding. It is recommended to clean the affected areas with a mixture of water and bleach to inhibit further growth. Consider improving ventilation around the siding to prevent future mildew growth. If the issue persists, contact a qualified professional.



Rodent Intrusion In Garage

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage


The presence of rodent intrusion in the garage is noted. This can lead to damage to property, contamination, and potential health hazards. It is recommended to evaluate and remove any nesting materials, seal entry points, and consider contacting a pest control specialist to address the issue.



Organic Staining Observation

 (Included in Summary)

 Repairs Recommended

 Location: Attic, Detached Garage

The presence of organic staining on the sheathing has been noted. This could be an indication of water intrusion or potential mold growth. It is recommended to further evaluate the source of moisture and address any underlying issues to prevent further damage. A qualified contractor should be consulted to investigate and repair as needed.



5.1 Electrical > Service Entrance and Grounding

About the Service Entrance and Grounding

Main Service: Overhead

Main Service Conductor: Multi-Stranded Aluminum

Trees In Contact With Overhead Utility Lines

 (Included in Summary)

 Repairs Recommended

Tree branches were noted to be in contact with the overhead electrical service wires. Trees may cause damage to the service entrance conductors presenting an electrical functionality and safety concern. The inspector recommends having the tree limbs trimmed away from the service lines by a

qualified professional. The utility provider may or may not be responsible for keeping trees trimmed away from the service lines. Please contact your local utility provider for more information. This work should not be performed by the homeowner or an unqualified professional due to the safety hazard that exists.

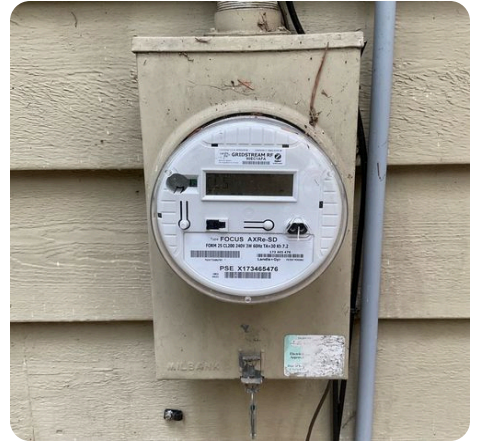


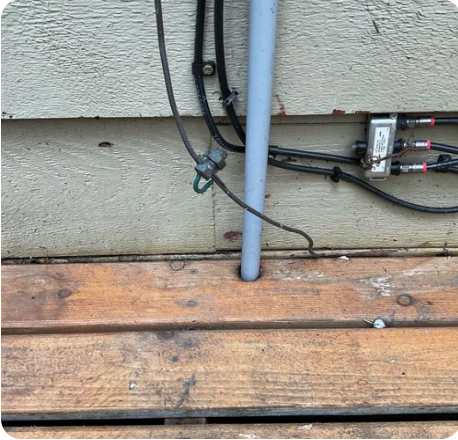
Service Entrance, Meter, And Grounding

✓ Functional

📍 Location: Main House

The service entrance components, electric meter, and grounding system were in serviceable condition at the time of inspection.





5.2 Electrical > Main Service Panels and Disconnects

About the Main Service Panels and Disconnects

Main Panel Location: Foyer

Main Panel Capacity: 200 amps/240 Volt

Subpanel Capacity: 60 amps, 30 amps

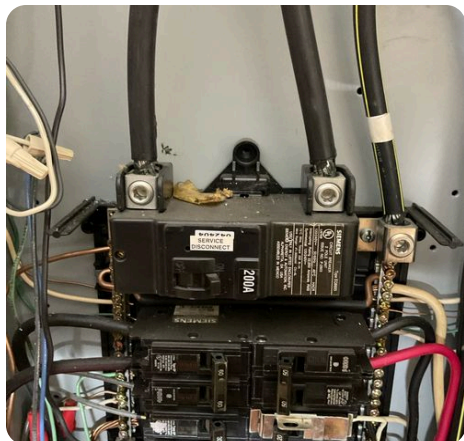
Electrical Service Panel, Main Disconnect And Cover Evaluated

✓ Functional

📍 Location: Main House

The service electrical panel, main disconnect and dead-front cover appeared to be in functional condition. The various circuit breakers were labeled on the panel door. Verifying the circuit breakers are correctly labeled is not within the scope of this inspection. Periodic evaluation is recommended for continued safe use.





5.3 Electrical > Interior Components of Main Service Panels

About the Interior Components of Main Service Panels

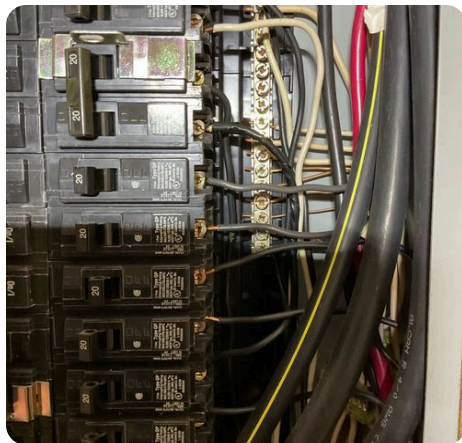
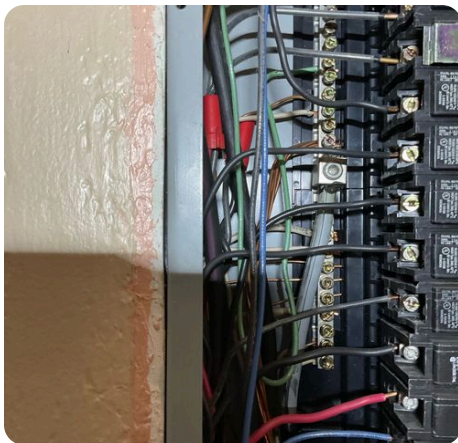
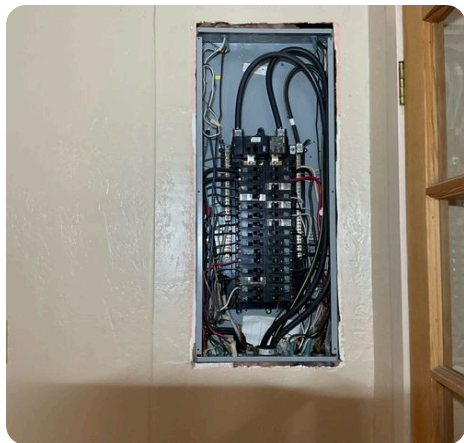
Panel Cover Removed: Yes

Interior Components Evaluated

✓ Functional

📍 Location: Main House

The interior components of the electrical panel were evaluated and were in satisfactory condition at the time of the inspection.



5.4 Electrical > Interior Components of Subpanels

About the Interior Components of Subpanels

Subpanel Location: Detached Garage, Detached Studio

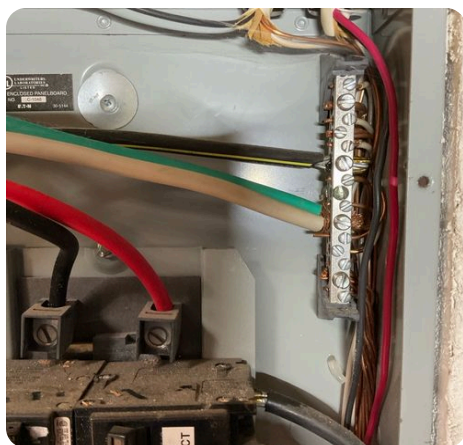
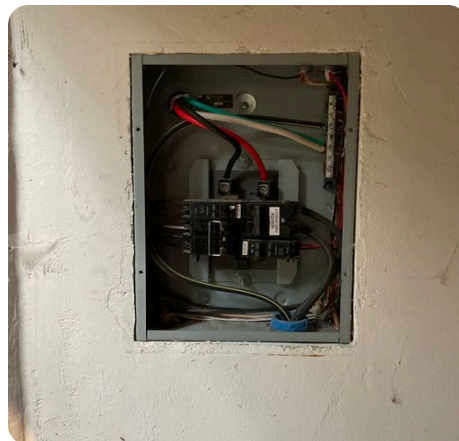
Shared Bus Bar For Grounds And Neutrals

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The subpanel has grounds and neutrals sharing the same bus bar, which is not up to current electrical code standards. This setup can lead to safety hazards, such as improper grounding and potential overloading. It is recommended to have a qualified electrician evaluate and repair this issue by separating the grounds and neutrals onto their respective bus bars to ensure proper functioning and safety of the electrical system.



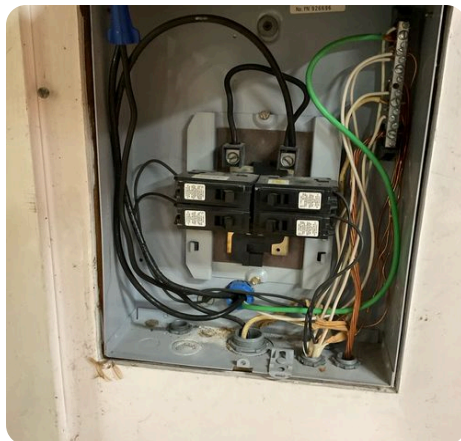
Double-Tapped Neutral

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage

Double-tapped neutral was observed at the sub-panel where two neutral wires are connected to a single terminal slot. This could result in poor connections, and overheating, and poses a potential fire hazard. It is advised to contact a qualified electrician to address this issue for the safety and optimal performance of the electrical system.



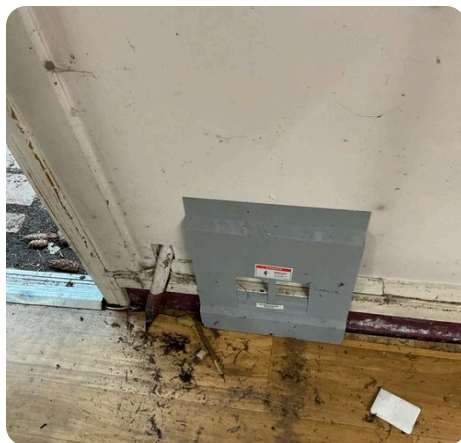
Face Plate Not Installed

 (Included in Summary)

 Repairs Recommended


 Location: Detached Garage

The face plate is not installed and is sitting on the ground. It is recommended to properly install the face plate to ensure safety and functionality of the electrical components. Securing the face plate in place will prevent dust accumulation and reduce the risk of accidental damage to the wiring.

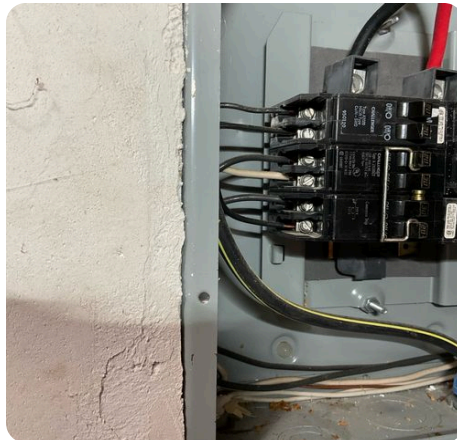
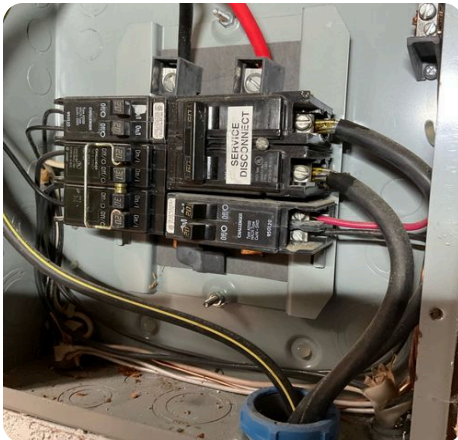
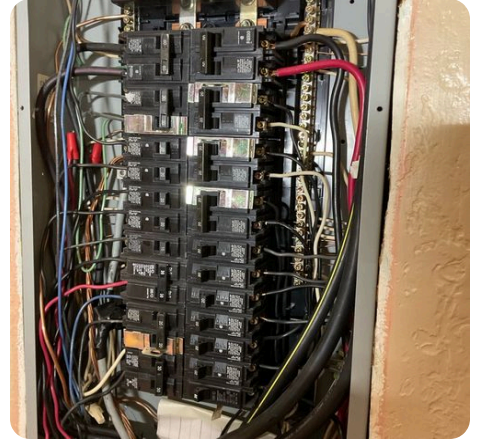
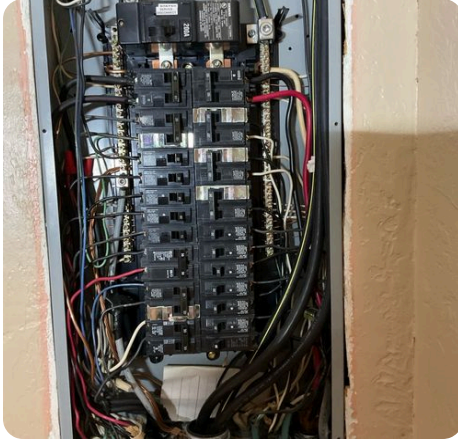


5.5 Electrical > Breakers/Fuses

Over Current Protection Devices Evaluated

 Functional

The overcurrent protection devices in the electrical system were evaluated. It is essential to ensure these devices are kept in good working condition to protect the electrical system from overloads and short circuits. Note: The inspector does not operate or physically test any of the breakers during this visual examination.



5.6 Electrical > Wiring

About the Wiring

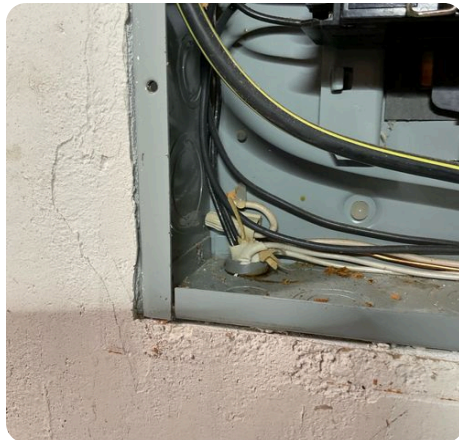
Wire Type: Non-Metallic Sheathed (Romex)

Wire Material: Copper

Visible Wiring Evaluated

✓ Functional

During the inspection, the visible wiring at the property was evaluated and found to be in functional condition.



5.7 Electrical > GFCIs

GFCI Receptacle Failed Test

 (Included in Summary)

 Repairs Recommended

 Location: Main House, Multiple Locations, Detached Garage, Detached Studio


The GFCI receptacle did not operate properly or 'trip' when tested. GFCI receptacles are designed to protect against electrical shock and should be in proper working condition. It is recommended to have a qualified electrician evaluate and repair or replace the receptacle.



Missing GFCI Protection

 (Included in Summary)

 Repairs Recommended


 Location: Main House, Bathrooms, Kitchen

Ground Fault Circuit Interrupter (GFCI) protection is missing in potential wet locations. GFCIs are crucial in these areas to protect against electric shocks. It is recommended to have a qualified electrician install GFCI outlets for safety.




5.8 Electrical > Fixtures, Switches, and Receptacles

Gap Between Outlets And Covers

 (Included in Summary)

 Repairs Recommended

 Location: Main House, Multiple Locations


The presence of a gap between outlets and their covers can pose a safety hazard as it exposes electrical components. It is recommended to evaluate and repair these gaps promptly to prevent any risk of electric shock or damage. This can be addressed by installing proper-sized outlet covers or utilizing outlet spacers. If unsure, contacting a licensed electrician is advised for professional assistance.



Missing Junction Box Covers

 (Included in Summary)

 Repairs Recommended

 Location: Attic, Main House, Detached Garage

Some junction boxes are missing covers. Installing covers is recommended for safety reasons.



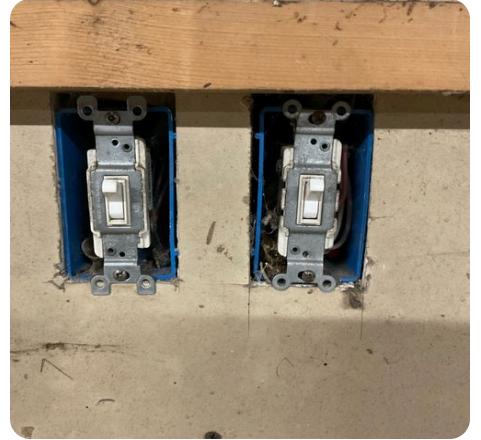
Missing Outlet And Switch Covers

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage

The outlet and switch covers are missing in multiple areas. It is recommended to install outlet and switch covers to prevent electrical hazards and to ensure the safety of the occupants. You can easily purchase covers at a hardware store and install them yourself following the manufacturer's instructions.



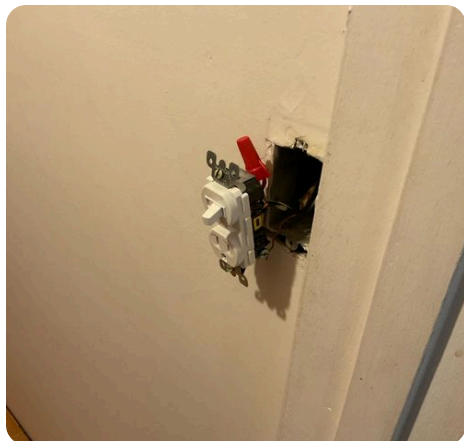
Loose Switch

 (Included in
Summary)

 **Repairs Recommended**

 **Location:** Upstairs Closet, Main House

The switch was found to be loose during the inspection. A loose switch can be a safety hazard as it may cause electrical arcing or even a potential fire risk due to overheating. It is recommended to have a qualified electrician evaluate and repair this issue to ensure proper and safe operation.



Loose Switch Knob

 (Included in Summary)

 Repairs Recommended

 Location: Lower Level Bathroom, Main House

The switch knob on one of the switches is loose. This can lead to difficulty in operating the switch and might pose a safety hazard. It is recommended to tighten or replace the switch knob to ensure proper functionality and safety. If unsure, consider hiring a qualified electrician to evaluate and repair as needed.



Outlet Not Functioning

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The inspector found one exterior outlet that did not have power. Contact an electrician for further evaluation and repair.

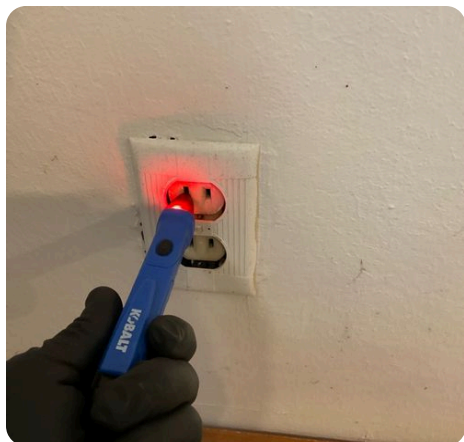


Two-Prong Outlet Issue

 Preventive Measure

 Location: Living Room, Main House

The two-prong outlets in the property may not be grounded, which can pose a safety hazard. It is recommended to consider upgrading these outlets to three-prong outlets to ensure proper grounding. A licensed electrician should evaluate and replace the outlets to meet current safety standards.



5.9 Electrical > Additional Information

Non-Functional Lights And Bulbs

 Preventive Measure

 Location: Main House, Detached Studio

The home inspection revealed non-functional lights and bulbs throughout the property, impacting the overall functionality and safety of the lighting system. It is recommended to evaluate and repair or replace the non-functional lights and ensure that all areas have the appropriate bulbs for proper illumination. Consider hiring a qualified electrician to address any underlying issues with the lighting fixtures.



6.1 HVAC > Heating Equipment 2

About the Heating Equipment 2

Location of Heating System: Detached garage

Heating Method: Forced Hot Water

Heating System Energy Source: Propane

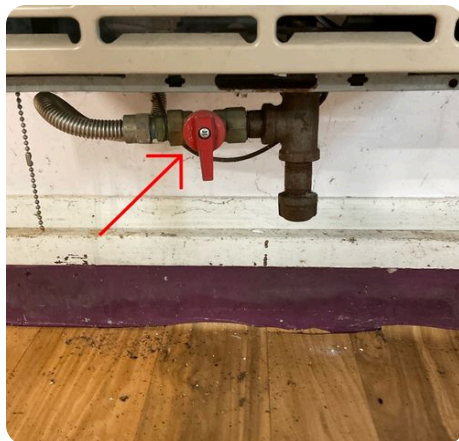
Approximate Manufactured Date of Heating System: Unknown

Gas Heater Not Tested

 Limitation

 Location: Detached Garage

The gas wall heater in the detached garage was not tested. The gas line was in the off position. The inspector is not authorized to turn any gas valves on for safety reasons. Recommend testing ater valve is turned on prior to listing.



6.2 HVAC > Heating Equipment 3

About the Heating Equipment 3

Location of Heating System: Detached Studio

Heating Method: Radiant Heat

Heating System Energy Source: Electric

Approximate Manufactured Date of Heating System: Unknown

Radiant Heat Issue

Informational

Location: Detached Studio

The radiant heat in the property is not functioning. This can result in uneven heating throughout the space, leading to discomfort and inefficient energy use. We recommend contacting a qualified HVAC technician to evaluate and repair the radiant heating system.



6.3 HVAC > Heating Equipment

About the Heating Equipment

Location of Heating System: Multiple Locations

Heating Method: Wall Heater, Baseboard

Heating System Energy Source: Electric

Approximate Manufactured Date of Heating System: Unknown

Non-Functional Electric Wall Heater

 *Included in
Summary*

 **Repairs Recommended**

 Location: Upstairs Room, Main House

One of the electric wall heaters in the was not functional. We recommend evaluating and repairing the electric wall heater as needed. All other electric wall heaters were functional. Contact a licensed electrician to inspect and repair the electric wall heater as needed.



Baseboard Heaters Condition

 **Functional**

 Location: Detached Garage

The baseboard heaters are functioning properly. We recommend adequate distances be maintained from combustible items such as drapes and furniture, as a preventative safety measure.

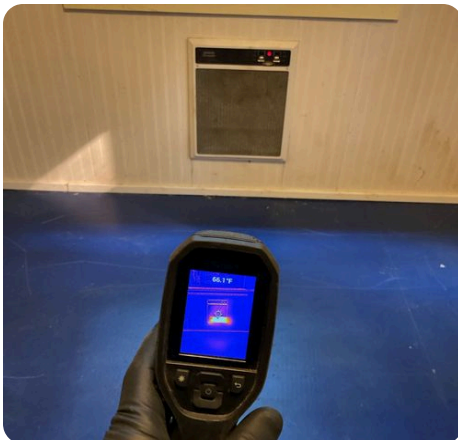


Electric In-Wall Heaters Evaluated

✓ Functional

📍 Location: Laundry Room, Main House, Lower Level Bedroom

The electric in-wall heaters are functioning properly. We recommend adequate distances be maintained from combustible items such as drapes and furniture, as a preventative safety measure.



6.4 HVAC > Cooling Equipment

About the Cooling Equipment

Location of Cooling System: Exterior, Living room

Cooling Method: Mini Splits

Approximate Manufactured Date of Cooling System: Unknown

Delta Tb (Temperature Drop): Not Tested

Mini Split Cooling Test

 Limitation

 Location: Living Room, Main House

The cooling function of the mini-split system was tested during the inspection. However, it is important to note that the remote for the system was not found, limiting the complete evaluation of its functionality. We recommend locating the remote to ensure all features can be properly assessed for optimal performance.




6.5 HVAC > Thermostats and Controls

Missing Thermostat Control Knob

 (Included in Summary)

 Repairs Recommended

 Location: Main House, Laundry Room

The thermostat in the HVAC system is missing a control knob. This can make it difficult to adjust the temperature settings accurately. It is recommended to replace the missing knob to ensure proper functionality and control of the HVAC system.



Thermostat Cover Missing

 (Included in Summary)

 Repairs Recommended

 Location: Detached Garage

The thermostat cover is missing. It is recommended to have the thermostat cover in place to protect the internal components from dust and damage. Consider replacing the cover to ensure proper functioning of the thermostat.



7.1 Plumbing > Water Supply and Piping

About the Water Supply and Piping

Structure Pipe Material: Copper

Incoming Water Line Pipe Material: Copper

Water Source: Private Well

Private Well: The structure's water source is private, typically indicating a well or similar system that serves individual homes or properties. This type of water supply requires regular testing and maintenance to ensure water quality and safety.

Static Water Pressure: Between 40-80 PSI

Insulation Needed For Water Pipes

(Included in
Summary)

✚ Repairs Recommended

📍 Location: Main House, Crawl Space

The water pipes in the home are uninsulated. It is recommended to insulate water pipes, especially in cold climates, to prevent freezing and potential bursting during winter months. Insulating water pipes can also help in conserving energy by reducing heat loss. A qualified plumber can evaluate the pipes and install appropriate insulation to prevent any issues in the future.



Water Pressure

✔ Functional

📍 Location: Main House, Detached Studio

The water pressure at the exterior faucets is approximately 40-45 +/- psi. Recommended water pressure is between 40 and 70 psi. We suggest a pressure regulator be installed if the pressure exceeds 80 psi. Note: The excessive water pressure can reduce the life expectancy of the plumbing lines, void warranties of certain appliances, and cause premature leaks in fittings, landscape irrigation and faucets.



7.2 Plumbing > Main Water Shutoff

About the Main Water Shutoff

Water Shutoff Location: Not Located

Not Located: We recommend checking with the property owner on the location of the shut-off valve.

Main Water Shut-Off Not Located

i Informational

The main water shut-off valve was not visible at the time of the inspection. We recommend questioning owner as to location of main water shut-off valve.

7.3 Plumbing > Drain, Waste, and Vent Systems

About the Drain, Waste, and Vent Systems

Waste Pipe Material: ABS

Main Sewer Clean-Out Location: Not Located

Sewer Type: Septic

Septic System Evaluation

i Informational

📍 Location: Under Rear Deck

The septic system is outside the scope of a home inspection and should be evaluated by a qualified septic professional to ensure proper functionality and prevent any potential issues prior to listing.



7.4 Plumbing > Fuel Supply


About the Fuel Supply

Fuel Service: Propane

Propane: Gas line inspections are typically conducted only if problems are suspected. Corrosion on visible lines should prompt an inspection by the utility provider.

Fuel Shut Off Location: At Tank and Appliances

Propane Tanks Not Secured

 (Included in Summary)

 Repairs Recommended


 Location: Detached Garage

The propane tank(s) is/are not secured to prevent movement. Strapping the tank(s) to prevent it/them from tipping over is recommended. Contact a qualified professional to perform this maintenance.



Propane Tank Removal For Gas Fireplace

 Informational

 Location: Main House

The propane tank for the gas fireplace appears to have been removed. It is recommended to install a new propane tank following proper safety measures before using the gas fireplace again. Consult a licensed gas technician for the installation to ensure compliance with safety regulations.

7.5 Plumbing > Toilets

Stained Toilet With Broken Seat

 (Included in Summary)

 Repairs Recommended


 Location: Lower Level Bathroom, Main House

The stained toilet with a broken seat suggests that there may have been an overflow in the past, leading to potential water damage. It is recommended to evaluate the toilet for any underlying issues and repair or replace the broken seat to ensure proper functionality.



Toilet Tested And Inspected

 Functional

 Location: Main House, Upstairs Bathroom

The toilet was tested and appeared to be in functional condition at the time of the inspection. Regular evaluation, such as checking for leaks, mounting issues and ensuring proper flushing mechanisms are recommended to keep the toilet functioning smoothly.



Non-Standard Toilet Type Identified

 Not Inspected

 Location: Detached Studio

The presence of a composting toilet was noted during the inspection. Composting toilets are not a standard plumbing fixture and may require special maintenance procedures. It is recommended to familiarize yourself with the specific maintenance requirements of a composting toilet for optimal performance.



7.6 Plumbing > Tubs, Showers, and Fixtures

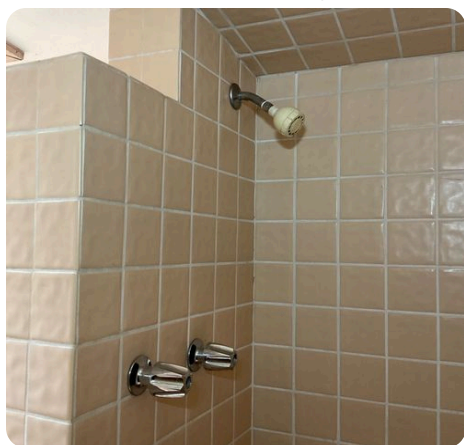
Non-Functioning Tub/Shower Faucet

 (Included in Summary)

 Repairs Recommended

 Location: Main House, Upstairs Bathroom, North Shower Head

The tub/shower faucet is not functioning properly. This issue can lead to inconvenience and affect the functionality of the tub/shower unit. It is recommended to have a licensed plumber evaluate and repair the faucet to ensure proper operation.



Non Functional Sink Faucet

 (Included in Summary)

 Repairs Recommended

 Location: Upstairs Bathroom

The sink faucet is not functioning properly. This can be due to a variety of issues such as a damaged internal mechanism or mineral build-up. It is recommended to have a qualified plumber evaluate and repair the faucet to ensure proper functionality. Regular maintenance, such as cleaning out

debris and mineral deposits, can help prevent similar issues in the future.



Low Water Flow When Other Fixtures Are In Use

 (Included in
Summary)

 **Repairs Recommended**


 Location: **Lower Level Bathroom**

The water pressure in the sink appears to decrease when other fixtures are being used concurrently, indicating a potential issue with the plumbing system. It is recommended to have a licensed plumber evaluate the water pressure and make any necessary repairs to improve the flow rate. In some cases, installing a pressure-balancing valve or upgrading to a larger pipe size may help alleviate this issue.



Generally Serviceable

 **Functional**

 Location: **Main House**

The inspector ran water in each tub and shower to identify concerns. All fixtures appear to be serviceable unless noted elsewhere in this report.



Restricted Water Flow In Sink Faucet

✓ Functional

Location: Kitchen

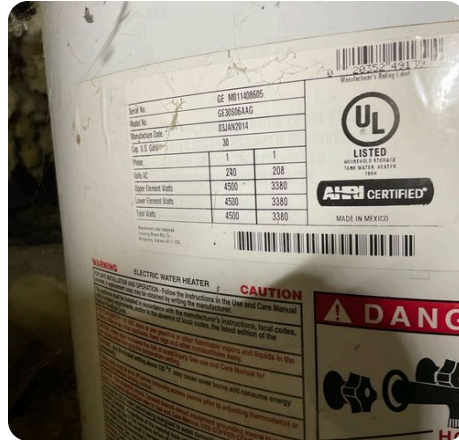
The sink faucet is experiencing restricted water flow, which could be due to a blockage in the faucet aerator or a build-up of mineral deposits. It is recommended to evaluate and repair the faucet by cleaning or replacing the aerator to restore proper water flow.

About the Water Heater

Seismic Strapping: No

i Informational

The water heater was visually inspected. The life expectancy of a water heater is typically 8-12 years from the date of installation, although there are exceptions on both sides. As a preventative maintenance recommendation, the water heater should be drained periodically to remove sediment buildup in the tank. The recommended setting for a residential water heater is under 120 degrees Fahrenheit. For safety.



8.2 Water Heating Equipment > Water Heater 2

About the Water Heater 2

Water Heater Location: Detached Studio

Water Heater Type: Electric


Water Heater Capacity : Approximately 50 Gallons

Approximate Manufactured Date of Water Heater: Over 20 Years

Approximate Water Temperature: Under 120 Degrees

Seismic Strapping: No

Missing Water Heater Straps

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The water heater is missing seismic straps for stability. It is recommended to have a qualified plumber install water heater earthquake straps to secure the unit and reduce the risk of tipping over during seismic activity.



Rust At Water Heater

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

The presence of rust on the water heater can indicate corrosion, which may lead to leaks or other water damage. It is recommended to have a qualified plumber evaluate the extent of corrosion and repair or replace any affected parts to prevent further deterioration.

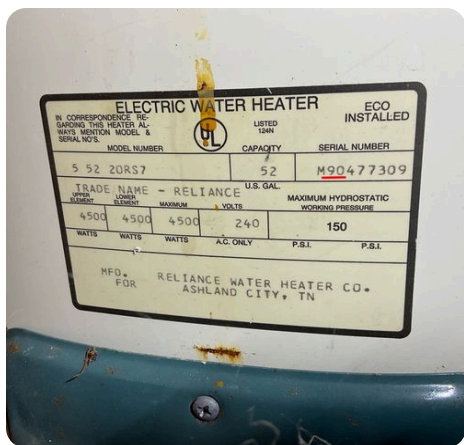


Water Heater Age

i Informational

Location: Detached Studio

The water heater is 35 years old. It is recommended to consider replacing the water heater due to its age as older units may become less efficient and more prone to malfunctions. A licensed plumber should evaluate the condition and advise on a suitable replacement. Budget for a replacement in the future.



8.3 Water Heating Equipment > TPR Valve/Discharge Pipe

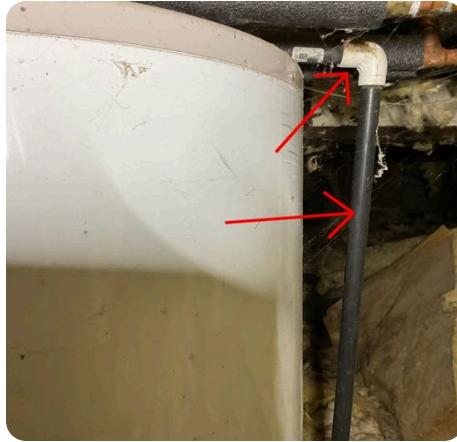
Improper Discharge Pipe Material

z (Included in Summary)

P Repairs Recommended

Location: Main House

The discharge pipe material appears to be PVC, which is not heat-rated. The discharge pipe should be made of heat-resistant material, such as copper, PEX, or CPVC, to ensure it can withstand high temperatures in the event of a discharge. It is recommended to have a qualified plumber evaluate and repair this issue to ensure proper functionality of the TPR valve.



TPR Valve Encrustation Issue

 (Included in Summary)

 Repairs Recommended


 Location: Detached Studio

The TPR valve shows encrustation, which can hinder its proper functioning. It is recommended to evaluate the valve to ensure it opens smoothly in case of high temperature or pressure. A qualified plumber should be contacted to clean or replace the valve if necessary.



9.1 Interior > Walls, Ceilings, and Floors

Damaged Drywall

 (Included in Summary)

 Repairs Recommended

 Location: Main House

Areas of damaged or cracked drywall were observed in the walls. Evaluating and repairing these issues is recommended as they can impact the aesthetic appeal of the home and may lead to further damage if not addressed. Contacting a qualified drywall contractor to assess the extent of necessary repairs and to ensure proper repairs are made is suggested.



Carpet Condition

 (Included in
Summary)

 Repairs Recommended

 Location: Main House


The carpet in the property is heavily stained and damaged. This can not only be unsightly but also indicate a lack of maintenance. It is recommended to evaluate and repair the carpet by either deep cleaning or replacing it to improve the aesthetic appeal of the space.



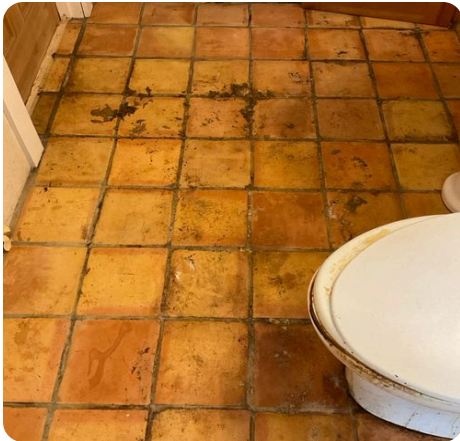
Effluence Staining Issue

 (Included in Summary)

 **Repairs Recommended**


 Location: Main House, Lower Level Bathroom

There is effluence staining on the bathroom floor, which indicates a potential plumbing leak. We recommend further evaluation and repair by a qualified plumber to address the issue and prevent any further damage.

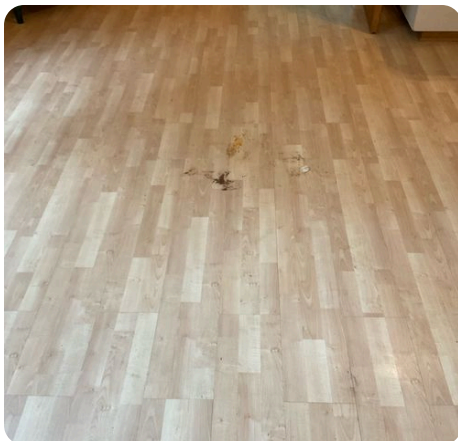


Flooring Damage

 **Informational**

 Location: Main House

Flooring damage was noted. Having the damaged flooring repaired or replaced by a qualified flooring contractor may be desired.



9.2 Interior > Steps, Stairways, and Railings

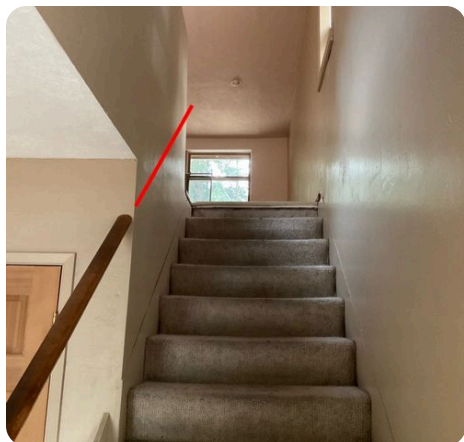
Missing Handrail

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The handrail/railing system is missing in the stairwell, posing a fall hazard if someone were to trip. It is recommended to have a qualified professional install handrail/railing systems as a preventive safety measure.



9.3 Interior > Doors

Interior Doors Tested

 Functional

Interior doors were examined for proper alignment, secure fit, and ease of operation. No functional defects were identified at the time of inspection.

9.4 Interior > Smoke Alarms

Smoke Alarm Missing

 (Included in Summary)

 Repairs Recommended

 Location: Lower Level Bedroom, Main House

There is a missing smoke alarm. Smoke alarms provide early warning in case of a fire, ensuring the safety of the occupants. A working smoke alarm should be installed in every bedroom and in the hallway outside sleeping areas. Installing a smoke alarm is recommended to ensure occupant safety. Regularly testing the alarms is also advised.



Smoke Alarm Missing

 (Included in Summary)

 Repairs Recommended

 Location: Detached Studio

There is a missing smoke alarm. Smoke alarms provide early warning in case of a fire, ensuring the safety of the occupants. A working smoke alarm should be installed in every bedroom and in the hallway outside sleeping areas. Installing a smoke alarm is recommended to ensure occupant safety. Regularly testing the alarms is also advised.

9.5 Interior > Carbon Monoxide Alarms

No CO Alarm

 (Included in Summary)


 Repairs Recommended

 Location: Detached Studio

A carbon monoxide (CO) detector is not present in the structure. It is crucial to have a CO alarm installed at the required location for safety reasons. Each level of the home, including basements, should have a detector located near sleeping areas, following recommended safety guidelines. Installation and placement of CO detectors can be done by a qualified trade if needed.

Carbon Monoxide Alarms Noted

 Functional

 Location: Main House

Carbon monoxide (CO) alarms were located in the home. The inspector does not test these alarms; however, verifies that they are installed near sleeping areas and on each level of the home. For continued protection, regular manual testing and battery maintenance are recommended.



9.6 Interior > Countertops and Installed Cabinets

Past Moisture Damage In Cabinet

 (Included in Summary)

 Repairs Recommended

 Location: Upstairs Bathroom, Kitchen

The cabinet shows signs of past moisture damage, which could indicate a previous leak or elevated moisture levels in the area. It is recommended to evaluate the extent of the damage and repair any affected areas to prevent further issues such as mold growth or structural deterioration. A qualified contractor can assess the damage and replace any compromised materials.



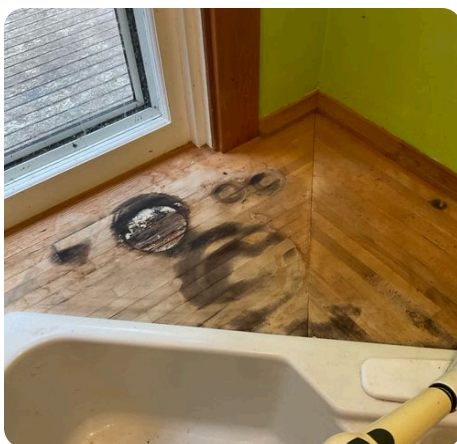
Damaged Countertops

 (Included in Summary)

 Repairs Recommended

 Location: Kitchen

The countertops exhibit visible scratches, chips, or cracks on the surface, which can impact both the aesthetics and functionality of the area. It is important to address this issue by evaluating and repairing the damaged areas. Depending on the severity of the damage, contacting a qualified countertop professional may be necessary for repair or replacement.



9.7 Interior > Caulking, Grout, and Enclosures

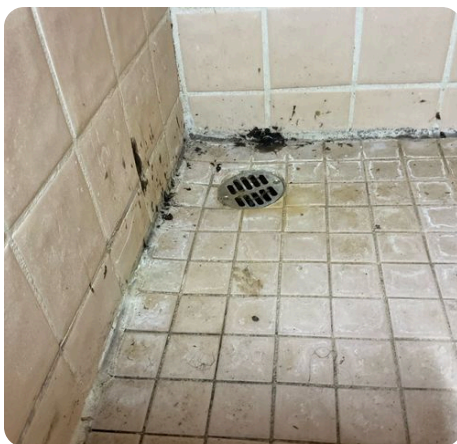
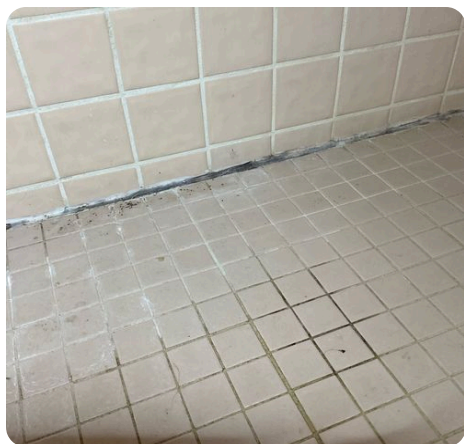
Mildew In Grout

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The presence of mildew in the grout can indicate excessive moisture levels in the area, which can lead to mold growth and potentially impact indoor air quality. It is recommended to evaluate and repair the grout by thoroughly cleaning it with a mixture of water and vinegar or a mildew cleaner, and ensuring proper ventilation to prevent future mildew growth.



Shower Caulking Mildew Issue

 (Included in Summary)

 Repairs Recommended


 Location: Main House

The presence of mildew in the shower caulking should be addressed. Mildew not only looks unsightly, but can also indicate a damp environment which can lead to mold growth. It is recommended to evaluate the caulking, remove any mildew present, and recaulk the shower to prevent further issues. Ensure the shower area is well-ventilated after each use to discourage mildew growth in the future.




9.8 Interior > Windows

Painted Shut Window

 (Included in Summary)

 Repairs Recommended

 Location: Main House, Multiple Locations

The window is painted shut, which is common in older homes or windows that have not been opened for a long time. It is essential to be able to open windows for ventilation and emergencies. Having a qualified window contractor assess and fix the window is recommended to ensure smooth operation.




9.9 Interior > Additional Information

Mildew Presence Concerns

 (Included in Summary)


 Repairs Recommended

 Location: Main House


Mildew is present in multiple areas. It is recommended to address this issue promptly to prevent further growth and to maintain a healthy indoor environment. Evaluation and repair by a qualified mold remediation specialist may be necessary to effectively eliminate the mildew.



Carpenter Ant Frass And Carcasses

 (Included in Summary)

 Repairs Recommended

 Location: Loft, Detached Studio

The presence of carpenter ant frass and carcasses indicates a possible infestation in the property. It is recommended to evaluate and address this issue promptly to prevent further damage to the structure. Hiring a licensed pest control professional can help in identifying the extent of the infestation and providing appropriate treatment to eliminate the ants.



Evidence Of Rodents

 (Included in Summary)


 Repairs Recommended

 Location: Detached Studio

The presence of rodent droppings in a property can lead to health hazards and damage. It is recommended to address this issue promptly to prevent further infestation. Contacting a licensed pest control professional for evaluation and extermination is advised.



Mildew And Elevated Moisture Issue

 (Included in
Summary)

 **Repairs Recommended**

 Location: Detached Studio

The presence of mildew and elevated moisture on the walls is a sign of excessive moisture levels within the property. This can lead to mold growth and potential structural damage if not addressed. It is recommended to evaluate the ventilation in the affected area and repair any leaks or sources of moisture. A qualified contractor can help in identifying the root cause and providing solutions to prevent further moisture issues.





Asbestos And Lead Paint General Statement

✓ Functional

The scope of this inspection does not include an asbestos-in-material sampling and/or identification inspection. Houses built before or near 1978 may contain this material in certain substrates (drywall, flooring, acoustic texture, etc.) or building materials (exhaust pipes, insulation, heat registers, etc.). If there is a concern, we recommend you contact an appropriate testing facility for further evaluation. The scope of this inspection does not include a lead in materials sampling inspection. The US government Consumer Product Safety Commission banned the production of lead paint in 1978. Homes constructed prior to this date may contain lead paint, and consideration should be given to having the paint tested.

Interior Floor Coverings

i Informational

Note: Under applicable state and/or national inspection standards the inspection of interior floor surfaces is intended to identify major defects only (of a structural (cracks, uplifts, bowing, or moisture related) nature). Minor wear, pulled carpets, squeaks and/or some flex, cosmetic flaws, missing tile grout, loose, chipped or cracked tiles, slab slope, and uneven areas can be present and are usually not visible until flooring and trim is pulled up and as such are not included in this inspection. We further disclaim any non-visible pet damage which can occur and cause damage to pads, and sub flooring, and is often not discovered until flooring materials are replaced. Any areas not readily visible to the inspector are excluded from this inspection.

10.1 Appliances > Stove, Cooktop

About the Stove, Cooktop

Energy Source: Electric

Cooktop Tested

✓ **Functional**

📍 Location: Kitchen

An basic on-off test was performed using standard controls to determine if the cooktop was functioning. Periodic cleaning and maintenance is recommended for continued use.



10.2 Appliances > Oven

About the Oven

Energy Source: Electric

No Anti-Tip Bracket

 (Included in Summary)

 **Repairs Recommended**

📍 Location: Kitchen

There is no anti-tip bracket installed for the oven. This device prevents the oven from tipping forward in the event that something heavy is set on the open oven door. For added safety, the inspector recommends that a bracket be installed.



Oven On/Off Tested

✓ Functional

Location: Kitchen

The bake and broil cycles were functional at the time of the inspection. This is an on/off test conducted on the oven.



10.3 Appliances > Dishwasher

Door Not Closing

(Included in Summary)

✚ Repairs Recommended

Location: Kitchen

The dishwasher door is not closing properly. This issue can lead to water leakage during operation and may result in inefficient cleaning. Evaluate and repair the door latch or hinges as needed to ensure proper functionality. If the problem persists, consider contacting a qualified appliance repair technician for further assistance.



10.4 Appliances > Refrigerator

Refrigerator Cooling Issue

 Informational

 Location: Kitchen

The refrigerator was not cooling properly during the inspection due to the power being off upon arrival. It is recommended to allow the refrigerator ample time to cool once power is restored before evaluating its cooling performance. If the issue persists, have a licensed appliance technician evaluate and repair as needed.



Freezer Condition

 Informational

 Location: Kitchen

The freezer is in satisfactory condition.



10.5 Appliances > Washer, Hookups, and Drains

Washer Tested

✓ Functional

📍 Location: Laundry Room

An rinse cycle was performed on the washing machine, which appeared to be in functional condition at the time of the inspection. There were no visible water leaks at the washing machine hook-up valves or drain during testing. This inspection does not cover the full range of washing machine settings or the ability to wash clothes.



10.6 Appliances > Dryer and Vent System

About the Dryer and Vent System

Dryer Energy Source: 240 V Electric

240 V Electric: Proper wiring or power to the 240v outlet cannot always be detected without the removal of the cover plate. The inspector will try using a voltage detector if the outlet is easily accessible.

Dryer Tested

✓ Functional

📍 Location: Laundry Room

An on/off test was performed on the clothes dryer. The interior temperature of the dryer responded to the controls. The inspector is not able to dry clothes or conduct a full test of all the settings.



11.1 Fireplace > Fuel-Burning Equipment

Wood Stove Present

✓ Functional

Location: Main House

There is a wood stove installed in the structure which appears to be in satisfactory condition. The inspector does not test or ignite the system; therefore, you should verify or further investigate the current condition and operation of the unit. This type of unit is required to be installed per UL listing and manufactures recommendations. Recommend you contact a certified chimney inspection service for further evaluations of the system.



Gas Fireplace/Stove - No Fuel

✋ Limitation

Location: Dining Room, Main House

The gas fireplace/stove was not tested due to no fuel supply present. It is recommended to verify the functionality of the fireplace/stove prior to closing.



11.2 Fireplace > Firebox and Hearth

Wood Stove Cleaning Recommended

 (Included in Summary)

 **Repairs Recommended**

 Location: Main House

It is recommended to clean the wood stove to ensure proper functionality and prevent potential fire hazards. Soot and debris accumulation can restrict airflow and decrease efficiency. Consider hiring a professional chimney sweep for a thorough cleaning.



Cracked Fire Bricks In Firebox

 (Included in Summary)

 **Repairs Recommended**

 Location: Main House

The fire bricks at the backside of the firebox are cracked, which can lead to heat escaping and potential safety hazards. It is recommended to evaluate and repair the cracked fire bricks by a qualified mason or fireplace technician to ensure proper functionality and safety of the fireplace.



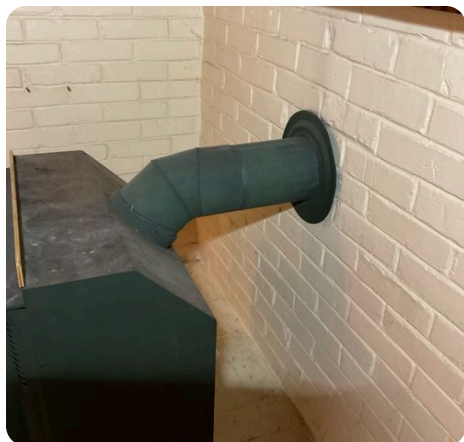
11.3 Fireplace > Flues and Dampers

Flue Not Visible

Limitation

Location: Main House

The flue conditions were not fully visible during the inspection. If the chimney has not been cleaned or inspected in the last 1–2 years, contacting a chimney inspection company for service is advised. Note: If the fireplace is used heavily, having them professionally cleaned and inspected every 1–2 years is suggested as a preventive maintenance measure.



12.1 Structural Components > Foundation and Slab

About the Foundation and Slab

Foundation Type: Raised Foundation/Crawlspace, Slab on Grade

Foundation/Slab Evaluated

✓ Functional

📍 Location: Main House

The foundation/slab was visually assessed during the inspection and appeared to be in functional condition with no immediate concerns noted. As part of routine maintenance, we recommend regularly monitoring the foundation for any signs of cracks, shifting, or water intrusion to address potential issues promptly and ensure long-term structural integrity.



Exterior Slab Foundation

✓ Functional

📍 Location: Detached Studio, Detached Garage

The visible portions of the exterior slab foundation were inspected. It is noted that vegetation and proximity to the earth obscures complete inspection of the exterior slab. It is important to ensure moisture drainage flows away from the home to prevent cracks and voids in the foundation exterior.

12.2 Structural Components > Beams, Columns, and Posts

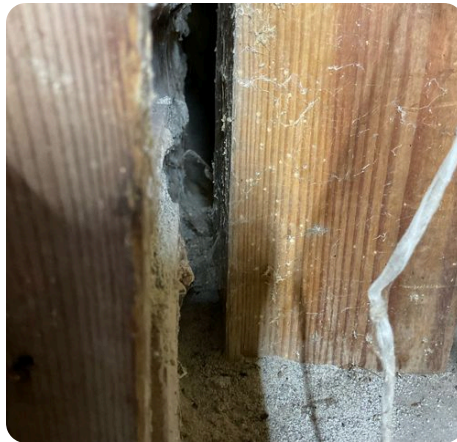
Insect Damage

 (Included in Summary)

🔧 Repairs Recommended

📍 Location: Main House

The presence of insect damage in the structural components should be evaluated and repaired promptly. Insect damage can weaken the integrity of the beams, columns, or posts, potentially compromising the stability of the structure. It is recommended to consult with a licensed pest control professional to address the infestation and repair any damage to prevent further structural issues.



Improperly Notched Beam With Split

 (Included in
Summary)

 Repairs Recommended

 Location: Main House

The beam in the property has been improperly notched, leading to a split. This issue compromises the structural integrity of the beam, which could affect the overall stability of the building. It is recommended to evaluate the extent of the damage and repair the beam promptly to prevent further deterioration. A qualified carpenter or structural engineer should be consulted for appropriate repairs to ensure the beam is properly reinforced.



12.3 Structural Components > Joists and Framing

About the Joists and Framing

Wall Structure: Wood


Floor Structure: Wood

Ceiling Structure: Wood Framing

Deteriorated Rafter And Framing

 (Included in
Summary)

 Repairs Recommended

 Location: Upstairs Closet, Upstairs Room, Main House

The rafter and framing in the roof show signs of deterioration. This can compromise the structural integrity of the roof and may lead to further damage if not addressed. It is recommended to evaluate the extent of the deterioration and repair or replace the affected components as necessary. A qualified contractor should be consulted to ensure the repairs are done properly.



12.4 Structural Components > Roof Structure and Attic Components


About the Roof Structure and Attic Components

Roof Structure Type: Rafters

Insect Frass Issue

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The presence of insect frass in the attic indicates a possible infestation. Insect frass, the excrement of wood-destroying insects like termites or carpenter ants, can lead to structural damage if left unchecked. It is recommended to contact a pest control specialist to evaluate the extent of the infestation and address it promptly to prevent further damage.



12.5 Structural Components > Additional Information

Reference Photos

 Informational

 Location: Main House, Crawl Space

Reference photos of the crawlspace here



13.1 Insulation and Ventilation > Insulation and Ventilation in Attic

About the Insulation and Ventilation in Attic

Attic Access Location: Upstairs room

Attic Evaluation Method: Head and Shoulders

Head and Shoulders: The Inspection was limited to at or near the attic entrance due to access issues.

Insulation Type: Battens

Attic Insulation Approximate Depth: 0-6 Inches

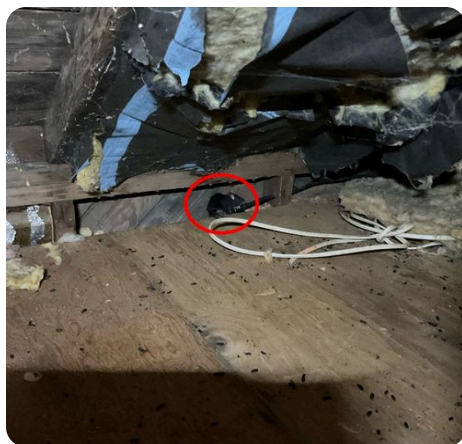
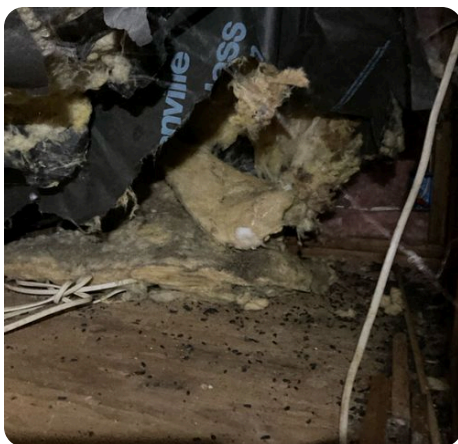
Rodent/Small Animal Activity

 (Included in Summary)

 **Repairs Recommended**

 Location: Main House

There was evidence of rodent/Small Animal activity in the insulation (visible droppings and/or trails). It could not be determined at the time of the inspection whether the activity was current, and no available access could be found. Extermination and control measures are recommended. Contact a qualified Pest Control Operator to evaluate and provide the appropriate control measures.



13.2 Insulation and Ventilation > Insulation and Ventilation in Crawl Space

About the Insulation and Ventilation in Crawl Space

Crawl Space Evaluation Method: Entered

Crawl Space Access Location: Exterior

Insecure Crawlspace Access Covers

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The Crawlspace access covers are not secure. This can lead to safety hazards, pest infestations, and energy inefficiency. It is recommended to secure the access covers properly to prevent these issues. You may consider installing locks or latches to ensure the covers are tightly sealed.



Rodent/Small Animal Intrusion

 (Included in Summary)

 Repairs Recommended

 Location: Main House

Evidence of rodent or small animal intrusion found in the crawl space. (Inspector visually saw raccoon in crawl space) This can lead to damage to insulation and potential health hazards. It is recommended to evaluate and repair any entry points or gaps in the crawl space to prevent further intrusion. Consider hiring a pest control professional to address the issue and ensure the crawl space is properly sealed to prevent future infestations.




13.3 Insulation and Ventilation > Vapor Barriers

Old Vapor Barrier

 (Included in Summary)

 Repairs Recommended

 Location: Main House


The vapor barrier in the crawl space appears to be old. It is recommended to evaluate and replace the vapor barrier with 6 mil black vapor barrier to ensure proper moisture control and insulation effectiveness. Qualified professionals such as insulation contractors can assist with this replacement.

13.4 Insulation and Ventilation > Mechanical Exhaust Systems

Kitchen Vent Fan Recirculation

 (Included in Summary)

 Repairs Recommended

 Location: Main House

The vent fan should be properly vented to the outdoors to effectively remove cooking odors, moisture, and airborne grease. Recirculating the vent fan may not be as efficient in improving indoor air quality. It is recommended to evaluate the current setup and consider rerouting the vent to exhaust outside to enhance ventilation.

