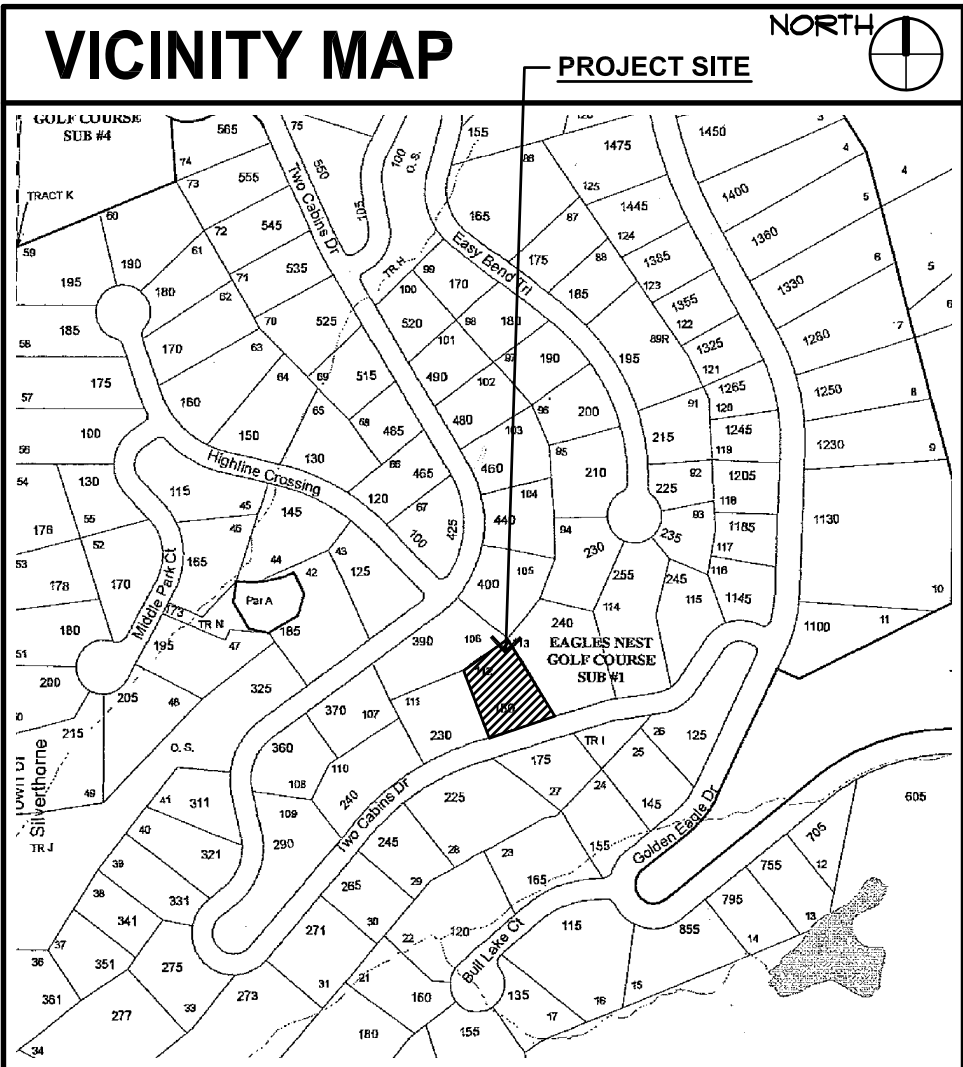


GENERAL NOTES

- 1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects, ALA/PC, and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) CODES:
This project is governed by the 2012 International Residential Code as adopted by the Town of Silverthorne Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for obtaining all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) DUTY OF COOPERATION:
Release of these plans contemplates further cooperation among the Owner, his Contractor and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for Silverthorne, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) BUILDING AREA
Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) PROJECT STAKING
The general contractor shall verify all existing grades and stakes all building corners and the driveway location for Owner/Architect, review board and town of Silverthorne approval prior to beginning any site clearing.
- 16) SITE DISTURBANCE
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) PROJECT GRADES
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) EXTERIOR MATERIAL MOCK UP
The General Contractor shall provide a mock up of all exterior materials for review by the Owner, Architect and Eagles Nest Architectural Review Committee. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0"x3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.

VICINITY MAP



LEGAL DESCRIPTION

LOT 112, FILING 1
EAGLE'S NEST SUBDIVISION
800 TWO CABINS DRIVE
SILVERTHORNE, CO

SITE NOTES

- ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH.
- VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND.
- TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST ENGINEERS & SURVEYORS, INC. DATED 11/30/15.
- PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN).
- REFER TO FOUNDATION PLAN FOR FOUNDATION, DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO A DRYWELL.
- FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING.
- PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION.
- PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS.
- STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK.
- GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT.

FINISHED FLOOR ELEVS

	U.S.G.S.	ARCH'L.
LOWER	9073.00'	100'-0"
ENTRY	9081.11'	108'-9 1/4"
MAIN	9084.21'	111'-3 1/4"

AREA CALCULATIONS

	FINISHED	UNFINISHED	TOTAL
LOWER	1112 S.F.	160 S.F.	1272 S.F.
MAIN	2353 S.F.	0 S.F.	2353 S.F.
TOTAL	3465 S.F.	160 S.F.	4225 S.F.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

McCREREY-TWO CABINS



VIEW FROM TWO CABINS DRIVE

SHEET INDEX

T1	TITLE SHEET/GENERAL NOTES
SP11	SITE GRADING PLAN
SP12	LANDSCAPE PLAN
A11	LOWER LEVEL PLAN
A12	MAIN LEVEL PLAN
A13	ROOF PLAN
A21	EXTERIOR ELEVATIONS
A22	EXTERIOR ELEVATIONS
A31	BUILDING SECTIONS
A32	BUILDING SECTIONS
A33	BUILDING SECTIONS
A41	ARCHITECTURAL DETAILS
A42	ARCHITECTURAL DETAILS
A43	ARCHITECTURAL DETAILS
A51	OUTLINE SPECIFICATIONS
A52	OUTLINE SPECIFICATIONS
S1	FOUNDATION PLAN
S2	FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN
S4	FOUNDATION DETAILS
S5	FLOOR FRAMING DETAILS
S6	ROOF FRAMING DETAILS
ME11	LOWER LEVEL MECHANICAL/ELECTRICAL PLAN
ME12	MAIN LEVEL MECHANICAL/ELECTRICAL PLAN

OWNER/BUILDER:

MARK MC CREREY
MC CREREY FINE HOMES, LLC
P.O. BOX 1087
BRECKENRIDGE, CO 80443
(970) 418-1455
mark@mccrereyfinehomes.com

ARCHITECT:

BHH Partners, Planners and Architects
MICHAEL HOUX
P.O. BOX 931
BRECKENRIDGE, CO 80424
(970) 453-6880
mhous@bhhpartners.com

STR'L. ENGINEER:

G3 CONSULTING, LLC
MARK GEE
P.O. BOX 2933
BRECKENRIDGE, CO 80424
(970) 485-2013
mg3e@consultg3.com

SURVEYOR:

RANGE WEST ENGINEERS & SURVEYORS, INC.
BOB JOHNS
P.O. BOX 988
SILVERTHORNE, CO 80498
(970) 468-6281
(970) 668-3165 FAX

SOILS ENGINEER:

HF GEOTECH, INC.
P.O. DRAWER 1881
SILVERTHORNE, CO 80498
(970) 468-1889
(970) 468-5891 FAX

REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: Jhouxkemper

CHECKED BY: mhous

©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:
PERMIT

MC CREREY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880

© 2016

SHEET NUMBER:

T1

OF: 1

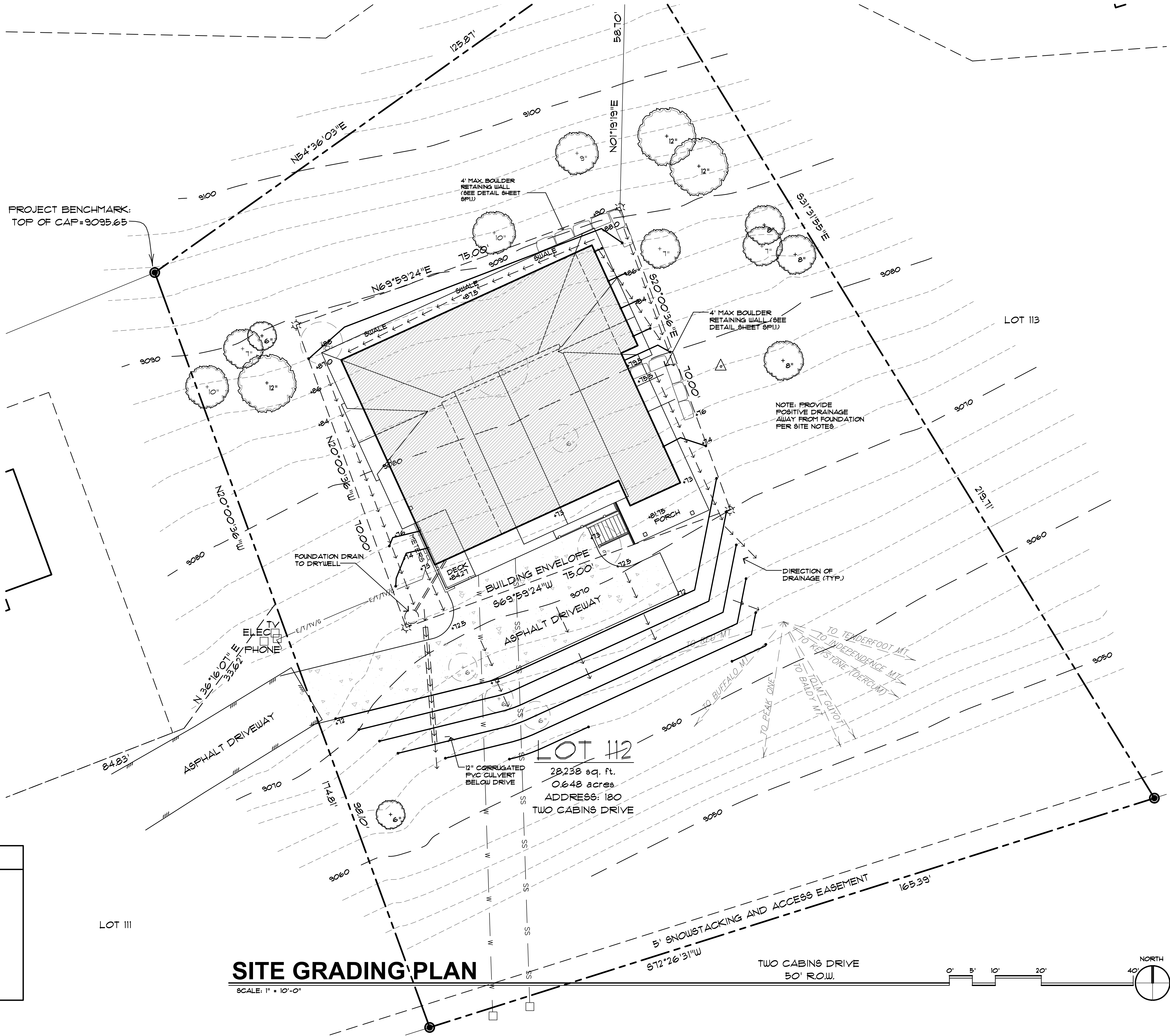
CONTOUR LEGEND

EXISTING CONTOUR 9110
PROPOSED CONTOUR 9110
SPOT GRADE +9110.0
ARROW INDICATES DIRECTION
OF SURFACE DRAINAGE

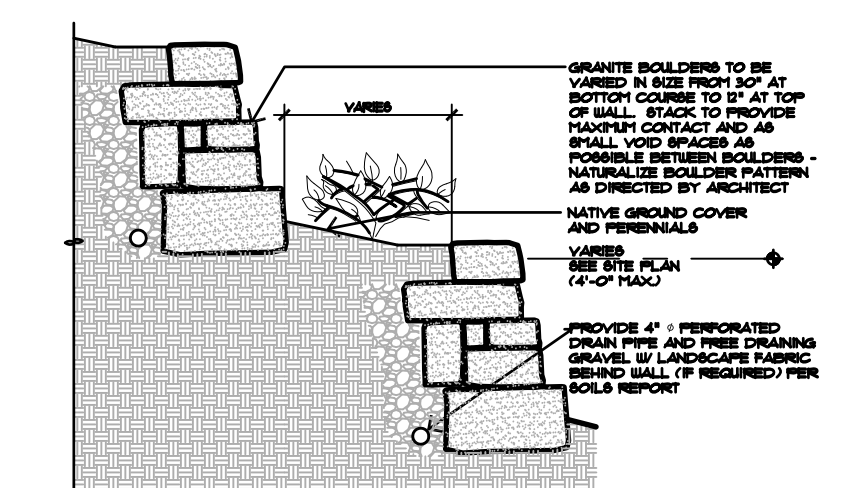
LOT COVERAGE

LOT SIZE	AREA	%
28,238 SF 0.648 AC		100%
LOT COVERAGE (AREA UNDER ROOF, DECK OR PAVING)	5,201 SF	18%
TOTAL OPEN SPACE	23,037 SF	82%

PROJECT BENCHMARK:
TOP OF CAP=9095.65



BOULDER RETAINING WALL



SITE GRADING PLAN

SCALE: 1" = 10'-0"

REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: shyder
CHECKED BY: mhoux
©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:
PERMIT

MPH

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880

MC CREREY - TWO CABINS

LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

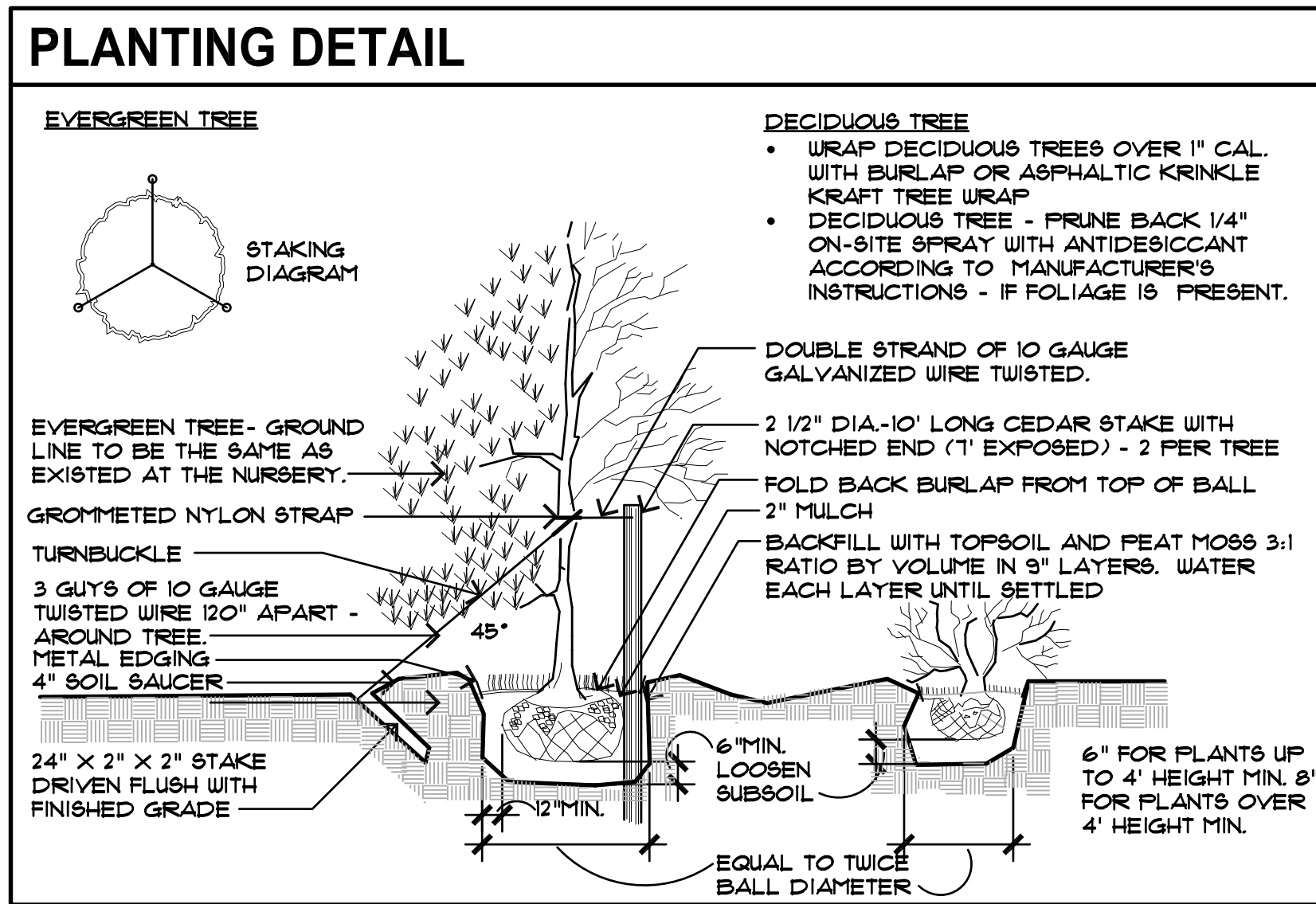
SHEET NUMBER:

SP1.1

OF: 2

PLANTING LIST & NOTES				
KEY	COMMON	BOTANICAL	NO.	SIZE
EXISTING TREES				
○	EXISTING	VARIABLES -	21	SEE SITE PLAN
EXISTING TREES TO BE REMOVED				
○	VARIABLES -	VARIABLES -	6	SEE SITE PLAN
TREES				
●	COLORADO SPRUCE	PICEA PENSILVANA OR PICEA ENGELMANNI	3	(2) 8' TO 10' TALL (1) 12' TO 14' TALL
●	ASPEN	POPULUS TREMULOIDES	5	2" TO 3" CAL 50% MULTI-STEM
SHRUBS/GROUND COVERS & PERENNIALS				
●	POTENTILLA	POTENTILLA FRUTICOSA	5	5 GAL.
●	ALPINE CURRANT	RIBES ALPINUM	5	5 GAL.
●	PEKING COTONEASTER	COTONEASTER LUCIDUS OR APICULATUS	5	5 GAL.
●	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	5	1 FLAT

- ### LANDSCAPE NOTES
- PROVIDE 2"-3" (MIN.) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SUMMIT CO. SHORT SEED MIX (AS APPROVED BY EAGLES NEST SUBDIVISION, STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
 - KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS.
 - PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROUND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY PEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
- NOTE: ALL LANDSCAPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE EAGLES NEST DESIGN GUIDELINES.



REVEGETATION NOTES

REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:

SHORT DRY GRASS MIX #2 LBS/1000 SF:

- HARD FESCUE 30%
- CREEPING RED FESCUE 30%
- SHEEP FESCUE 25%
- CANADA BLUEGRASS 10%
- CANBY BLUEGRASS 5%

SLOPES OVER 3:1 SHALL BE HAY TACKIFIED OR NETTED.

MOUNTAIN MAGIC WILDFLOWER MIX #1 LBS/10,000 SF:

- BABY'S BREATH
- CALIFORNIA POPPY
- BLUE FLAX
- WALLFLOWER
- FENSTEMON, ROCKY MOUNTAIN
- WILD THYME
- BLANKETFLOWER
- SHIRLEY POPPY
- LUPINE MIX
- MAIDEN PINKS

ROCKY MOUNTAIN BLUE COLUMBINE MIX #1 LBS/25,000 SF

OR

WESTERN NATIVE WILDFLOWER MIX #1 LBS/6,000 SF:

- MOUNTAIN LUPINE
- COLUMBINE, COLORADO
- GERANIUM, RICHARDSON
- ASTER, ENGLEMANNS
- GALLARDIA/BLANKETFLOWER
- ORANGE MOUNTAIN DAISY
- FENSTEMON, WASATCH
- FENSTEMON, SMALL FLOWERED
- FENSTEMON, ROCKY MOUNTAIN
- CONEFLOWER, WESTERN
- SULFUR FLOWER
- NODDING GROUNDSEL
- WESTERN LARKSPUR
- AMERICAN VETCH
- GIANT LOUSEWORT
- FENSTEMON, RYDBERGS

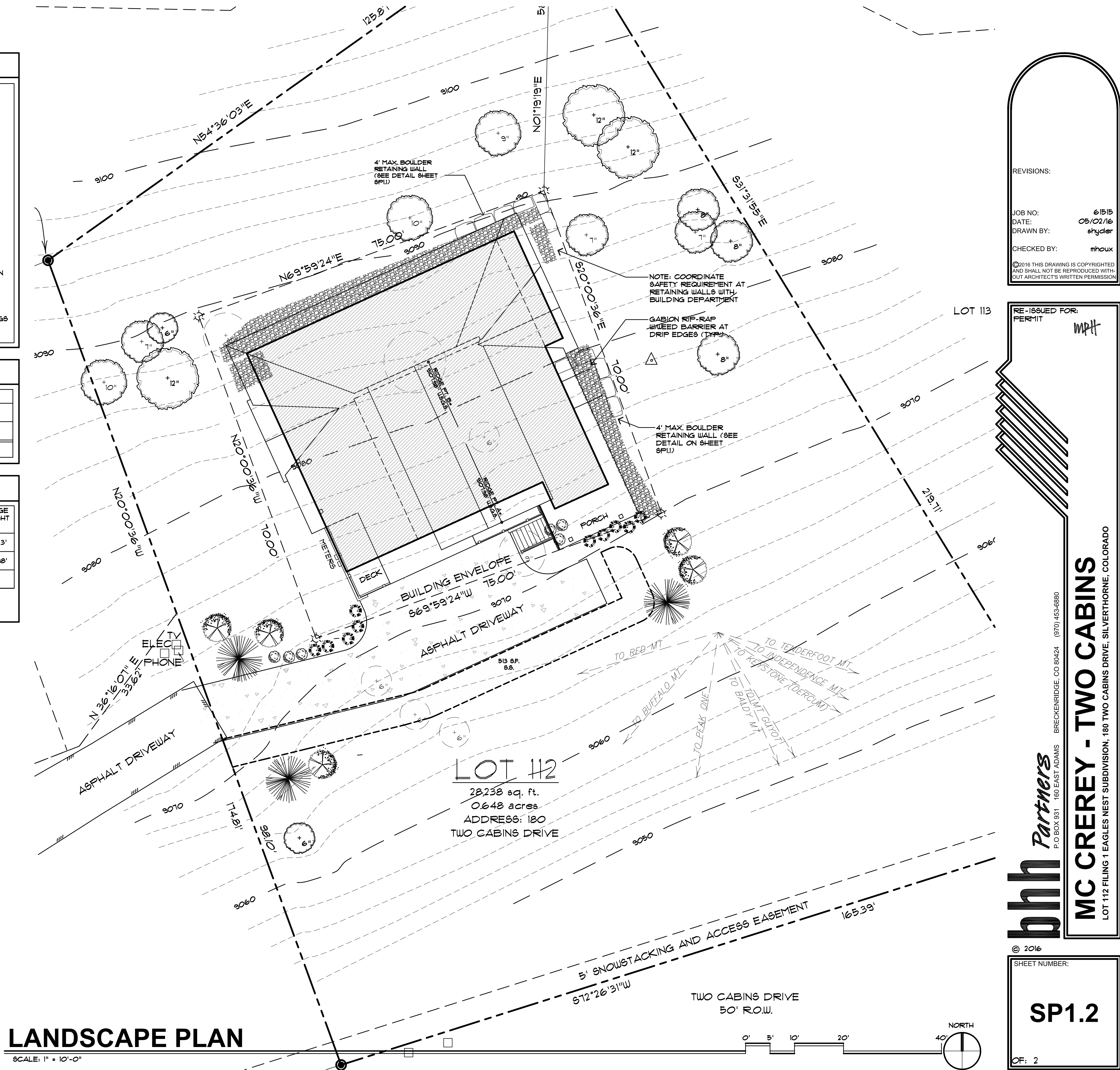
REQUIRED SNOWSTACK

	SQ. FT.	%
HARDSCAPE (WALKS & DRIVEWAY)	1364 SF.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	341 SF.	25%
TOTAL SNOW STACK	612 SF.	45%

BUILDING HEIGHT

RIDGE POINT	RIDGE ELEVATION	EXISTING GRADE	HEIGHT CALCULATIONS	RIDGE HEIGHT
(A)	9101.98'	9073.75'	9101.98' - 9073.75'	34.23'
(B)	9101.98'	9083.00'	9101.98' - 9083.00'	24.98'

ARCHITECTURAL 100'-0" FOR PROJECT = 9073.00' USGS
ALLOWED BUILDING HEIGHT = 35.00'
PROPOSED BUILDING HEIGHT = 34.23'



REVISIONS:

JOB NO:	61515
DATE:	05/02/16
DRAWN BY:	shyder
CHECKED BY:	mhoux

©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR PERMIT

bhh Partners

MC CREERY - TWO CABINS

LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

970 453-8880

160 EAST ADAMS

BRECKENRIDGE, CO 80424

SHEET NUMBER:

SP1.2

OF: 2

DOOR & WINDOW NOTES

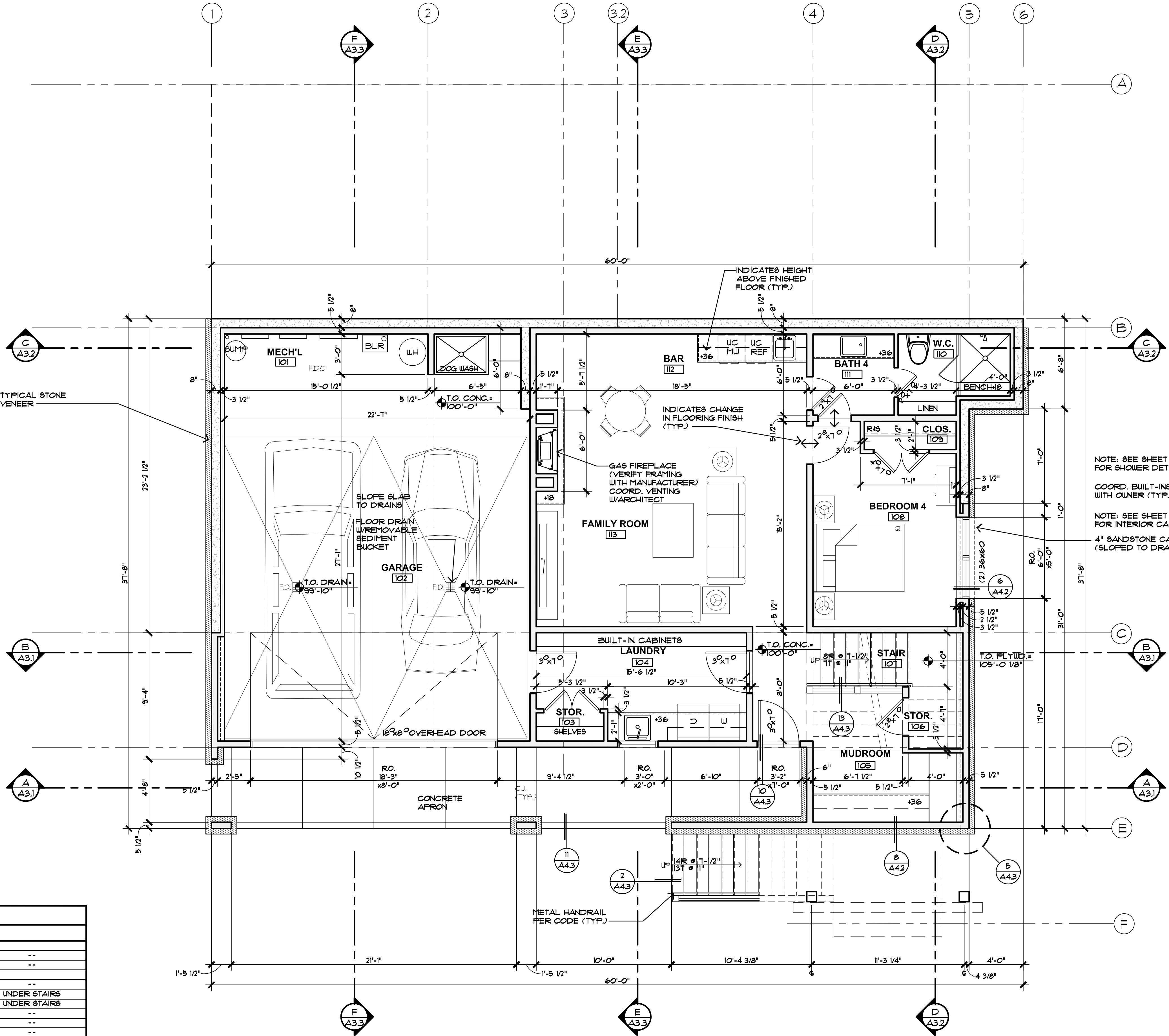
- 1) DUAL GLAZE ALL WINDOWS AND DOORS WITH GLASS.
2) PRIOR TO ANY FRAMING WORK, VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3) SEE PLANS AND ELEVATIONS FOR OPERATION AND WINDOW TYPE.
4) PROVIDE WEATHER STRIPPING AND ALUMINUM THRESHOLD AT ALL EXTERIOR DOORS.
5) VERIFY JAMB WIDTHS WITH WALL THICKNESS PRIOR TO INSTALLATION.
6) PROVIDE SAFETY GLASS TO COMPLY WITH CODE REQUIREMENTS (SEE 2012 I.R.C.).
7) ALL GLAZING SYSTEMS SHALL BE RATED FOR USE AT HIGH ALTITUDES PER MANUFACTURER'S REQUIREMENTS.
8) INSULATE ALL EXTERIOR SHIM SPACES AT DOORS.
9) WRAP ALL EXTERIOR OPENINGS WITH 15# FELT (PER SPECS.) PROVIDE 1-1/2" X 1-1/2" HEAD FLASHING AT ALL EXTERIOR OPENINGS (PRIME AND PAINT OR COLOR CLAD).
10) EACH SLEEPING ROOM TO HAVE AN EGRESS DOOR OR WINDOW TO MEET THE 2012 I.R.C. REQUIREMENTS.
11) WINDOWS AND DOORS TO HAVE FIELD APPLIED EXTERIOR TRIM. (DO NOT PROVIDE BRICK MOLD).
12) PROVIDE SHOP DRAWINGS FOR ALL SPECIAL/CUSTOM DOORS AND WINDOWS PRIOR TO FABRICATION.
13) FIELD MEASURE TO VERIFY ALL CUSTOM UNIT SIZES.
14) WINDOW CATALOGUE NUMBERS ARE INDICATED ON PLAN.
15) SEE FLOOR PLANS FOR DOOR & WINDOW SIZES. (WIDTH X HEIGHT).
16) WINDOWS AND PATIO DOORS GENERIC.
17) INTERIOR DOORS TO BE CENTERED ON SPACES OR INSTALLED W/ 4 1/2" OFFSET TO NEAREST WALL (UNO.)

ROOM FINISH SCHEDULE

#	ROOM NAME	FLOOR	WALLS	CEILING	
		MATERIAL	BASE	MATERIAL	
101	MECHANICAL	CONCRETE	NONE		10'-0"
102	GARAGE	CONCRETE	NONE		10'-0"
103	STORAGE	STAINED CONC.	NONE		9'-0"
104	LAUNDRY	STAINED CONC.	NONE		9'-0"
105	MUDROOM	STAINED CONC.	NONE		VARIES
106	STORAGE	STAINED CONC.	NONE		VARIES
107	STAIR	WOOD	NONE		VAULTED
108	BEDROOM 4	CARPET	NONE		9'-0"
109	CLOSET	CARPET	NONE		9'-0"
110	W.C.	TILE	CONC.		9'-0"
111	BATH 4	TILE	CONC.		9'-0"
112	BAR	STAINED CONC.	NONE		9'-0"
113	FAMILY ROOM	STAINED CONC.	NONE		9'-0"

1. 5/8" TYPE 'X' GYPSUM BOARD WITH LIGHT HAND TROUELED FINISH
2. 5/8" CEMENT BOARD WITH TILED FINISH
3. BEAD BOARD WAINSCOT
4. SPECIFIED STONE VENEER
5. 1X6 WOOD TAG
NOTE: VERIFY INTERIOR FINISHES W/ OWNER

NOTE: 5/8" GYP. BD. TO BE INSTALLED THROUGHOUT GARAGE



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: shyder
CHECKED BY: mhoux
©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR PERMIT

MPH

NOTE: SEE SHEET A4.3 FOR SHOWER DETAILS
COORD. BUILT-INS WITH OWNER (TYP.)
NOTE: SEE SHEET A4.3 FOR INTERIOR CASEWORK
4" SANDSTONE CAP (SLOPED TO DRAIN)

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880
MC CREERY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER:

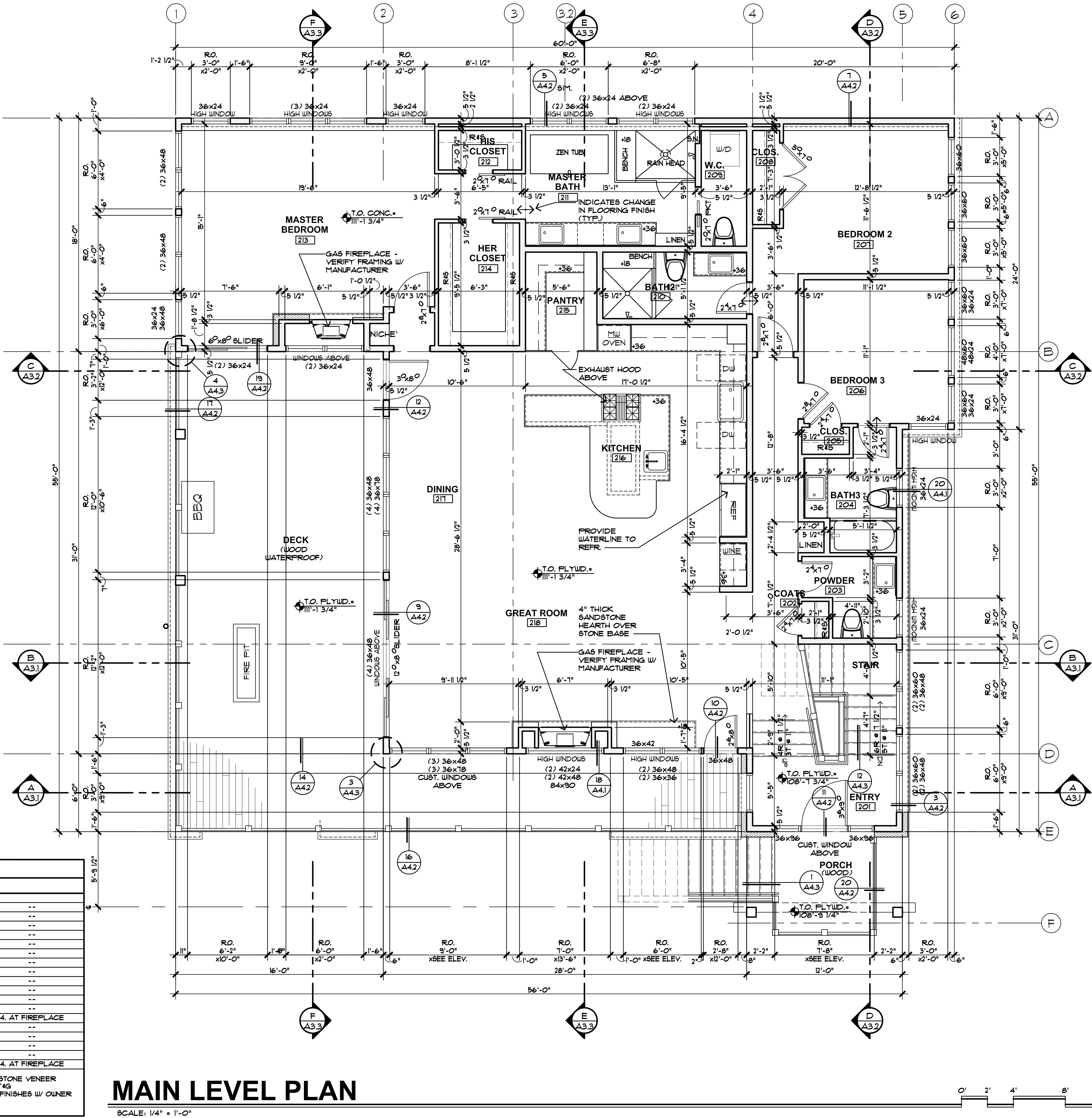
A1.1

OF: 13

ROOM FINISH SCHEDULE						
#	ROOM NAME	FLOOR		WALLS		CEILING
		MATERIAL	BASE	MATERIAL	MATERIAL	
201	ENTRY	WOOD	WOOD	1	1B	VAULTED
202	COATS	WOOD	WOOD	1	1B	VAULTED
203	POWDER	WOOD	WOOD	12	1	VAULTED
204	BATH 3	TILE	WOOD	12	1	VAULTED
205	CLOSET	WOOD	WOOD	1	1	VAULTED
206	BEDROOM 3	WOOD	WOOD	1	1	VAULTED
207	BEDROOM 2	WOOD	WOOD	1	1	VAULTED
208	CLOSET	WOOD	WOOD	1	1	VAULTED
209	W.C.	TILE	WOOD	12	1	VAULTED
210	BATH 2	TILE	WOOD	12	1	VAULTED
211	MASTER BATH	TILE	WOOD	12	1	VAULTED
212	HIS CLOSET	WOOD	WOOD	1	1	VAULTED
213	MASTER BEDROOM	WOOD	WOOD	14	1	VAULTED
214	HER CLOSET	WOOD	WOOD	1	1	VAULTED
215	PANTRY	WOOD	WOOD	12	1	VAULTED
216	KITCHEN	WOOD	WOOD	12	1B	VAULTED
217	DINING	WOOD	WOOD	1	1B	VAULTED
218	GREAT ROOM	WOOD	WOOD	14	1B	VAULTED
1. 5/8" TYPE 'X' GYPSUM BOARD WITH LIGHT HAND TROUELED FINISH						
2. 5/8" CEMENT BOARD WITH TILED FINISH						
3. BEAD BOARD WAINSCOT						
4. SPECIFIED STONE VENEER						
5. 1X6 WOOD T&G						
NOTE: VERIFY INTERIOR FINISHES W/ OWNER						
NOTE: 5/8" GYP. BD. TO BE INSTALLED THROUGHOUT GARAGE						

MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: Jouxkemp
CHECKED BY: mhoux
©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:

PERMIT

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880

MC CREERY - TWO CABINS

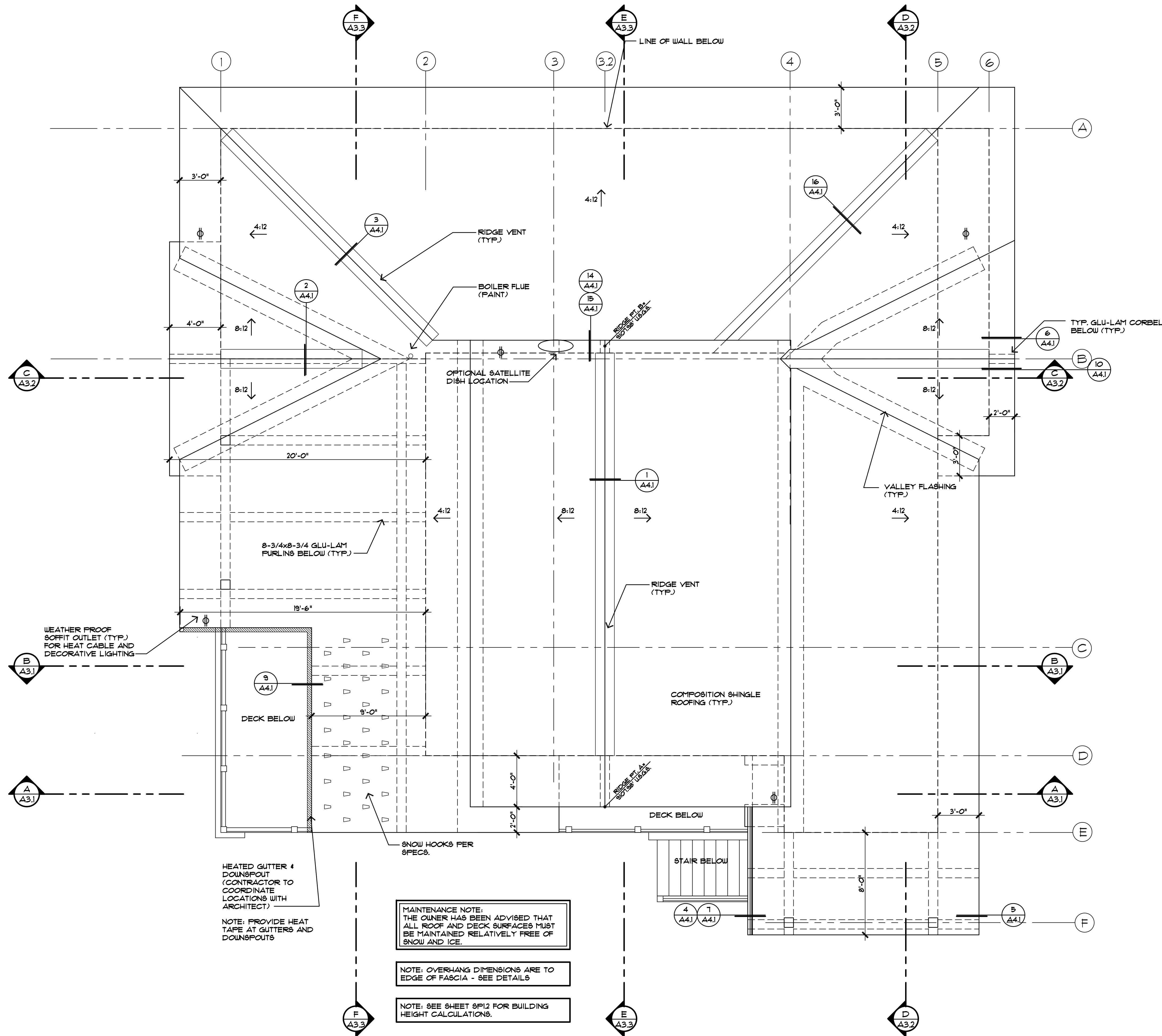
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER:

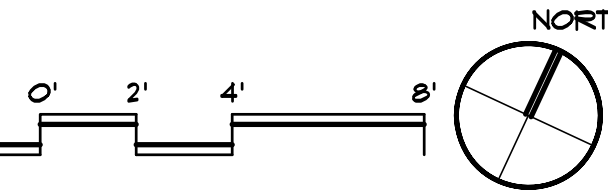
A1.2

OF: 13



ROOF PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: jluxkemper
CHECKED BY: mhoux
©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR: PERMIT

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880
MC CREERY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

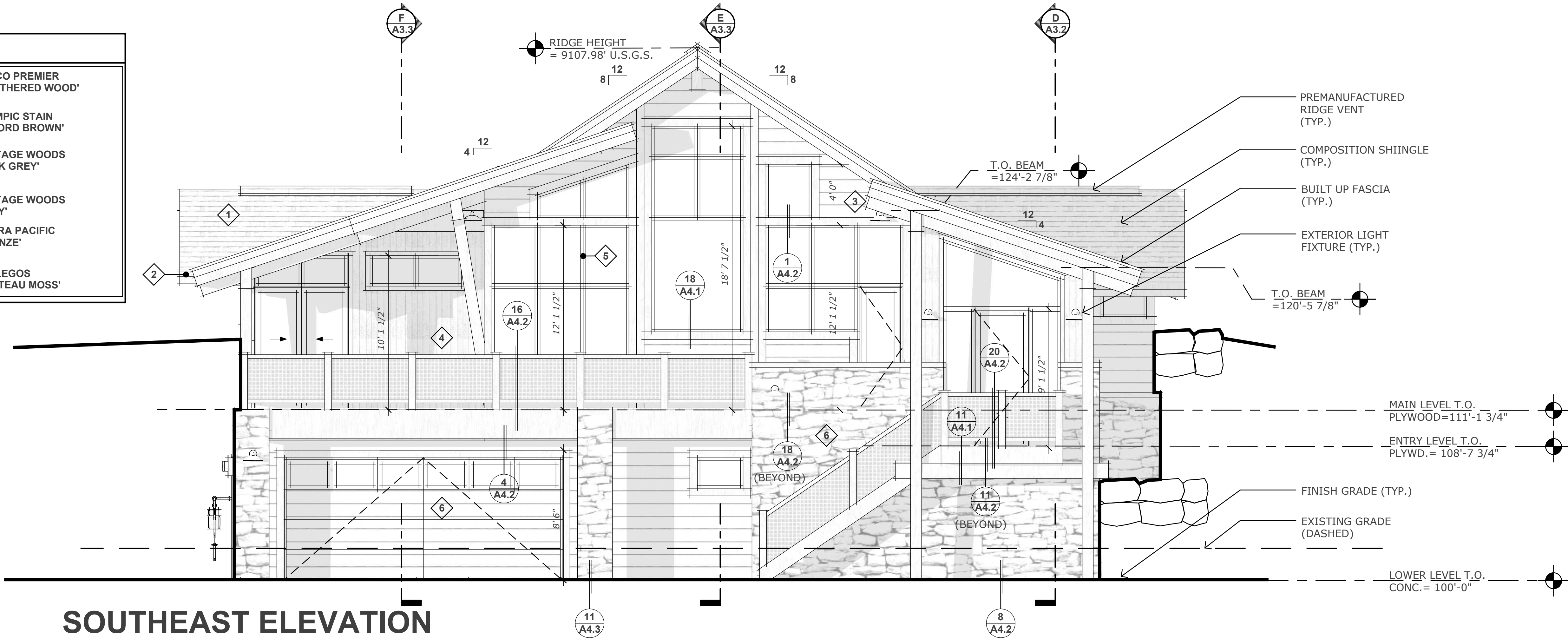
© 2016

SHEET NUMBER:

A1.3

OF: 13

COLOR LEGEND	
1	COMPOSITION SHINGLE ROOFING
2	FACIA,BEAMS,& TRIM
3	HORIZONTAL SIDING
4	VERTICAL SIDING
5	WINDOW CLAD/FLASHING
6	STONE VENEER
	PABCO PREMIER 'WEATHERED WOOD'
	OLYMPIC STAIN 'OXFORD BROWN'
	VANTAGE WOODS 'DARK GREY'
	VANTAGE WOODS 'GREY'
	SIERRA PACIFIC 'BRONZE'
	GALLEGOS 'CHATEAU MOSS'



SOUTHEAST ELEVATION

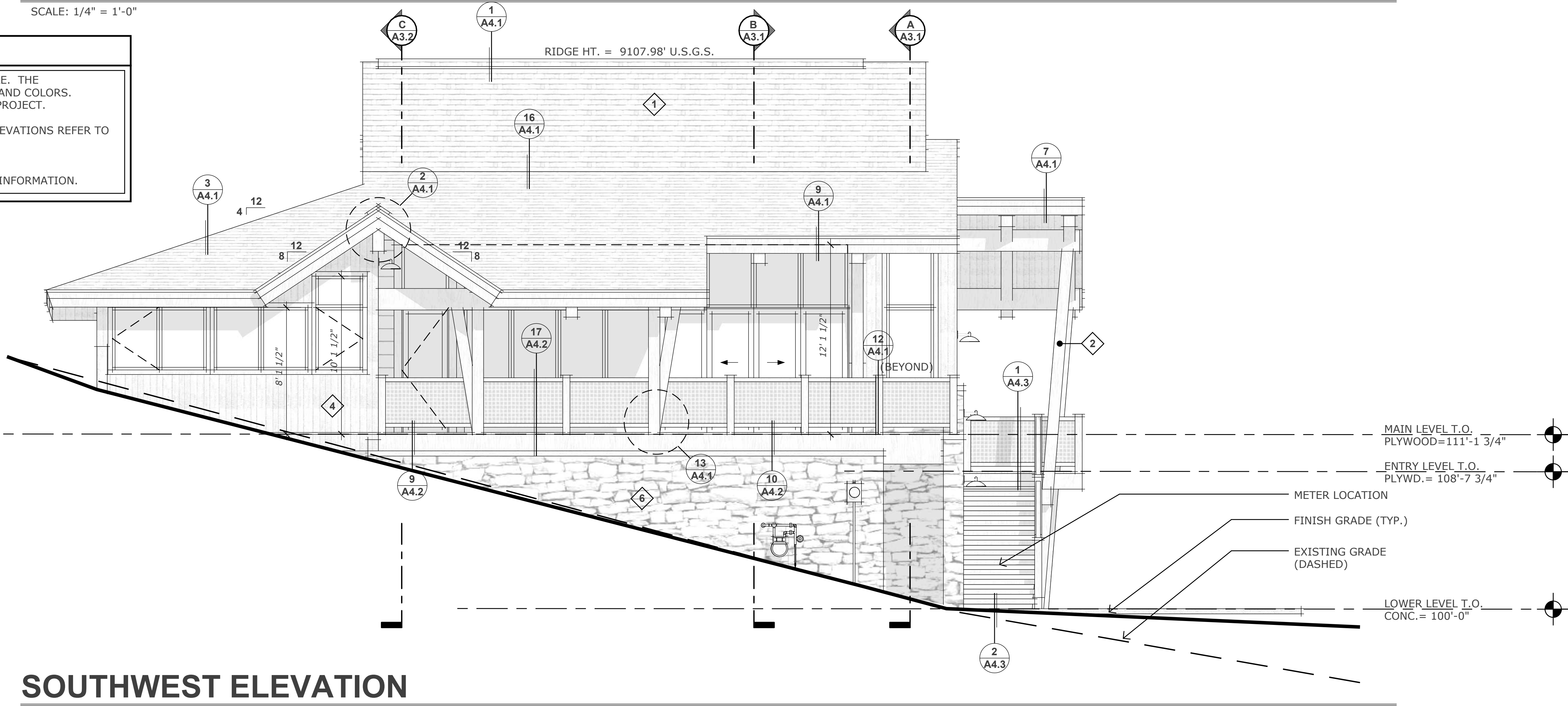
SCALE: 1/4" = 1'-0"

ELEVATION NOTE

THESE ELEVATIONS ARE GRAPHIC IN NATURE. THE ELEVATIONS ILLUSTRATE EXTERIOR IMAGE AND COLORS. DO NOT SCALE OFF ELEVATIONS FOR THIS PROJECT.

MATERIAL COLORS ARE TYPICAL FOR ALL ELEVATIONS REFER TO COLOR LEGEND, VERIFY ALL COLORS WITH OWNER

SEE BUILDING SECTIONS FOR ADDITIONAL INFORMATION.



SOUTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO:

61515

DATE:

05/02/16

DRAWN BY:

smhyder

CHECKED BY:

mhoux

2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR: PERMIT

bhh Partners

P.O. BOX 931 • 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

MC CREREY - TWO CABINS

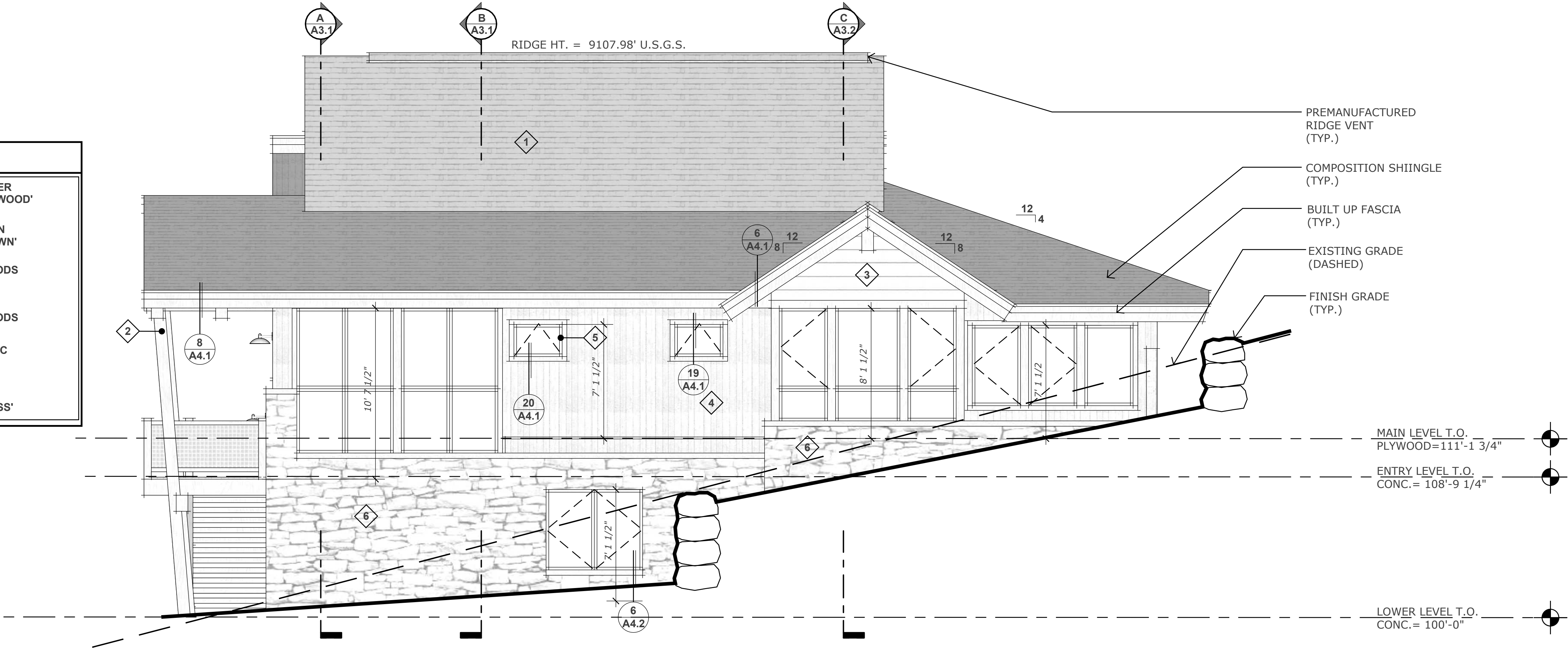
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

©2016

A2.1

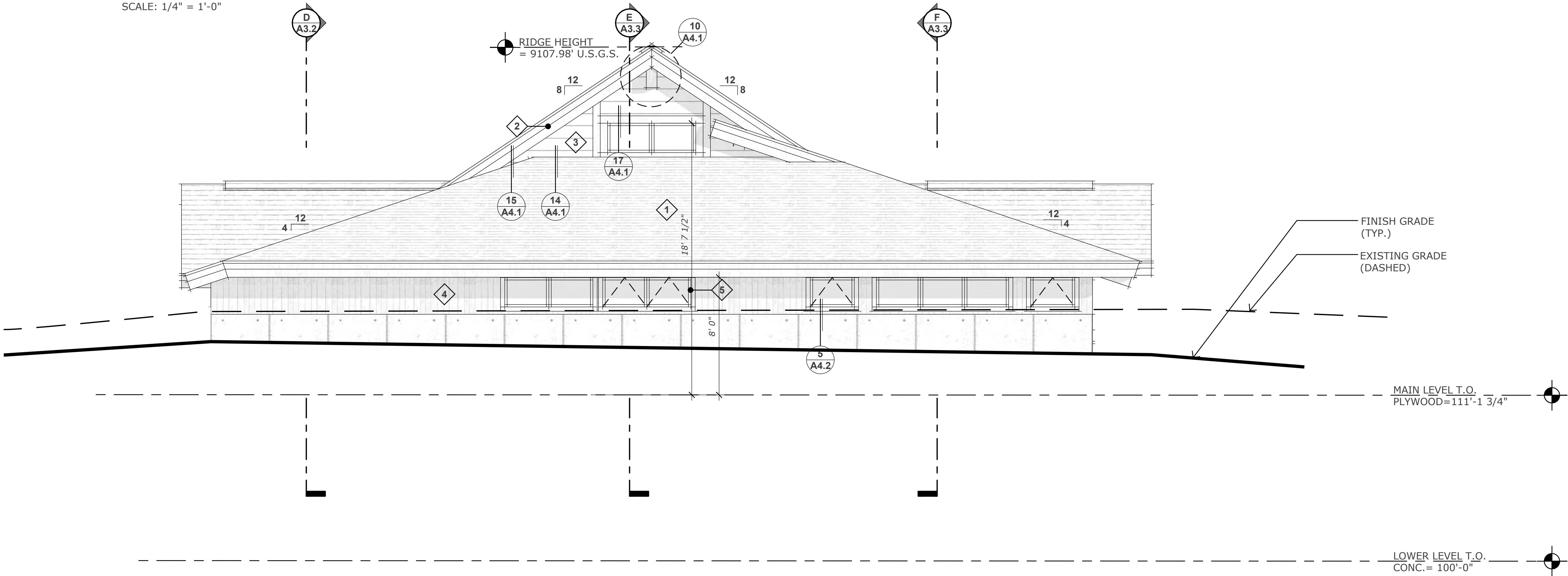
OF: 13

COLOR LEGEND		
1	COMPOSITION SHINGLE ROOFING	PABCO PREMIER 'WEATHERED WOOD'
2	FACIA,BEAMS,& TRIM	OLYMPIC STAIN 'OXFORD BROWN'
3	HORIZONTAL SIDING	VANTAGE WOODS 'DARK GREY'
4	VERTICAL SIDING	VANTAGE WOODS 'GREY'
5	WINDOW CLAD/ FLASHING	SIERRA PACIFIC 'BRONZE'
6	STONE VENEER	GALLEGOS 'CHATEAU MOSS'



NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"



NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO:

61515

DATE:

05/02/16

DRAWN BY:


smhyder

CHECKED BY:

mhoux

2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:
PERMIT



bhh Partners

P.O. BOX 931 180 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 455-6880

MC CREREY - TWO CABINS

LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

©2016

A2.2

OF: 13

BUILDING ENVELOPE ENERGY SUMMARY

ROOF INSULATION: R-49
EXTERIOR WALLS: (2X6) R-23
WATERPROOF DECK: R-38 (CLOSED CELL FOAM)
HEATED SLAB EDGE: R-15 (VERT.)
HEATED UNDER SLAB: R-10 (HORIZ.)

EXTERIOR FOUNDATION WALLS BELOW GRADE: R-10
FURRED EXTERIOR WALLS BELOW GRADE: (2X4) R-15
EXTERIOR WINDOWS/DOORS: U-FACTOR: 0.35 MAX.
CANTILEVERS: R-49

NOTE: VAPOR BARRIER AND 5/8" GYP. BD. TO BE
INSTALLED THROUGHOUT PRIOR TO ANY
INSTALLATION OF: TUBS, DROPPED CEILING, &
DROPPED SOFFITS, UNDER-FRAME OR OTHER.

SEE PLANS AND SPECIFICATIONS FOR DETAILS
RELATED TO SPECIFIC INSULATION REQUIREMENTS
FOR EXTERIOR BUILDING ENVELOPE.

TYPICAL FLASHING AT ROOF & WALL JUNCTURES:
26 GA. METAL FLASHING OVER ICE & WATER
SHIELD, INSTALLED UP WALL 8" MIN. AND ONTO
ROOF SHEATHING 8" MIN. (PRIOR TO
INSTALLATION OF HOUSEWRAP & ICE & WATER
SHIELD).

THERMAL ENVELOPE
DASHED LINE OUTLINES THERMAL ENVELOPE

TYPICAL SLAB:
COMPACT FREE DRAINING LEVELING COURSE
FOR INSTALLATION OF VAPOR BARRIER OVER
R-5 RIGID FOIL FACED (UP) INSULATION @ 6'-0"
WITHIN PERIMETER FOUNDATION WALL PRIOR TO
5" REINFORCED CONCRETE POUR. SEE
STRUCTURAL PLANS.

TYPICAL ROOF ASSEMBLY:
SCHEDULED ROOFING (PER SPECS) OVER
WATERPROOF MEMBRANE (HOLD DOWN
3'-0" FROM RIDGES) OVER FLYWOOD
SHEATHING AND FRAMING (PER
STRUCTURAL) WITH R-49 INSULATION. SEE
DETAILS FOR HEADWALL AND SOFFIT VENTS.

TYPICAL SOFFIT @ RAKES & EAVES:
1x6 T&G R.S. BOARDS

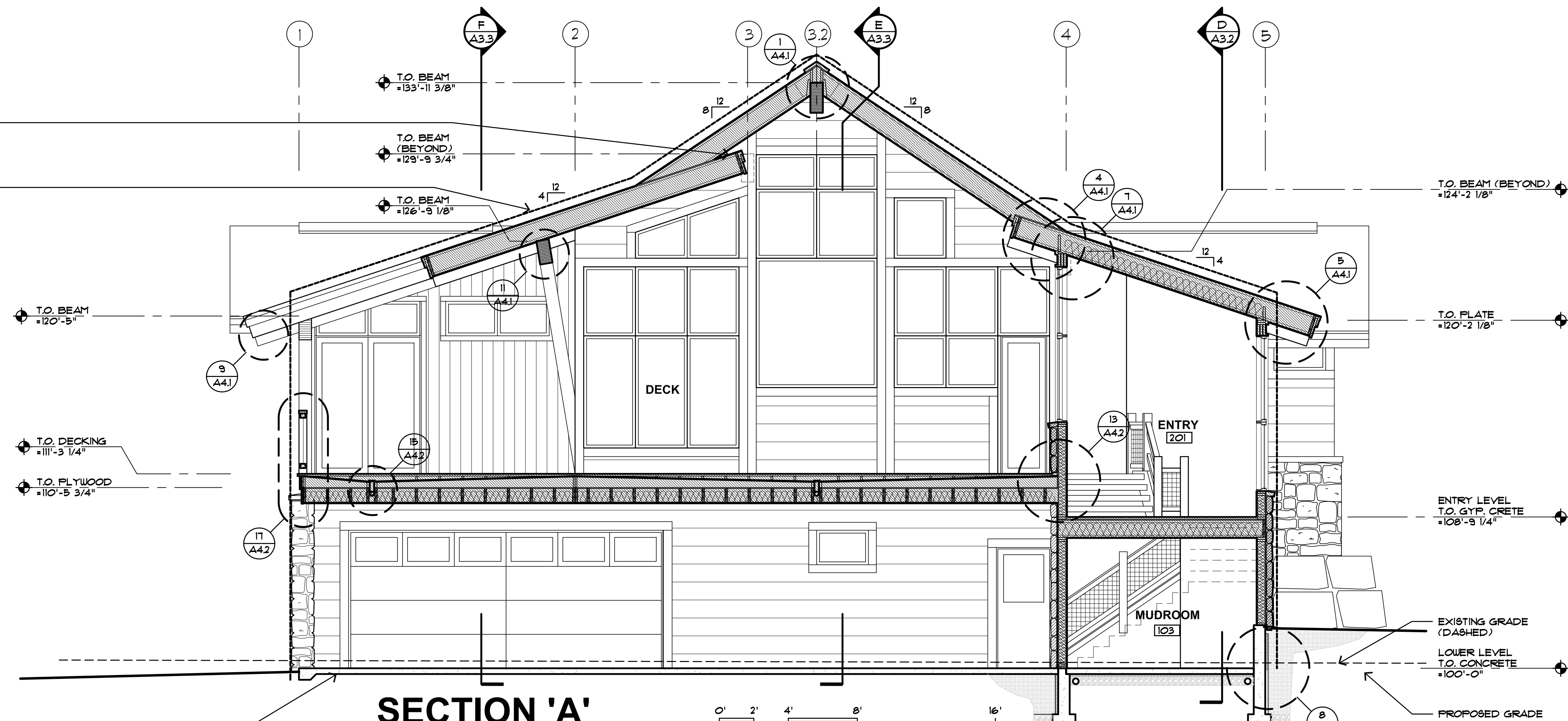
TYPICAL FLOOR / CEILING:
1 1/2" GYP. CRETE OVER 3/4" PLYWOOD SUBFLOOR
(PER STRUCT.) OVER WOOD JOISTS (PER STRUCT.)
W/ R-11 BATT INSUL. PROVIDE 5/8" GYP. BD. AT
CEILING. PROVIDE 5/8" 'X' GYP. BD. AT GARAGE
CEILING.

TYPICAL EXTERIOR WALL:
HORIZONTAL OR VERTICAL SIDING (PER SPECS
& ELEVATIONS) OVER 1 LAYER 15 LB. FELT,
OVER 1/2" SHEATHING, 2X6 STUDS @ 16" O.C.
W/ R-23 OR TYVEK BATT INSUL. PROVIDE 5/8"
DRYWALL OVER 4 MIL. VAPOR BARRIER @
INTERIOR.

PROVIDE WATERPROOF MEMBRANE AND
WAFFLE DRAIN BEHIND STONE VENEER (TYP.)

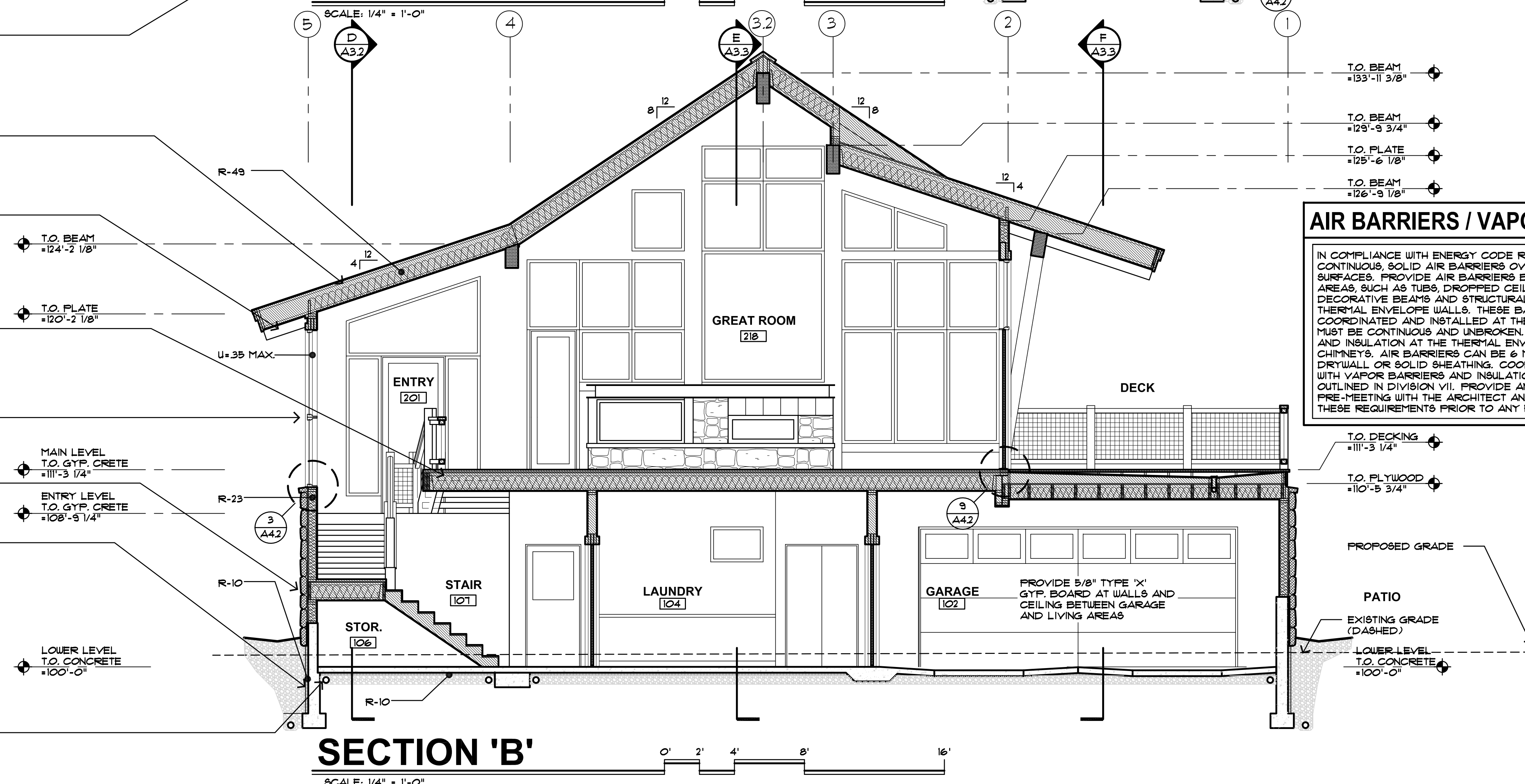
TYPICAL FOUNDATION WATERPROOFING:
AT UPHILL SIDES OF FOUNDATION INSTALL 2"
R-10 RIGID INSULATION OVER DRAIN MAT OVER
WATERPROOF MEMBRANE (IF REQUIRED BY
SOILS ENGINEER). PROVIDE DAMPPROOFING AT
SIDE WALLS AND DOWNHILL WALLS.

RADON MITIGATION:
PROVIDE CONTINUOUS 4" DIA. RIGID PERFORATED
DRAIN PIPE IN GRAVEL PLACED UNDER SLAB.
VENT UP THRU ROOF TO OUTSIDE W/ 4" DIA. P.V.C.
PIPE. PROVIDE ELECTRICAL OUTLET NEAR PIPE
FOR FUTURE FAN IF REQUIRED. FAN (IF REQUIRED)
TO BE PLACED AS HIGH AS POSSIBLE IN ATTIC
SPACES. SEAL ALL SLAB PENETRATIONS AND
JUNCTURES. VERIFY W/ SOILS ENGINEER



SECTION 'A'

SCALE: 1/4" = 1'-0"



SECTION 'B'

SCALE: 1/4" = 1'-0"

AIR BARRIERS / VAPOR BARRIERS

IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED AREAS SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS, DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL CHIMNEYS. AIR BARRIERS CAN BE 6 MIL. POLYFILM PLASTIC, DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.

REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: J. PAULAK

CHECKED BY: mhous

©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:
PERMIT

MPH

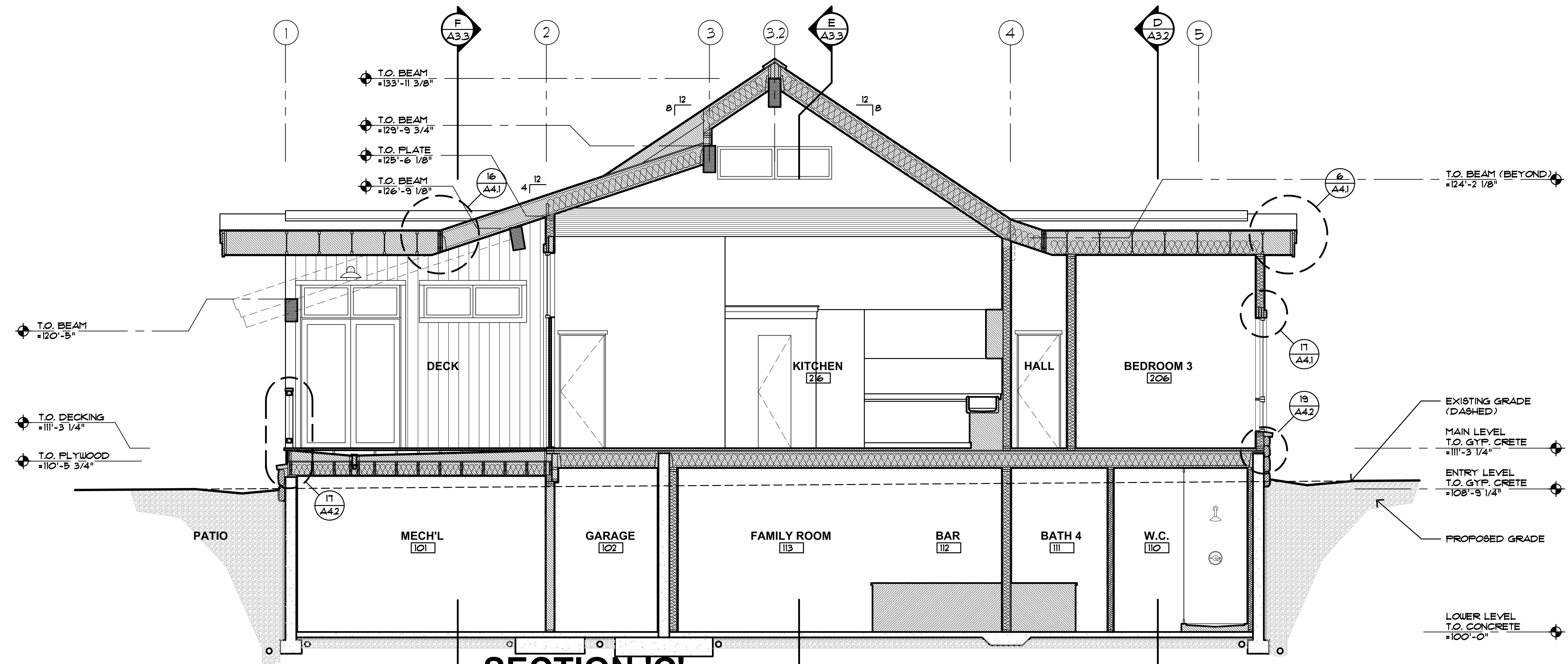
bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880
MC CREERY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER:

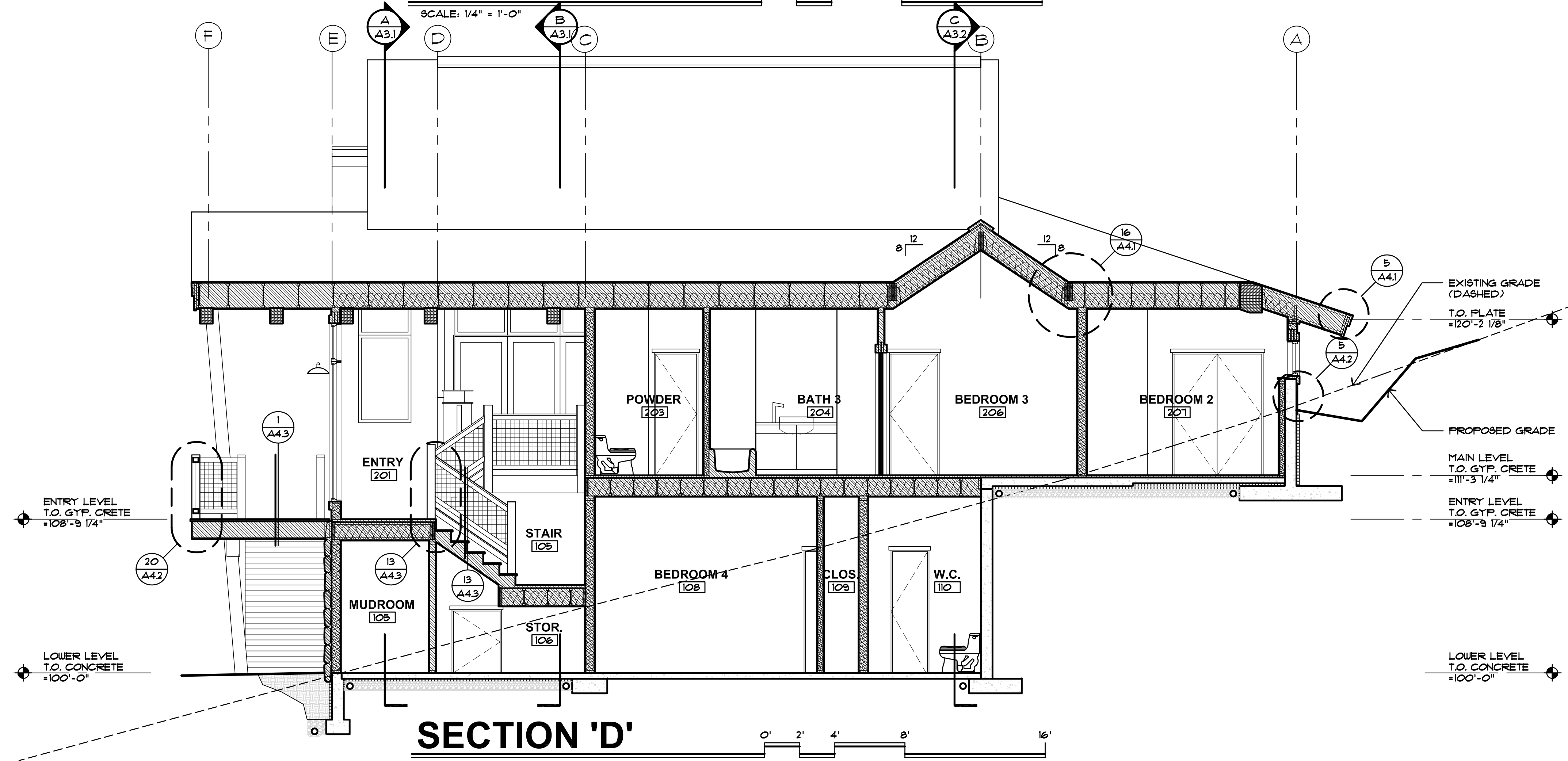
A3.1

OF: 13



SECTION 'C'

SCALE: 1/4" = 1'-0"



SECTION 'D'

SCALE: 1/4" = 1'-0"

REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: J. PAULAK

CHECKED BY: mhox

©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:
PERMIT

MC CREERY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

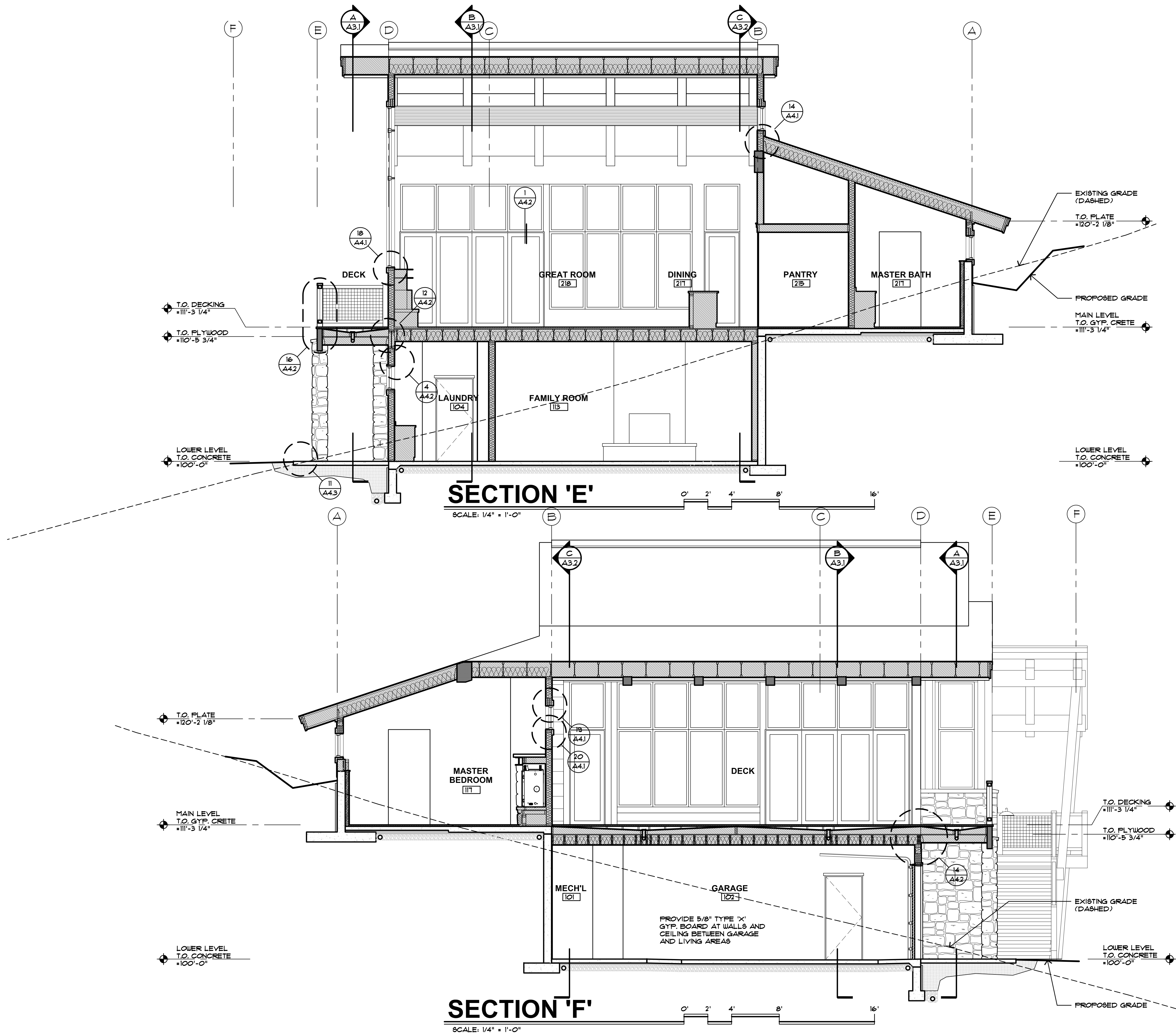
bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-8880

© 2016

SHEET NUMBER:

A3.2

OF: 13



REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: J. PAULAK
CHECKED BY: mhox

© 2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR: PERMIT

bhh Partners

P.O. BOX 931 160 EAST ADAMS BRECKENRIDGE, CO 80424 (970) 453-6880

MC CRENEY - TWO CABINS

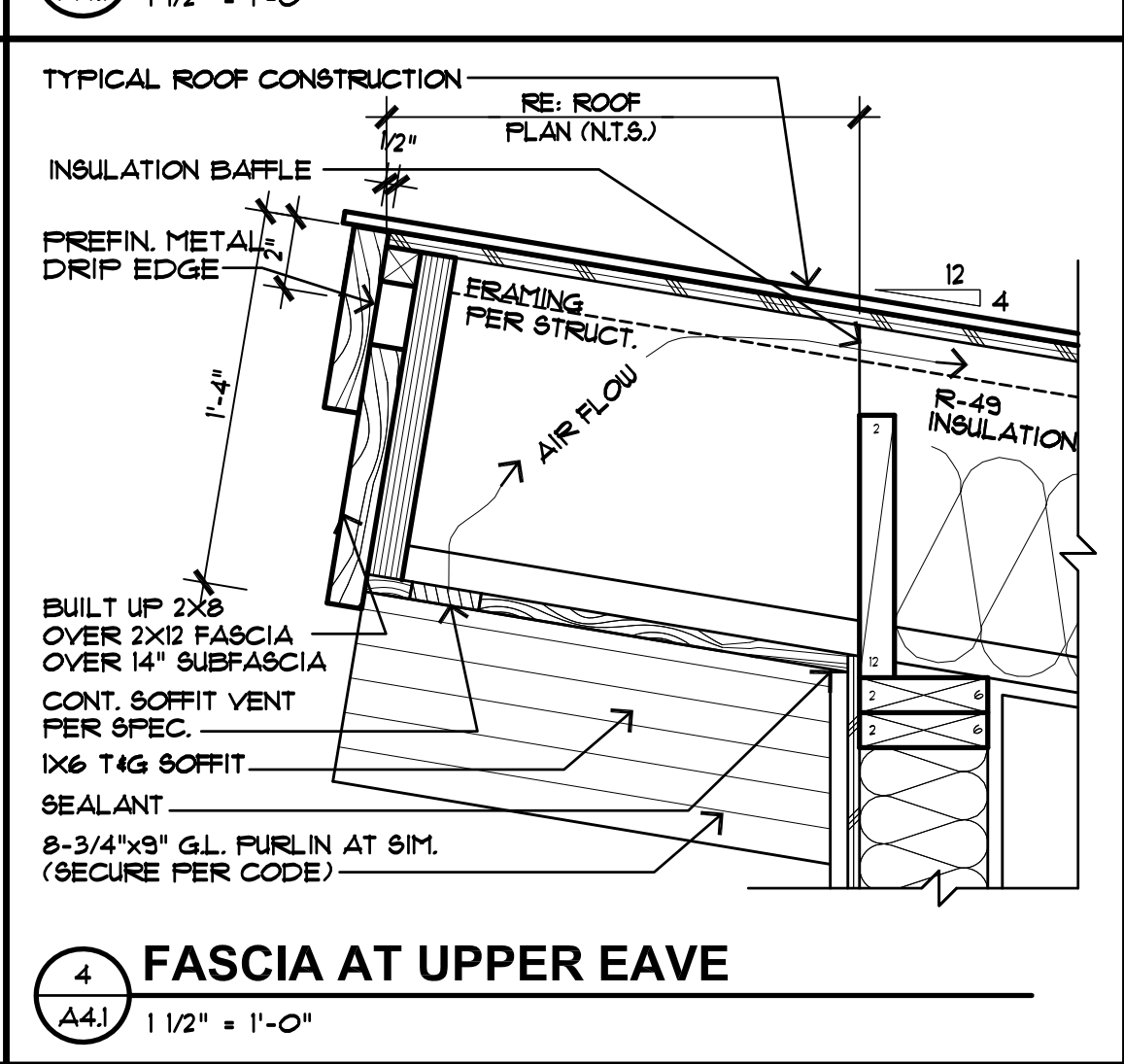
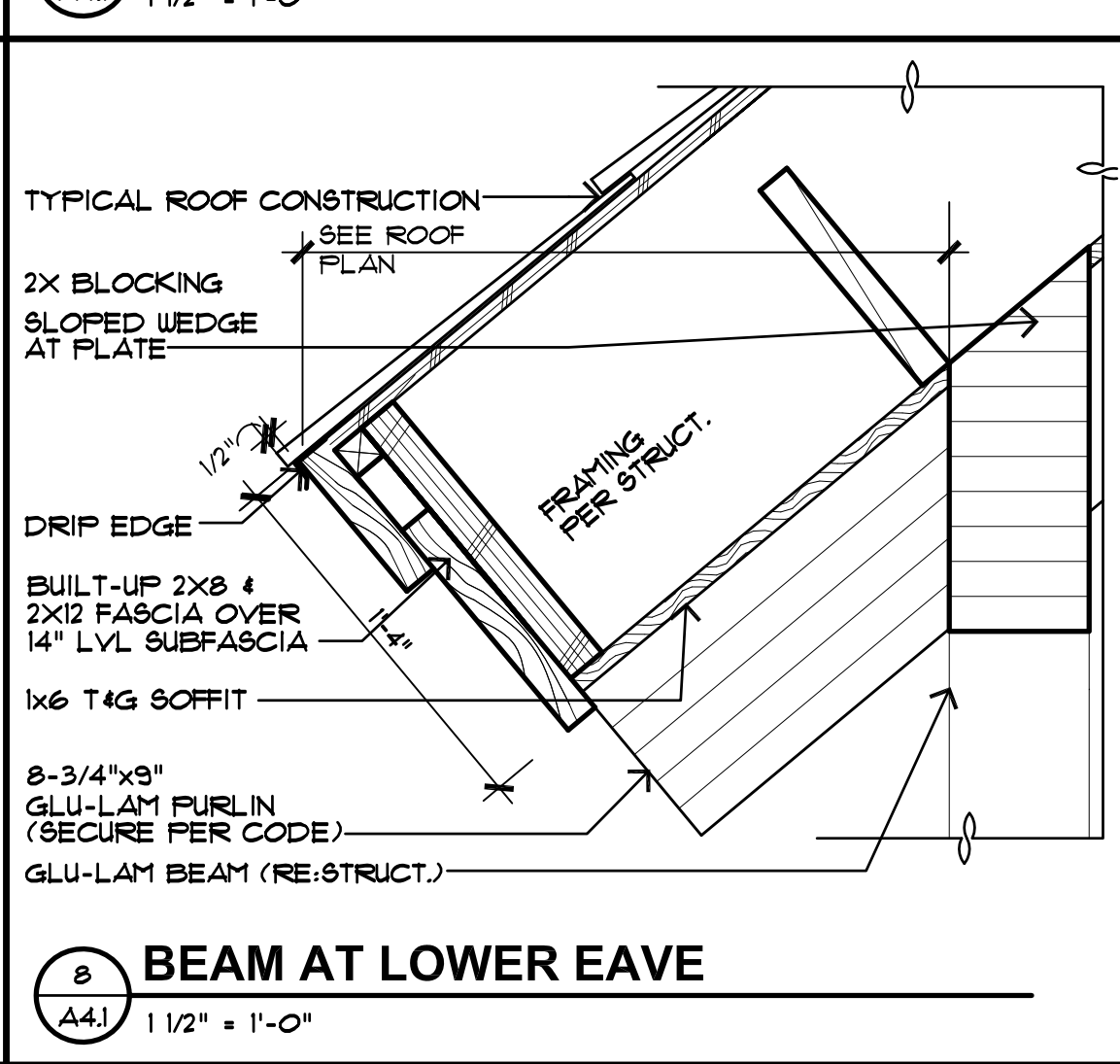
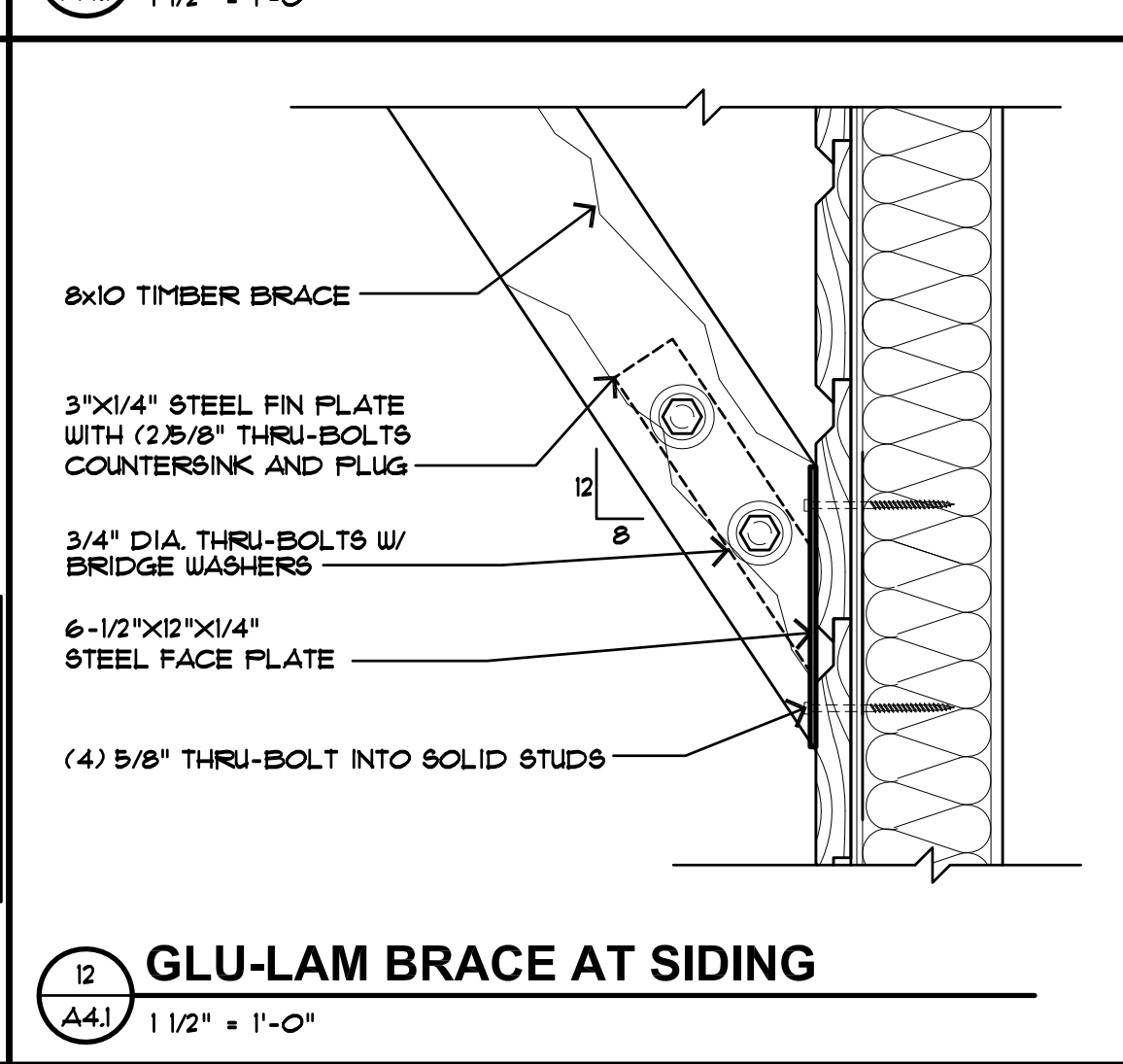
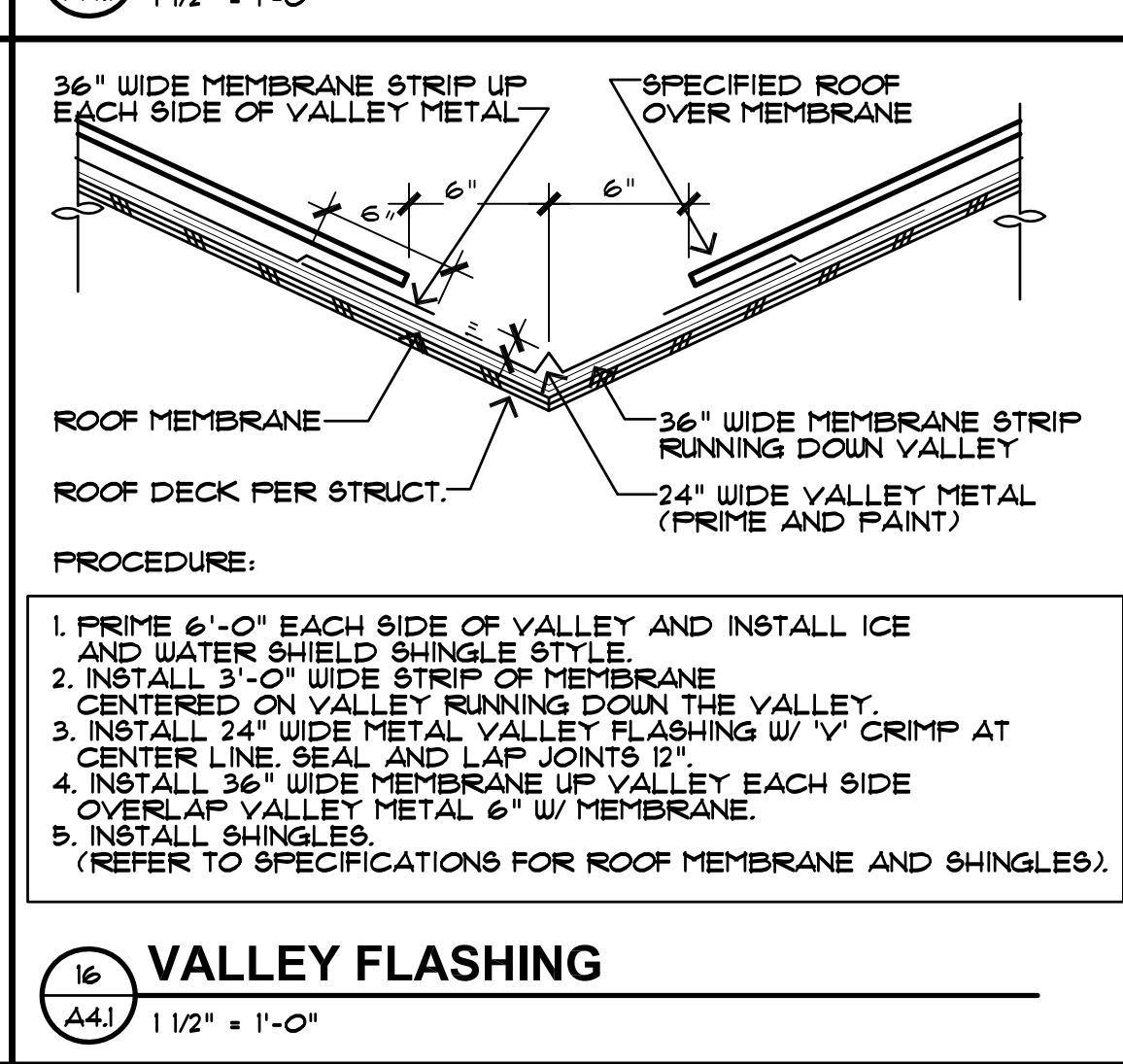
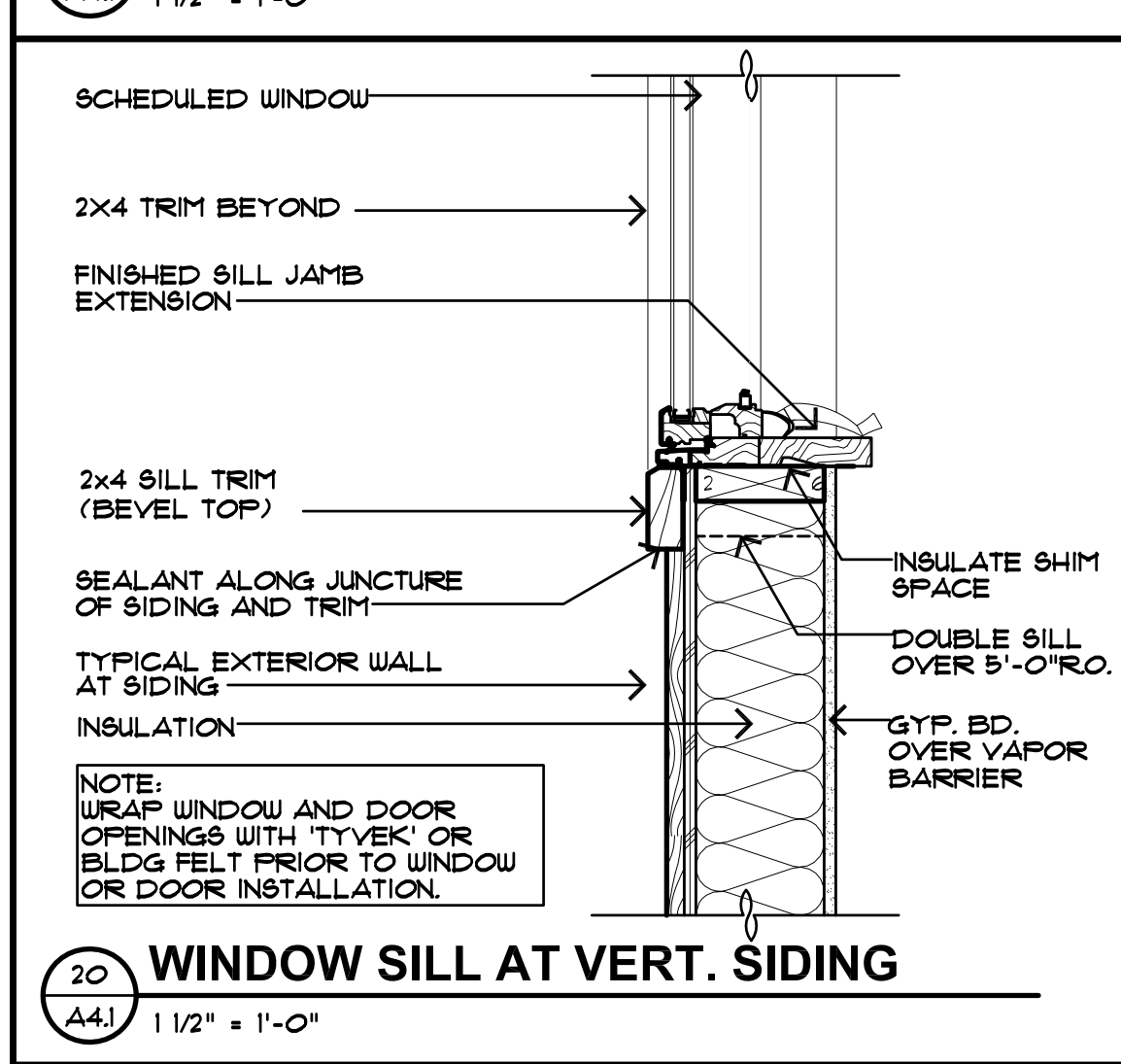
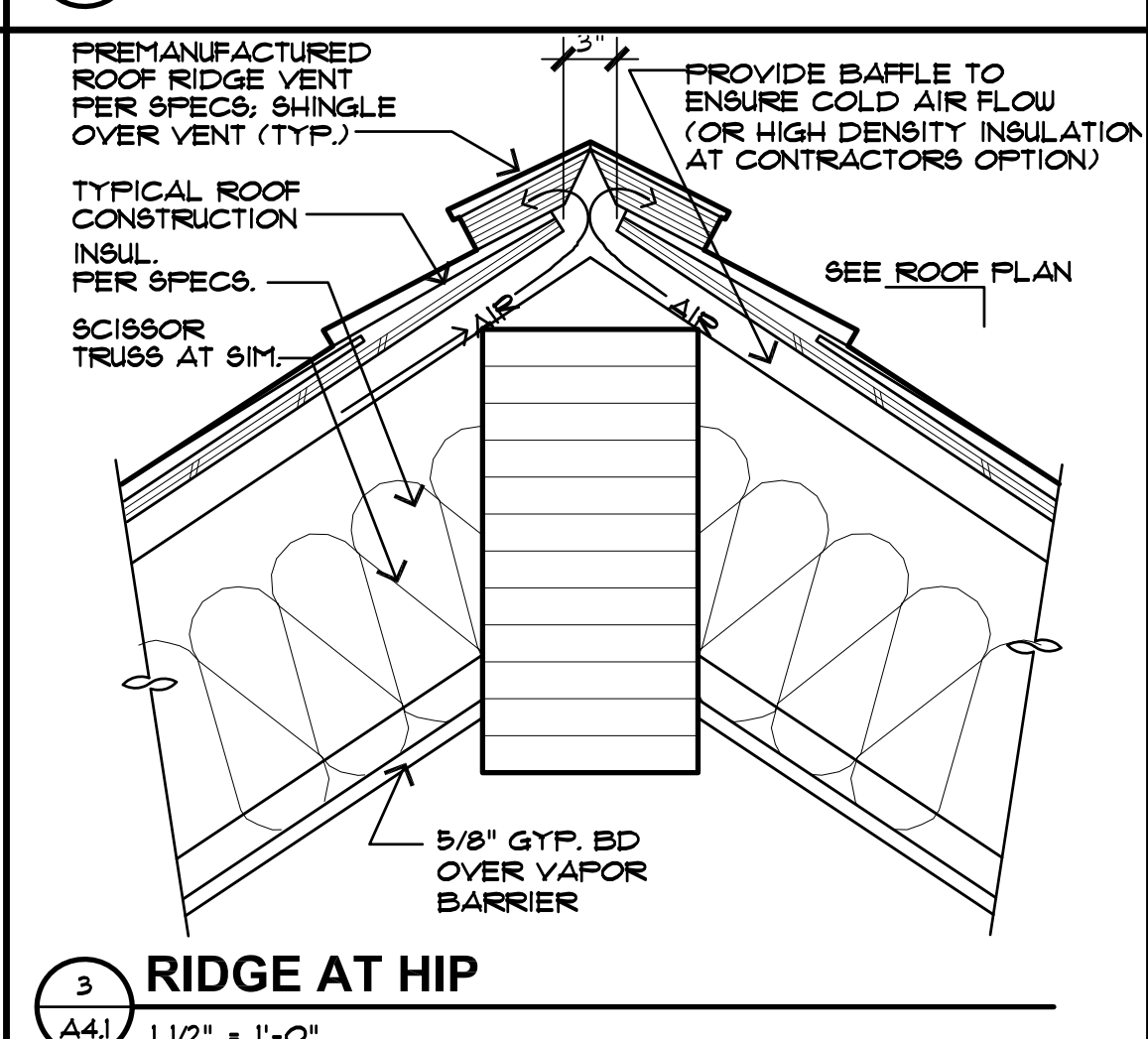
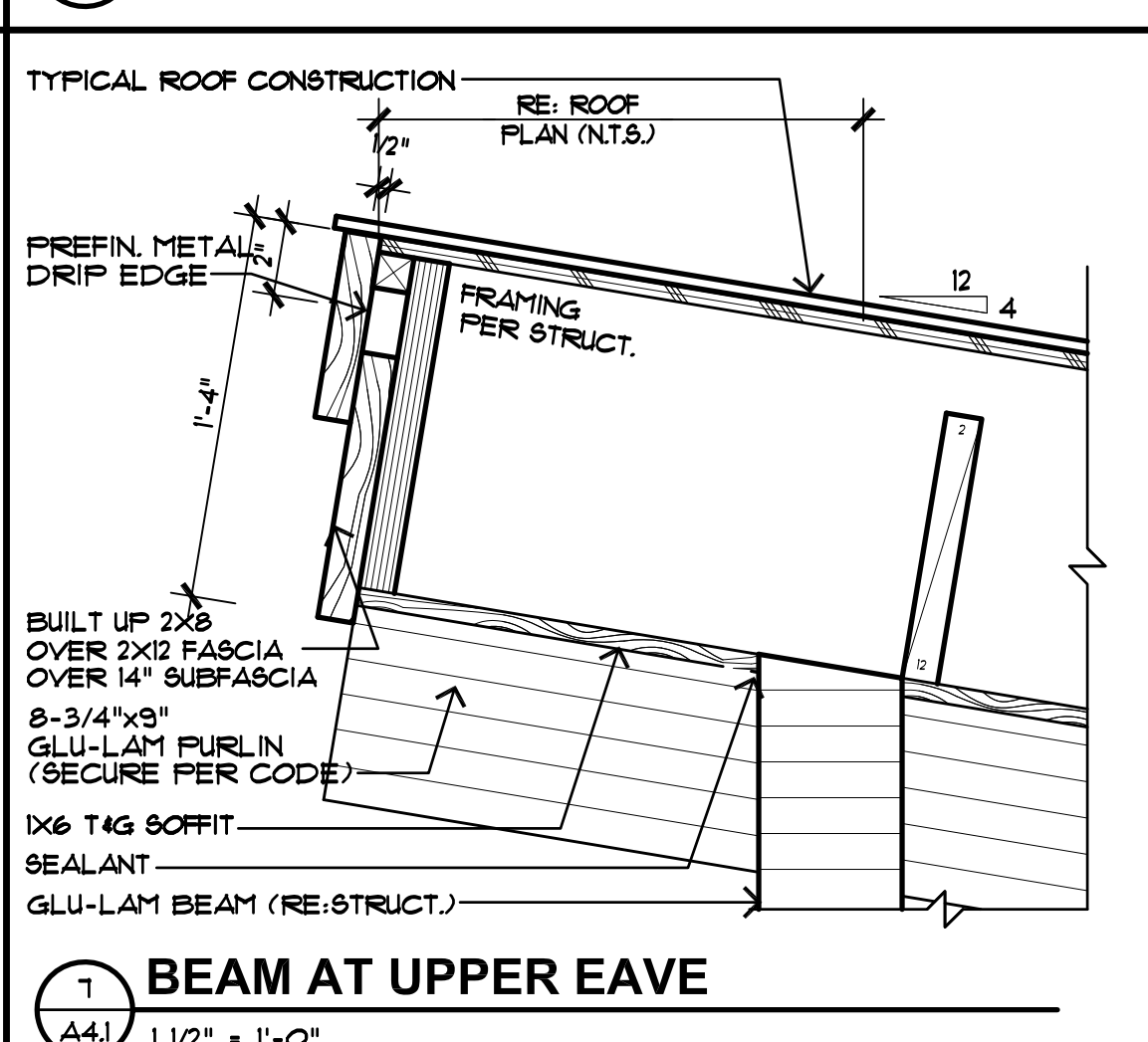
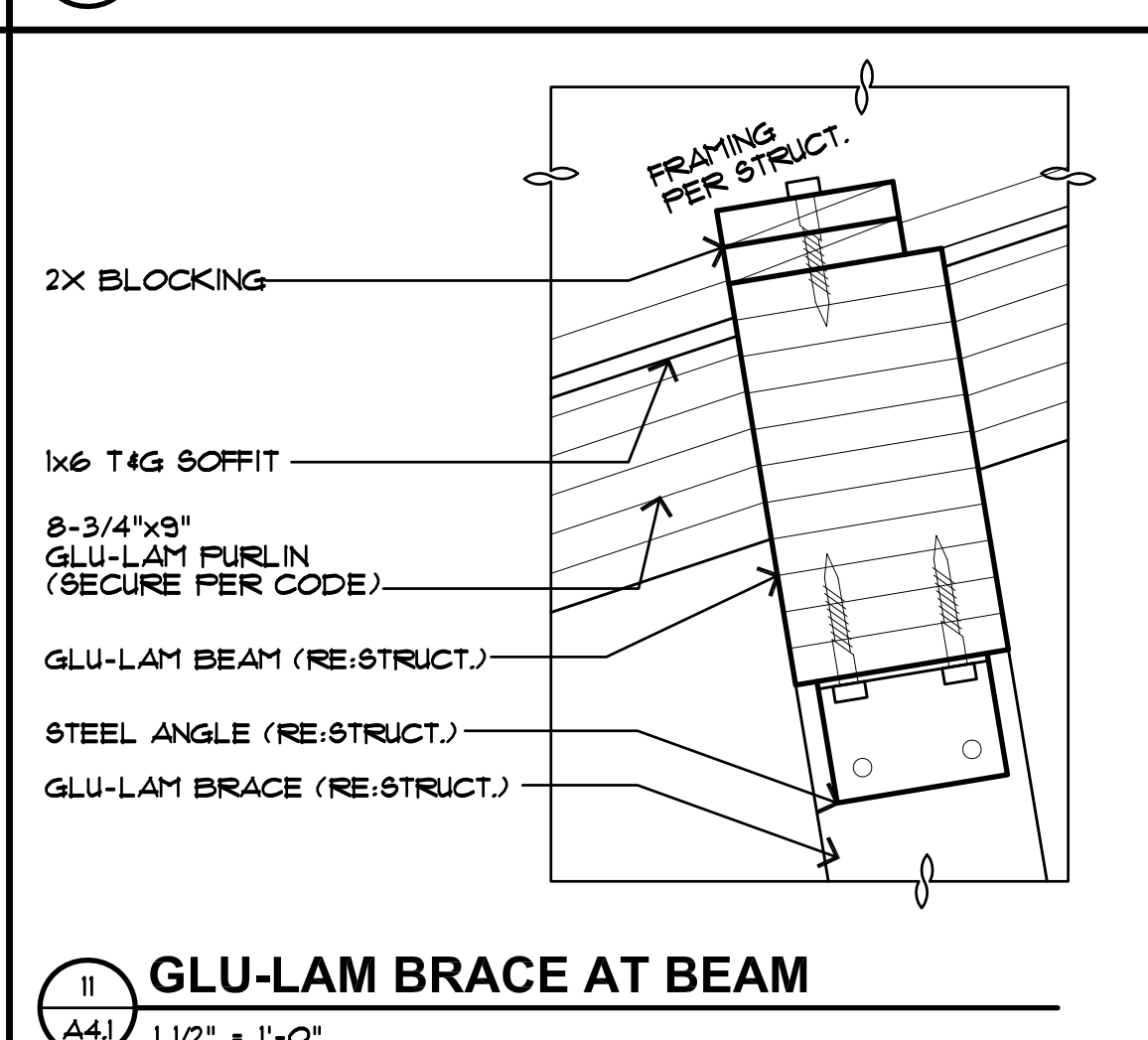
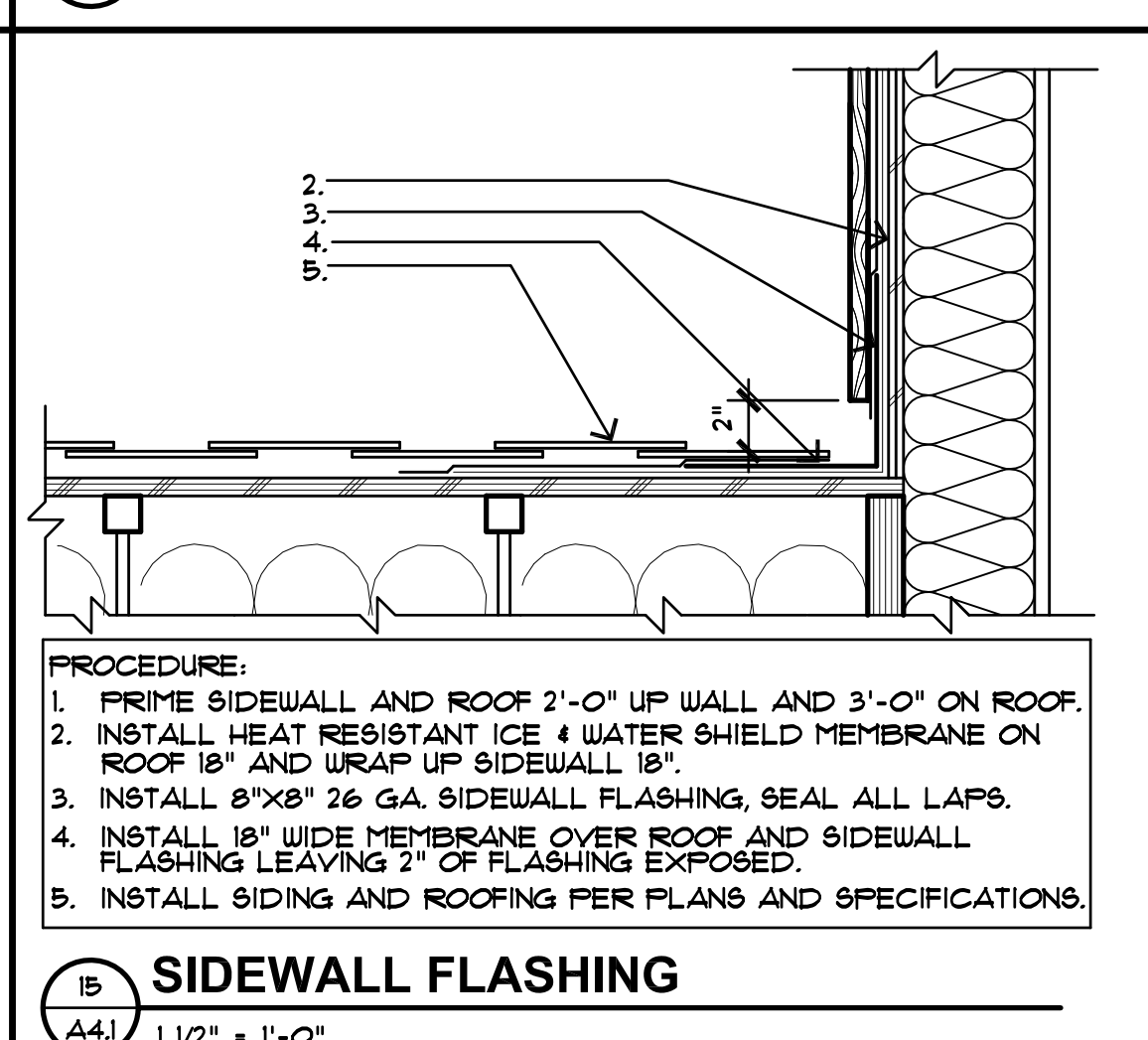
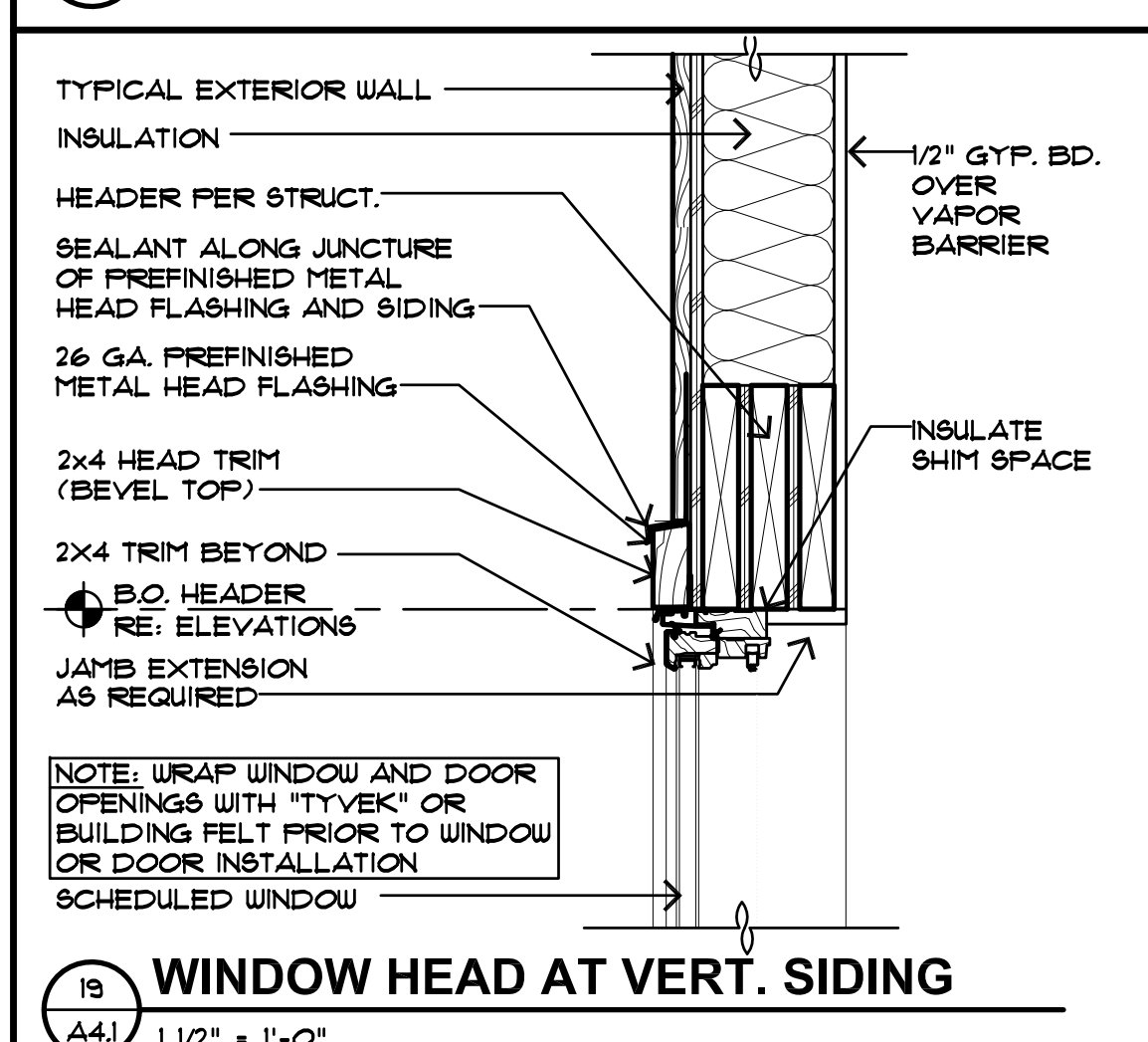
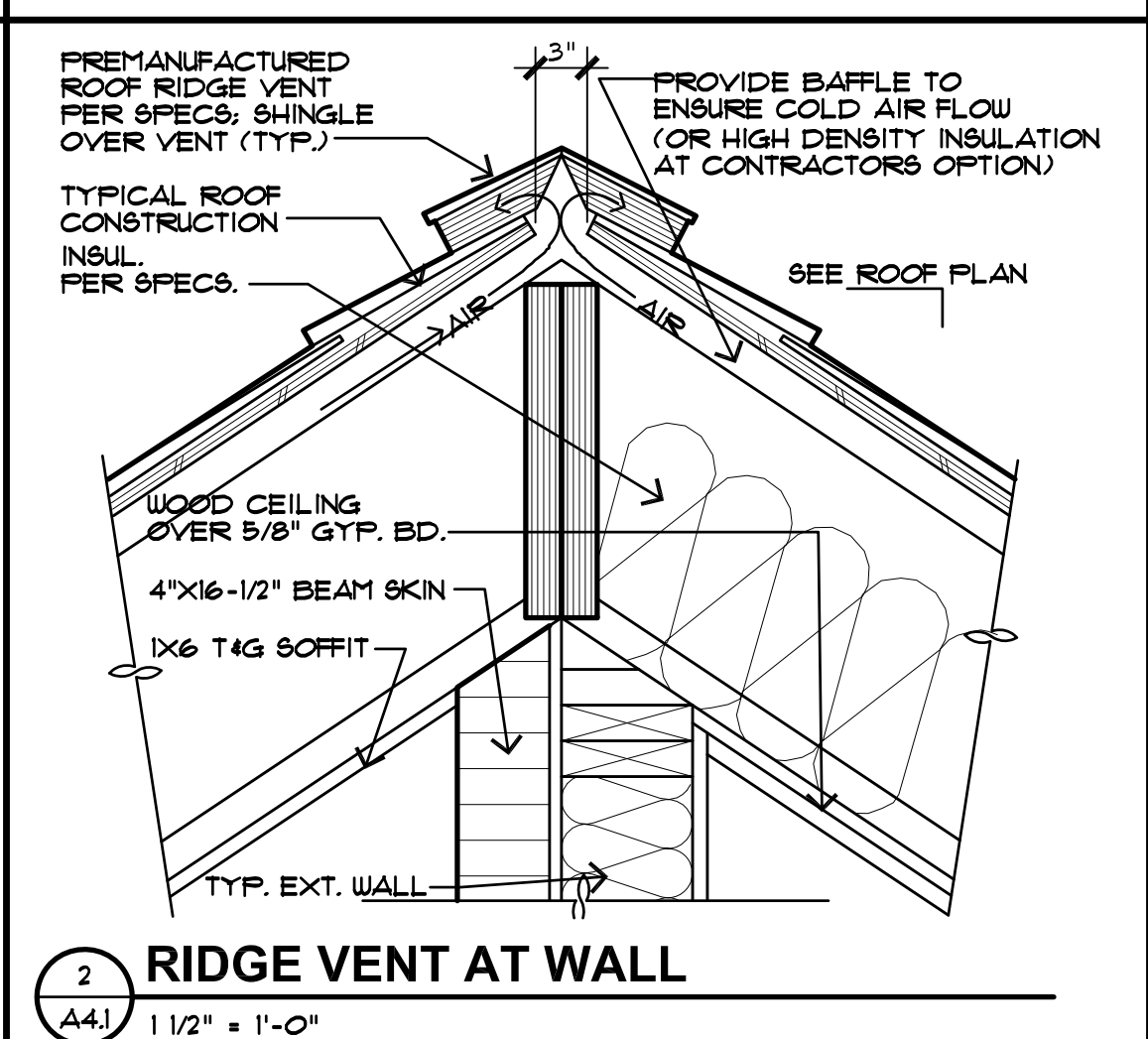
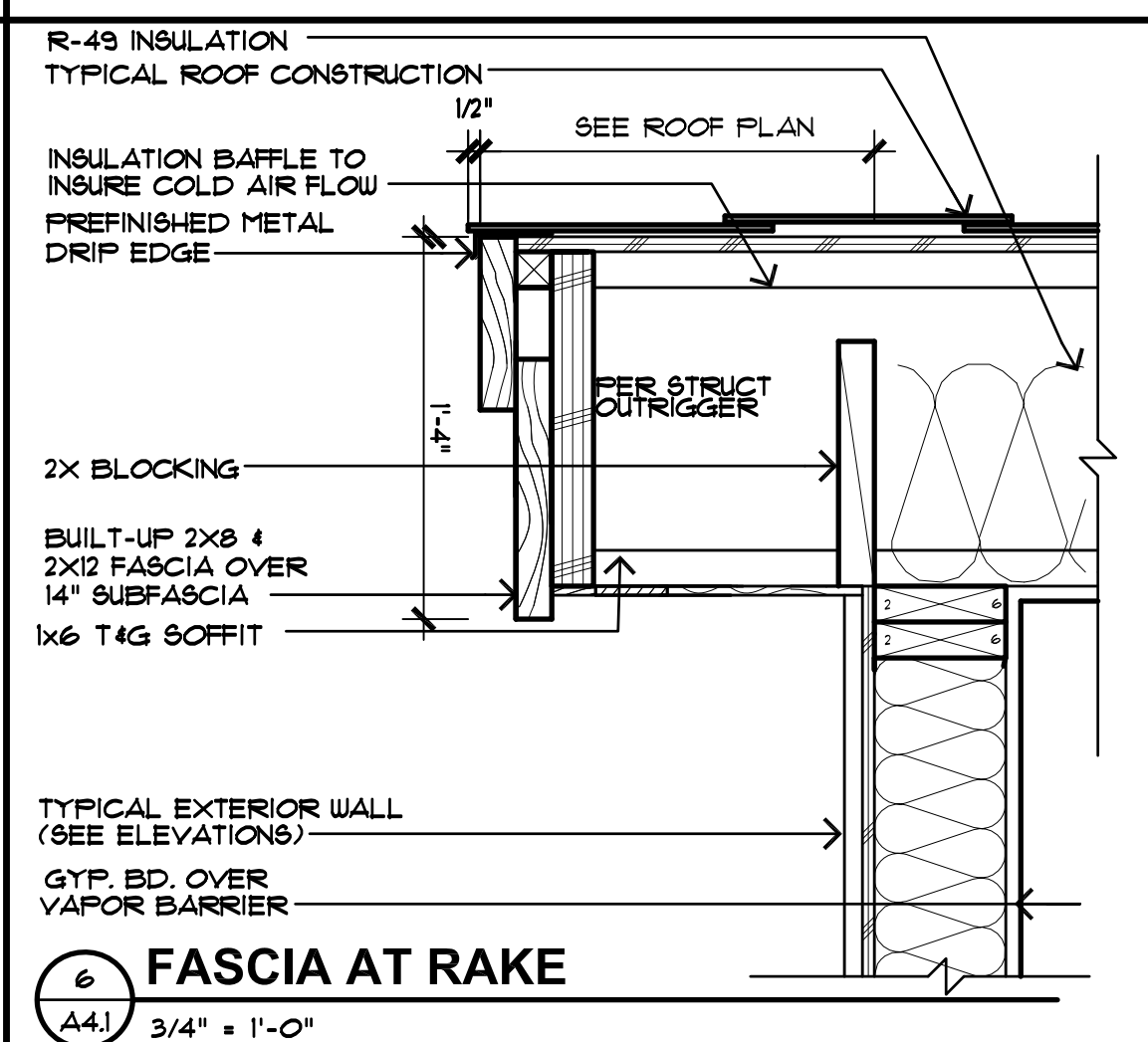
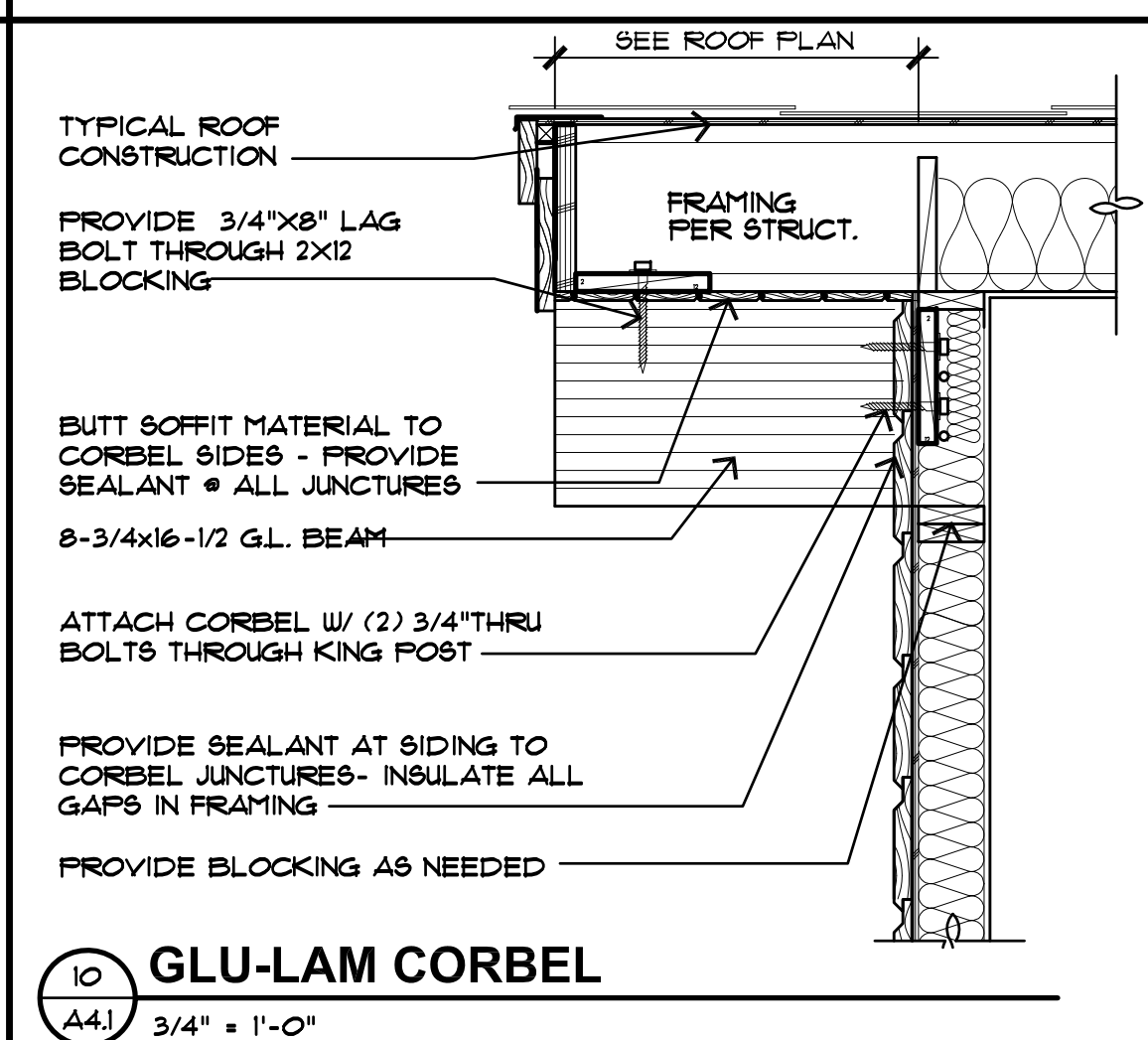
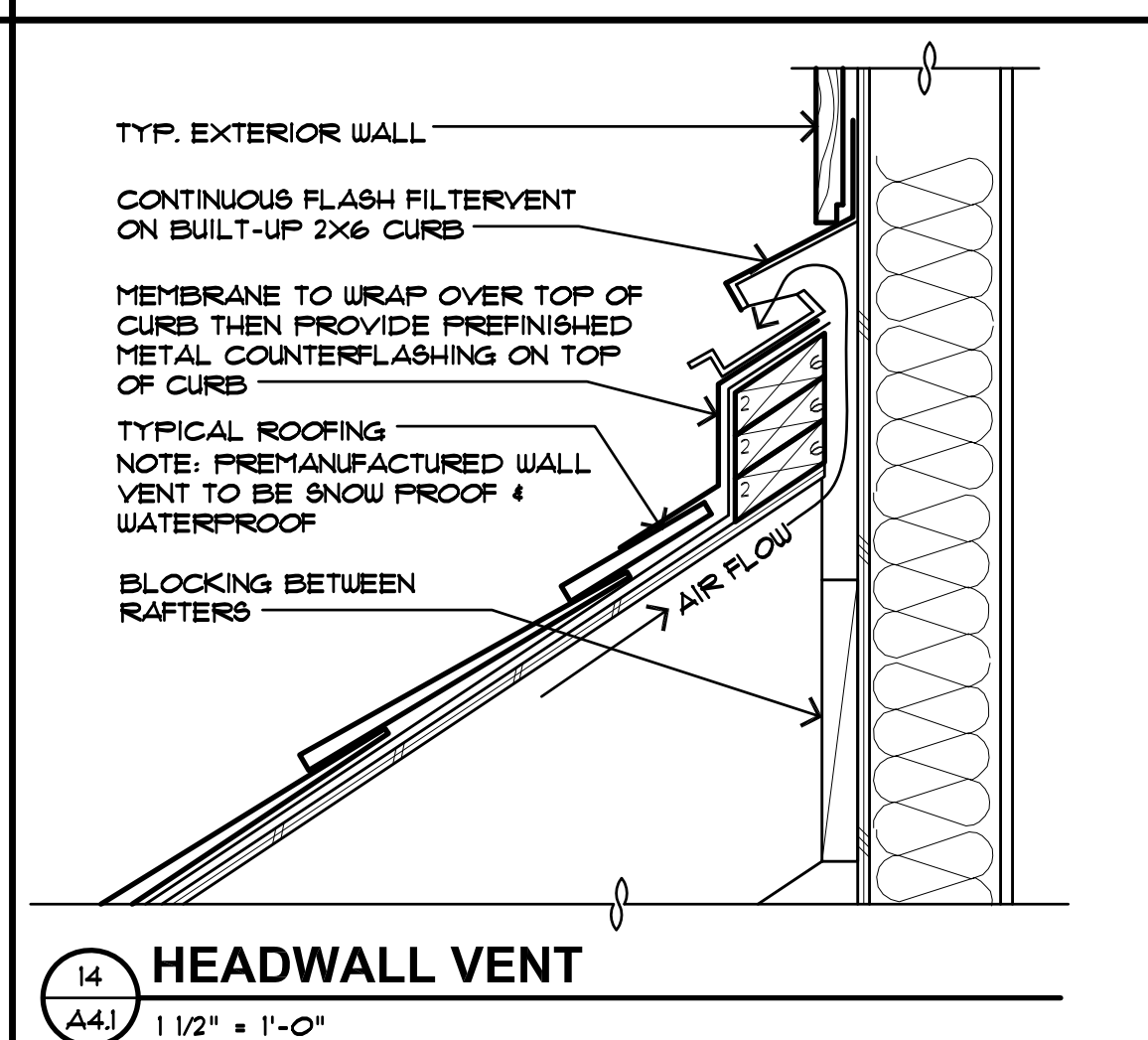
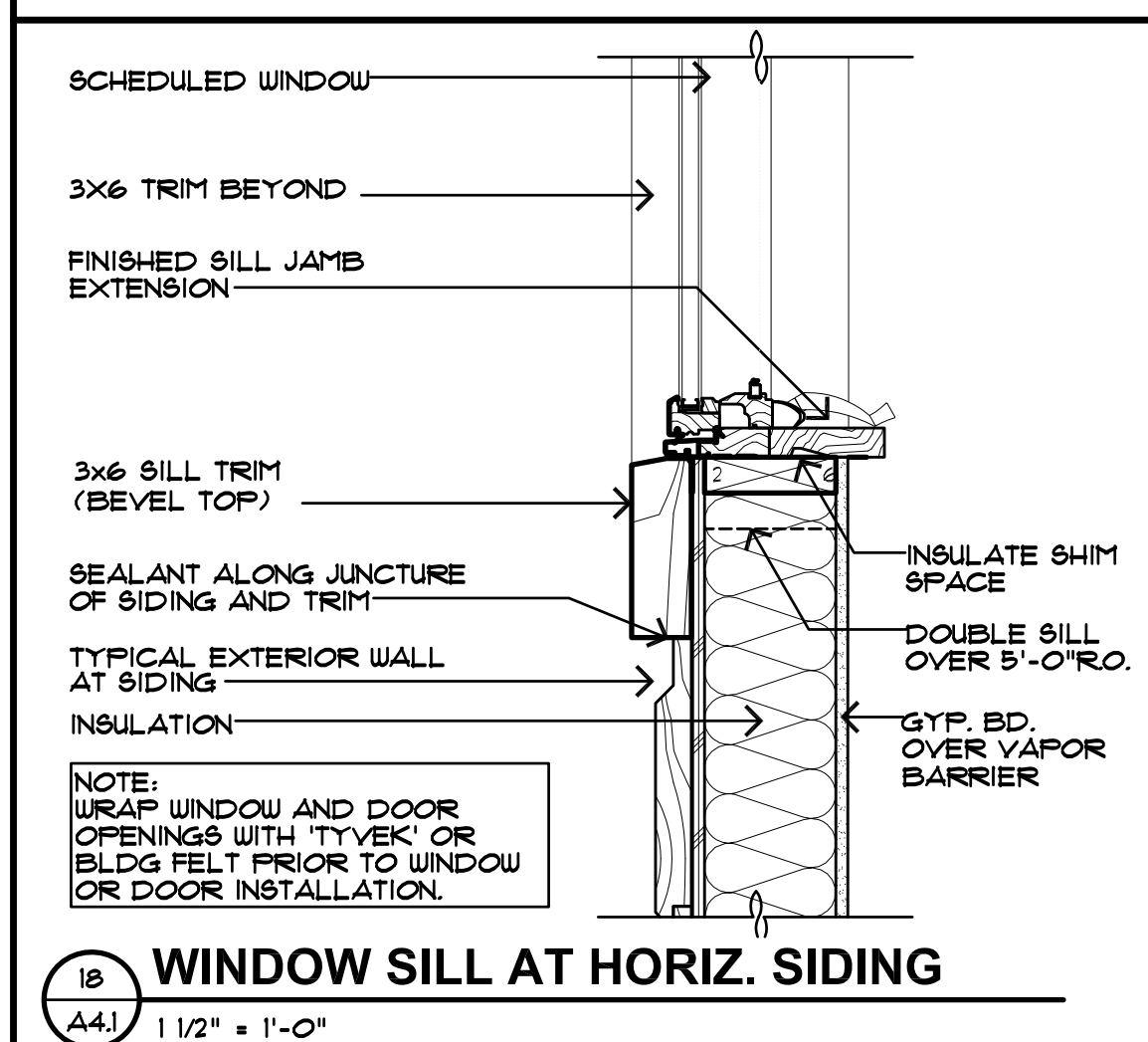
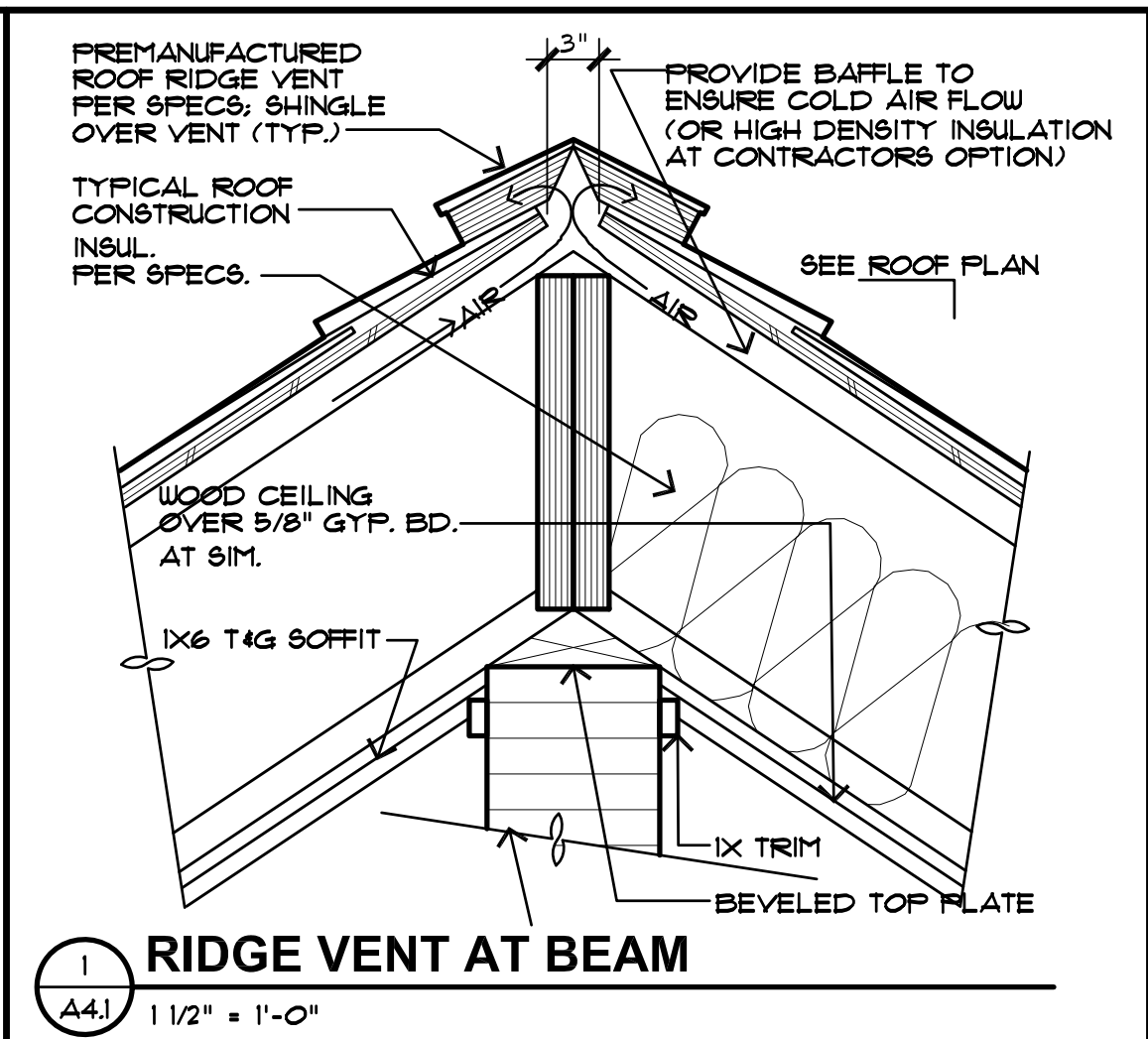
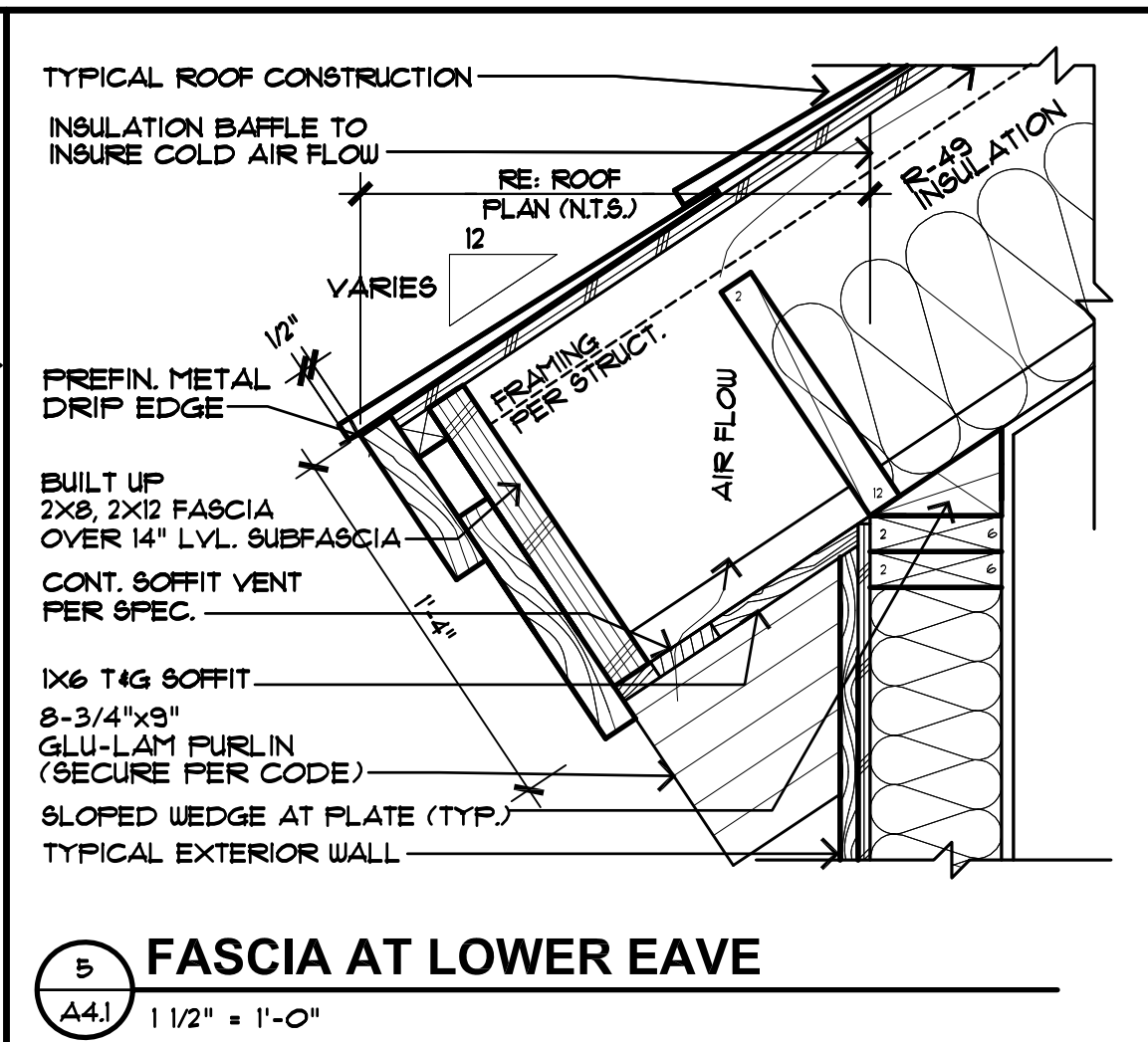
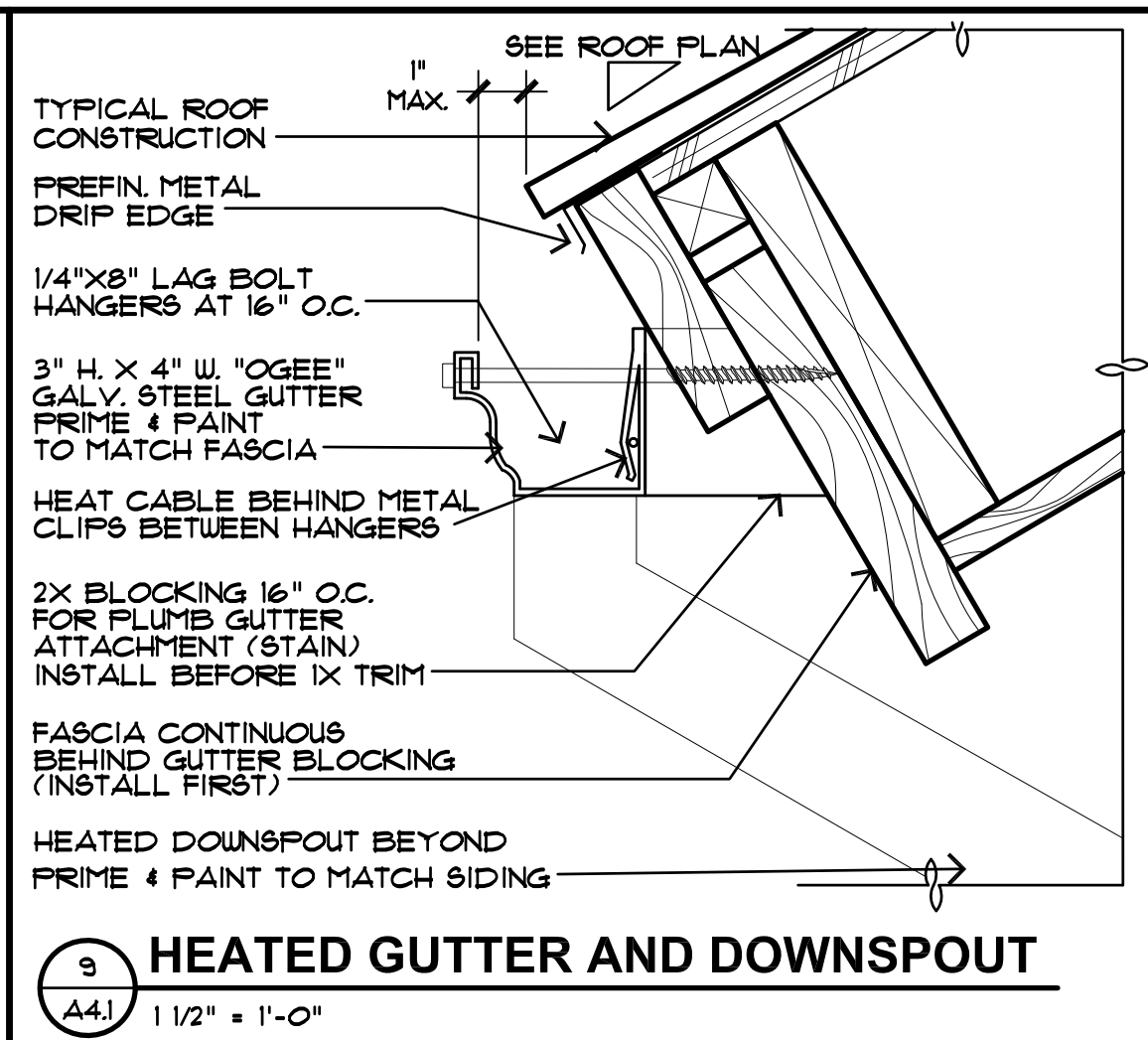
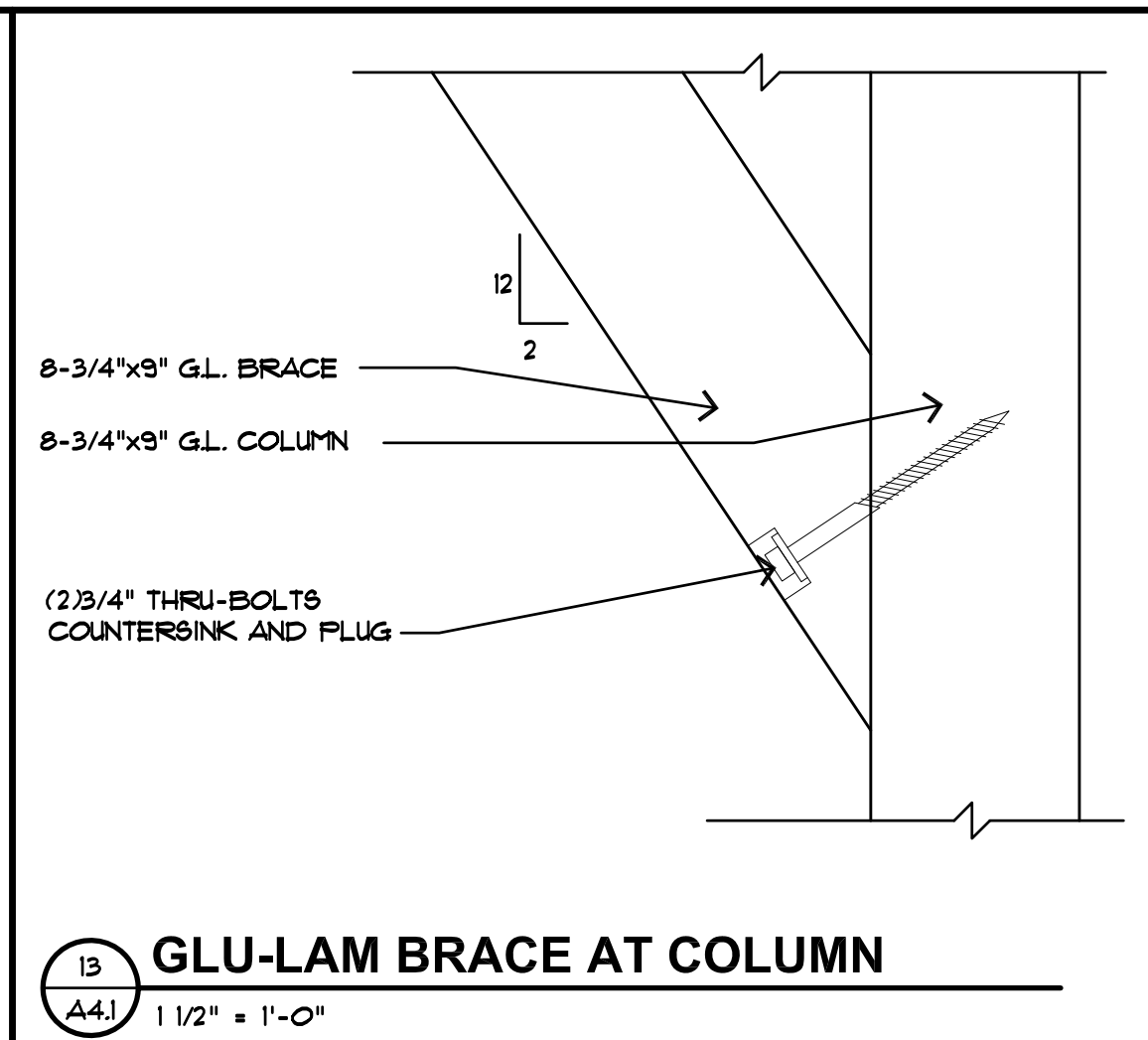
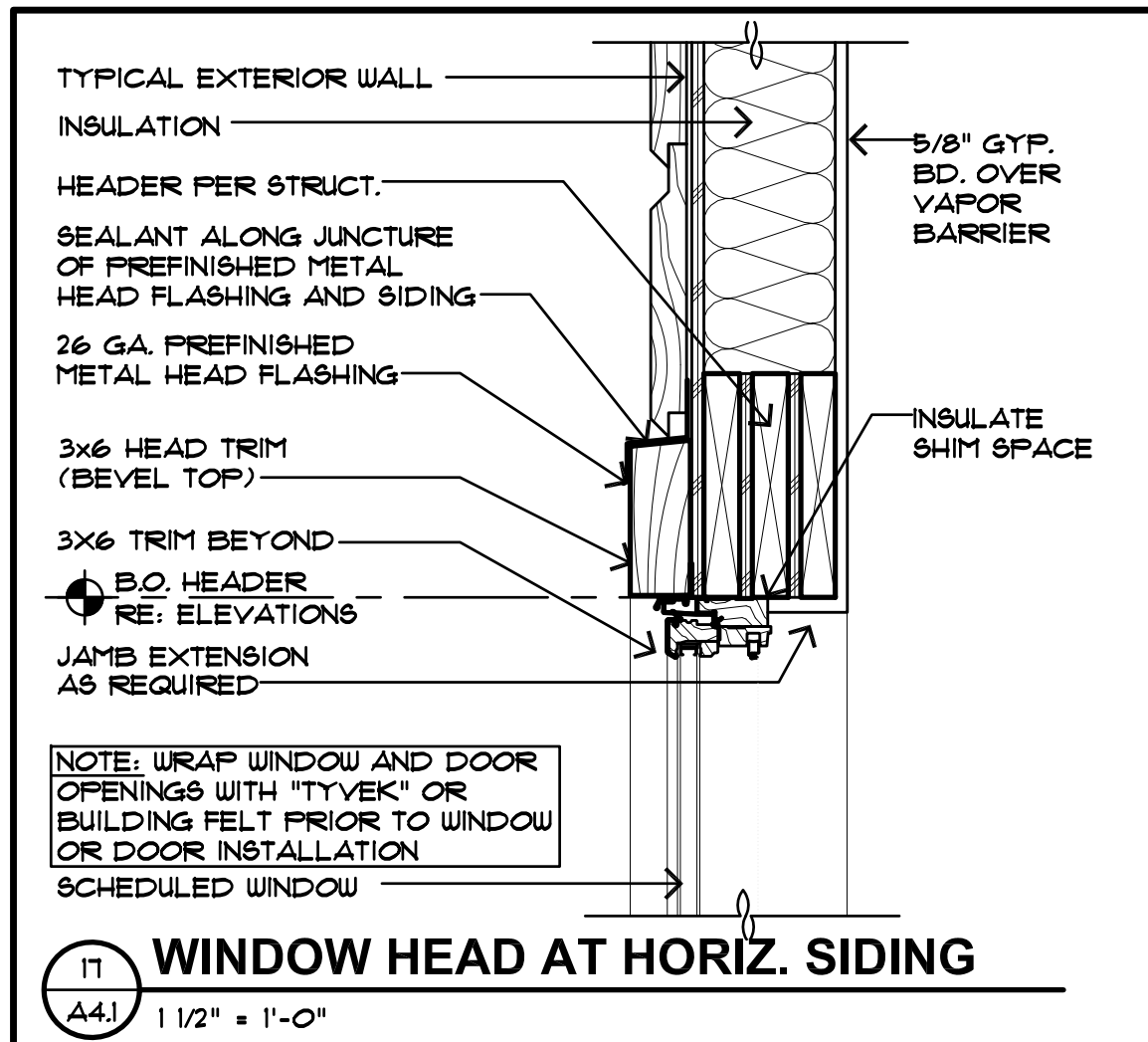
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER:

A3.3

OF: 13



REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: Jouxkemper
CHECKED BY: mhoux

©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR: PERMIT

bhh Partners

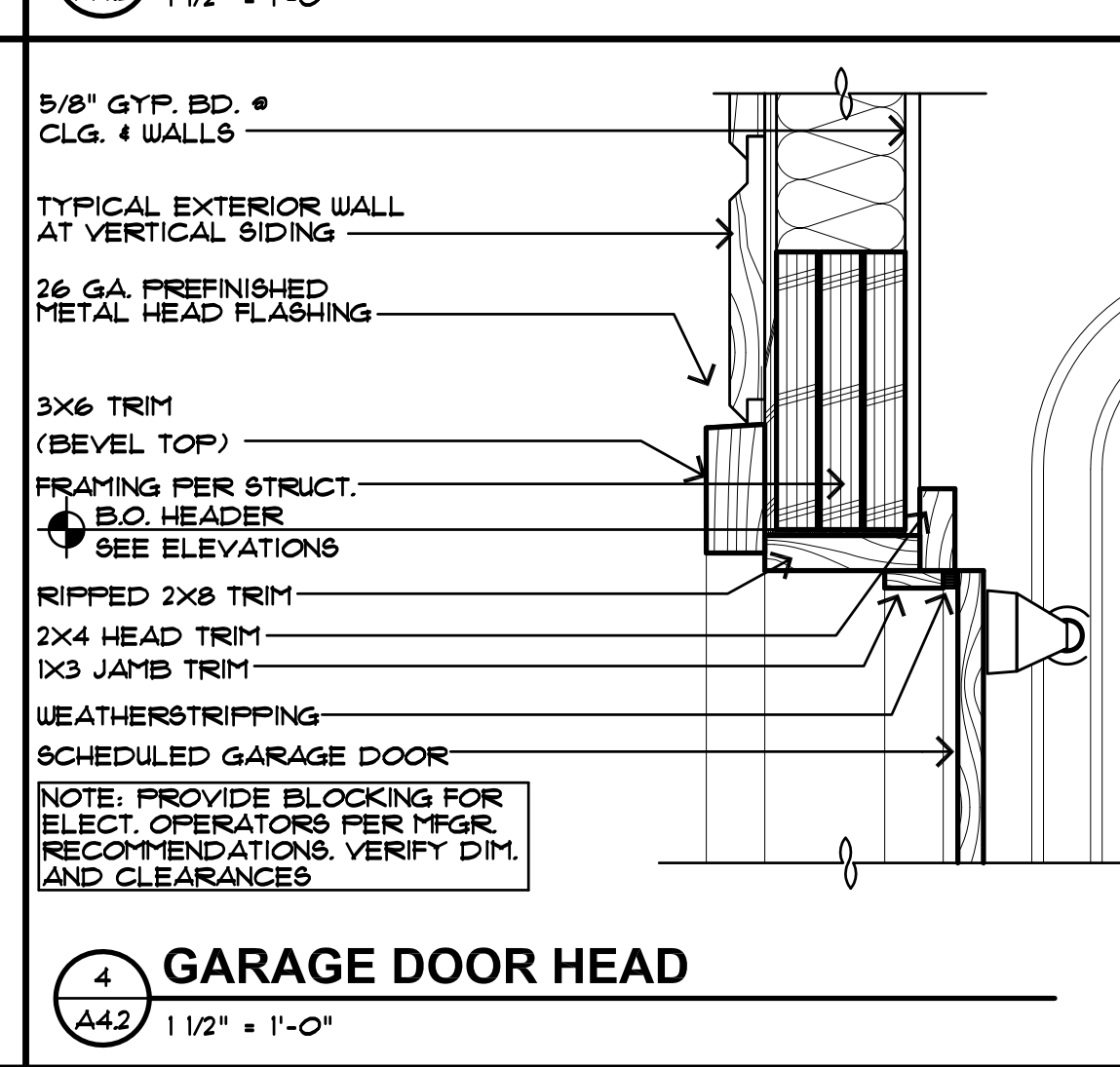
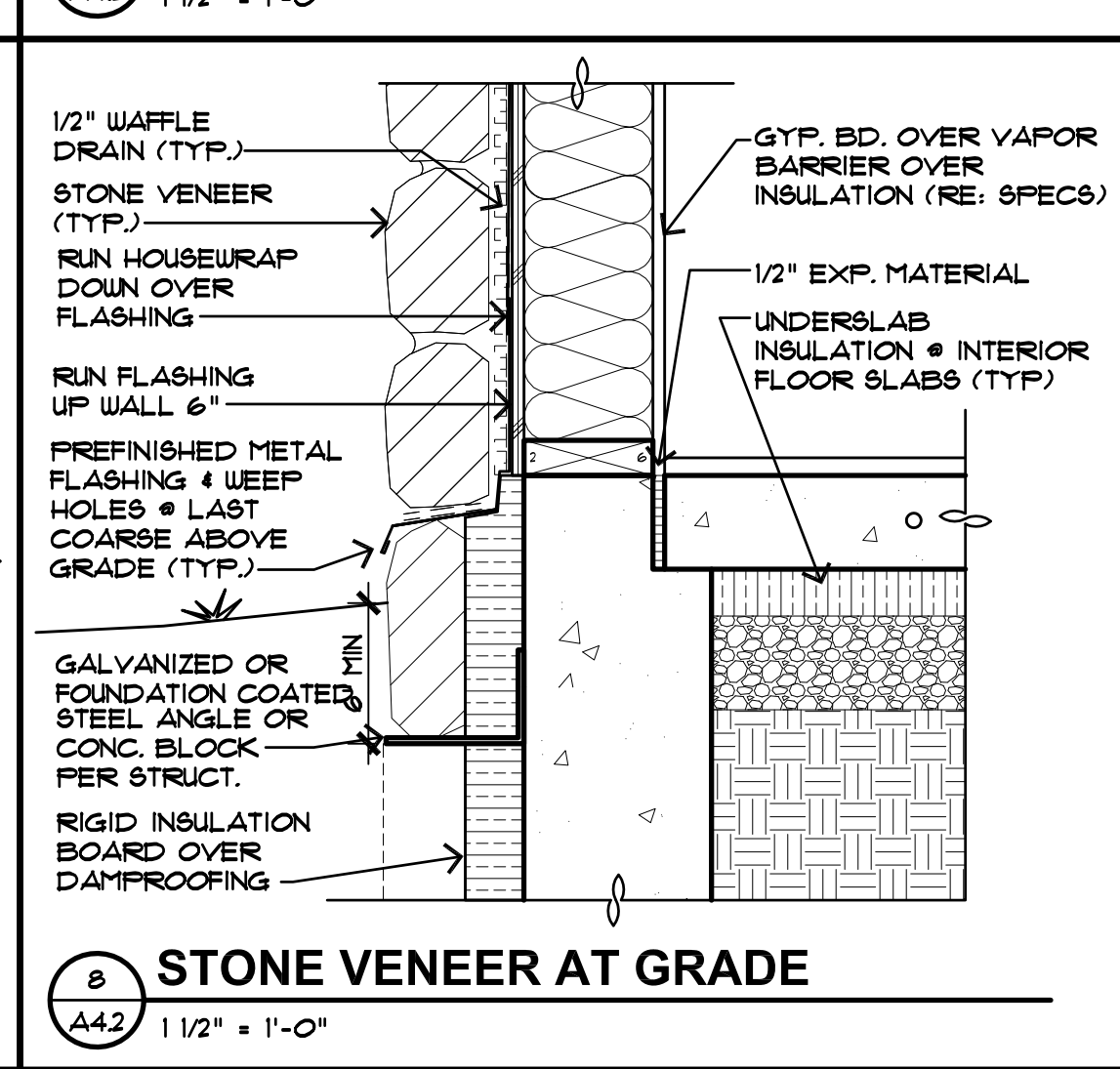
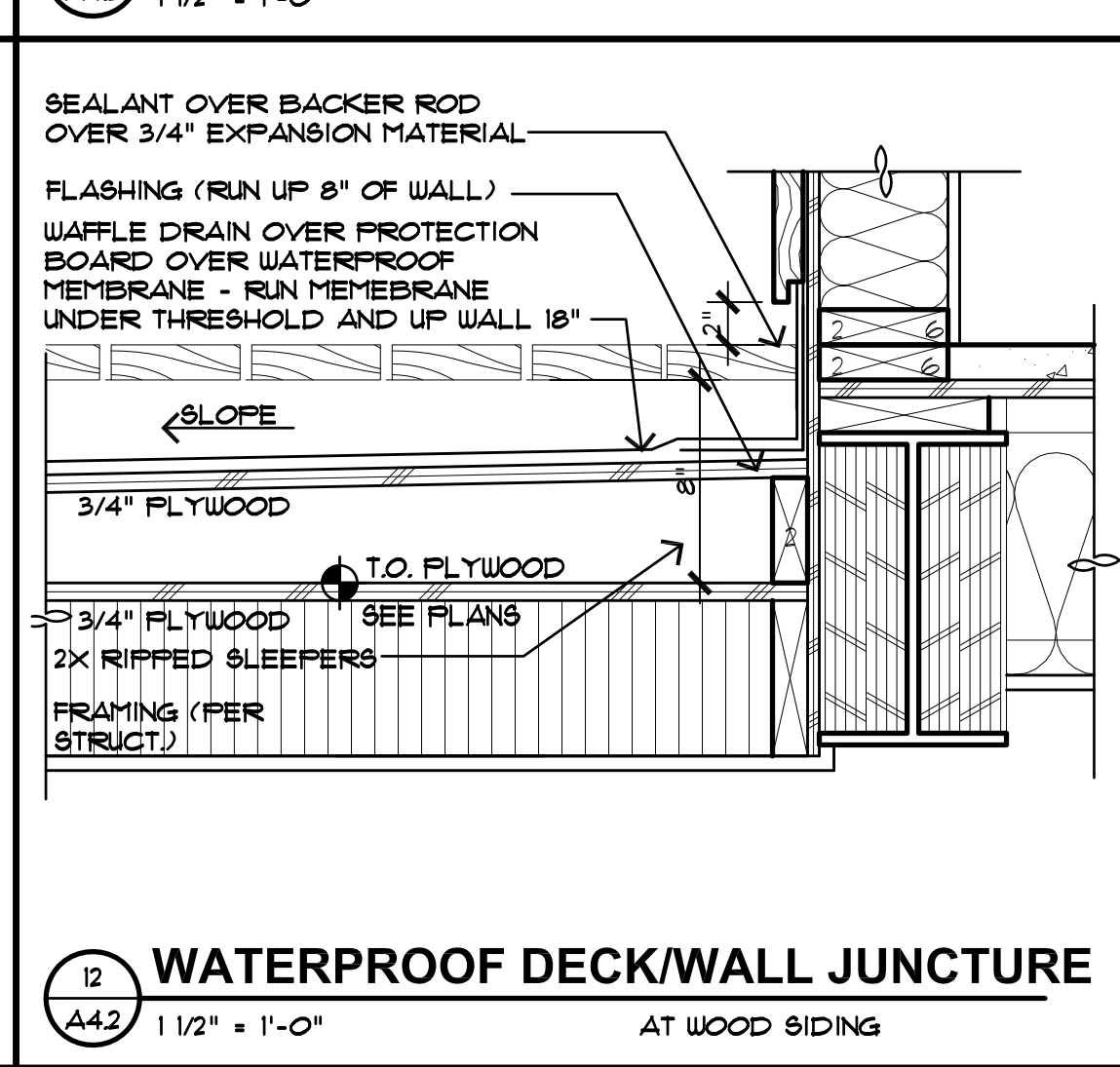
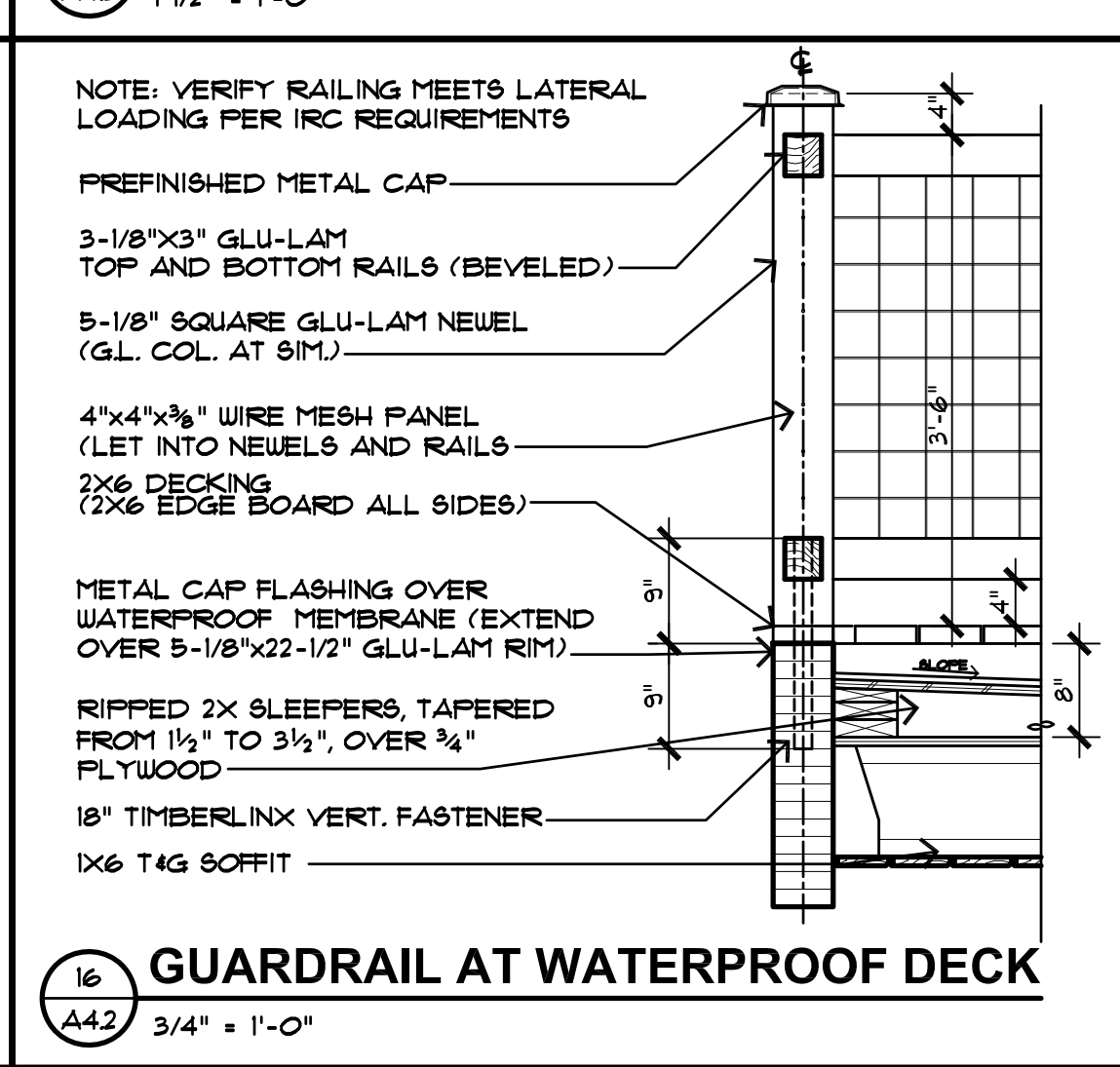
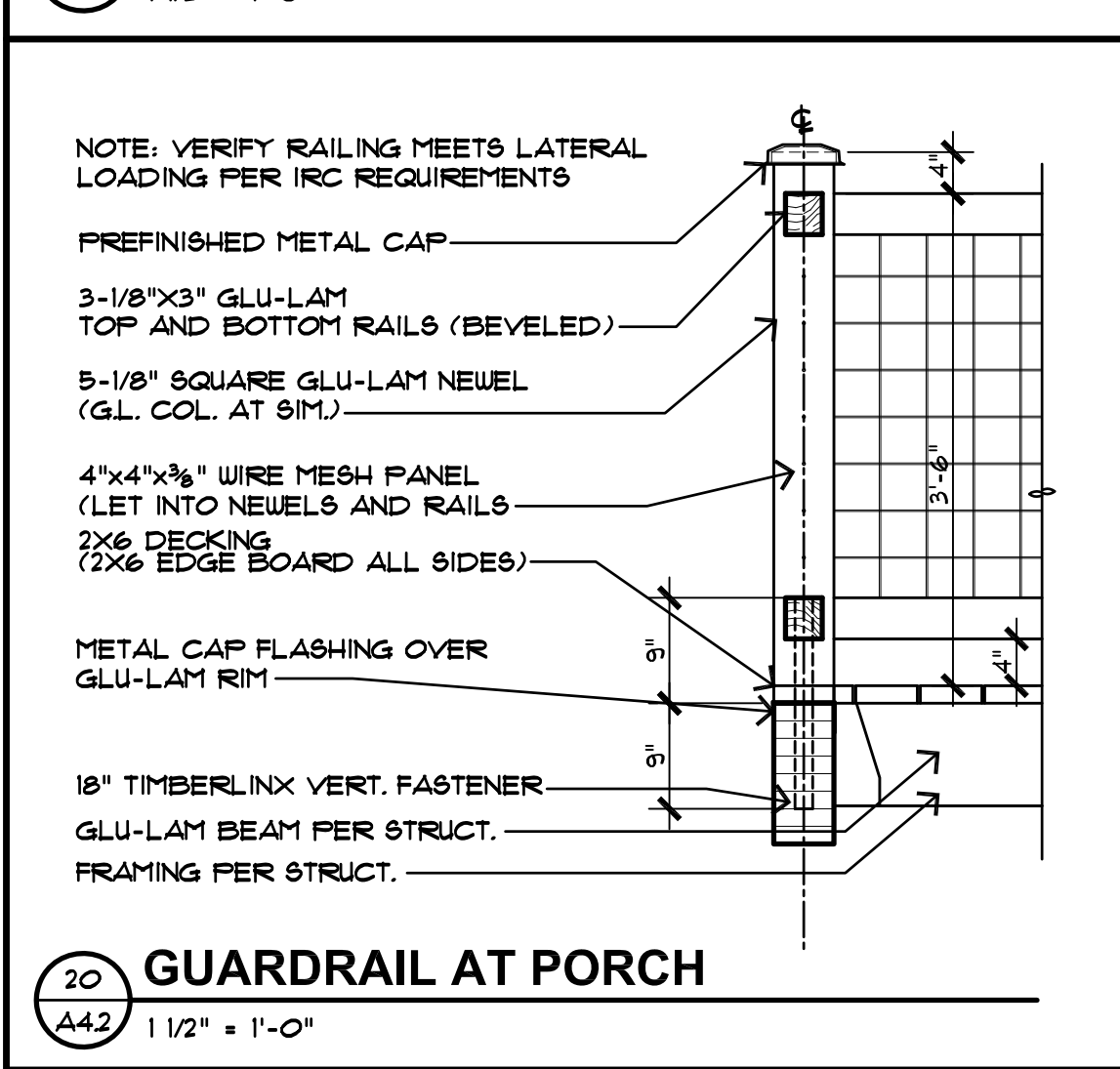
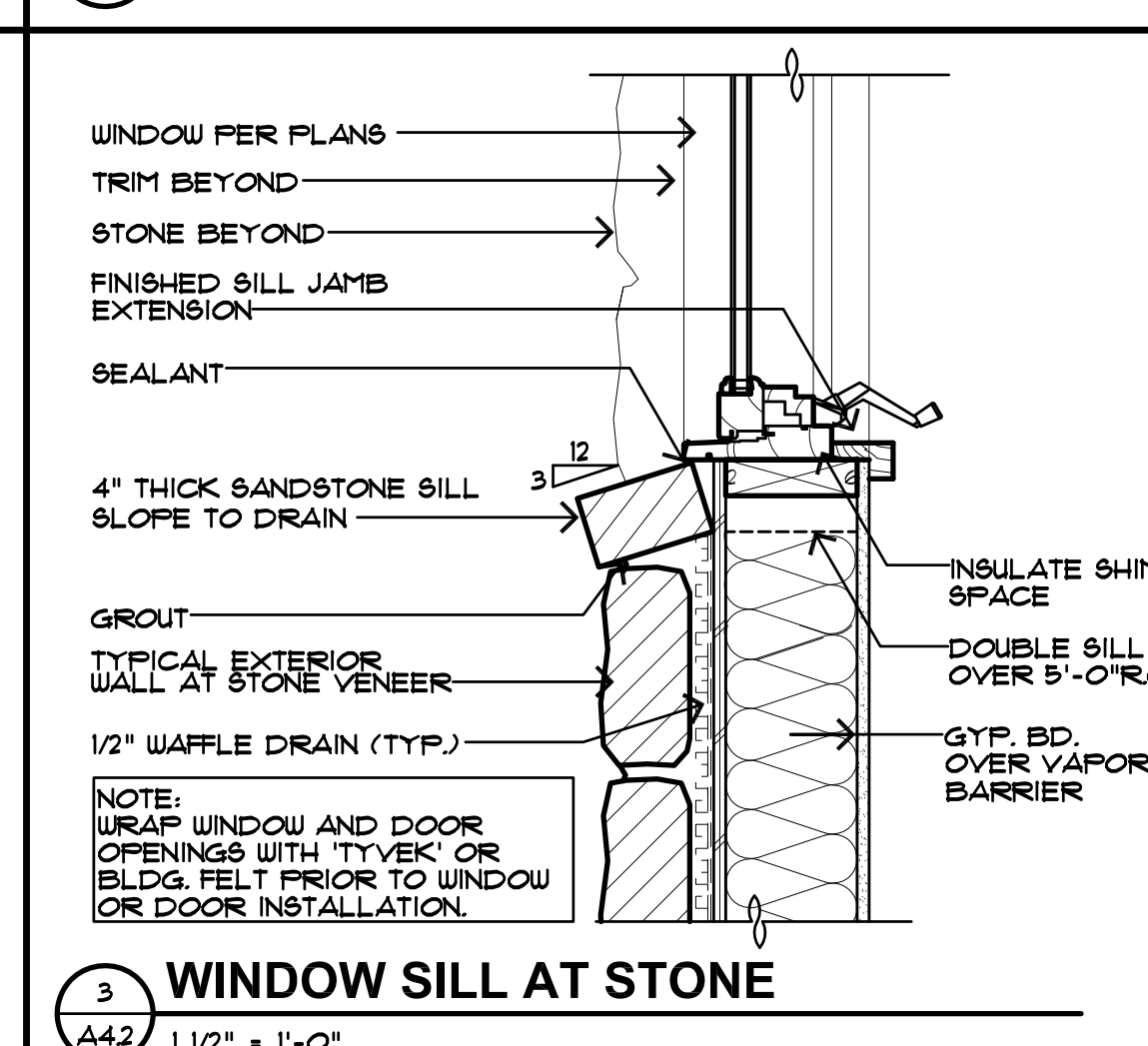
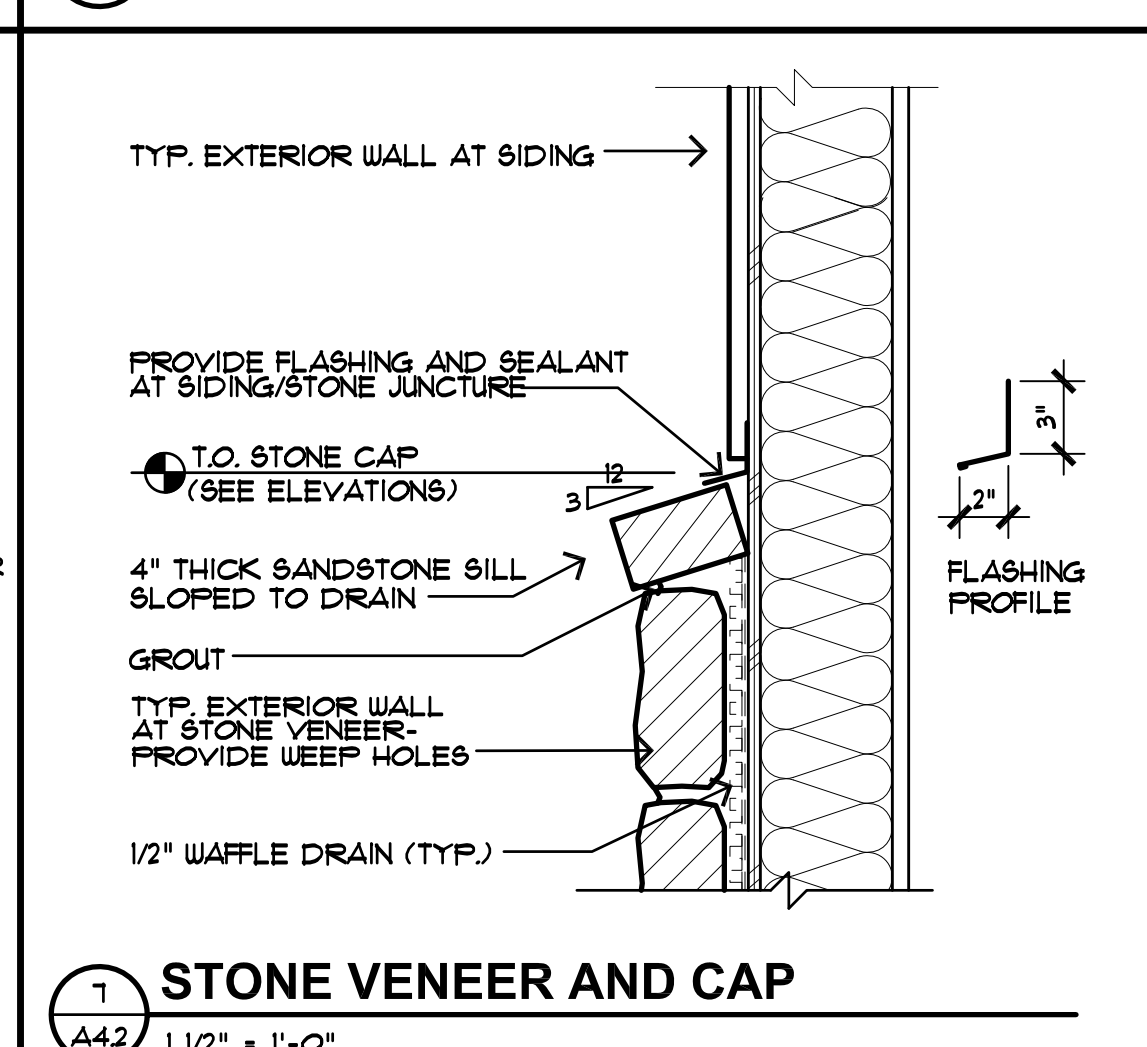
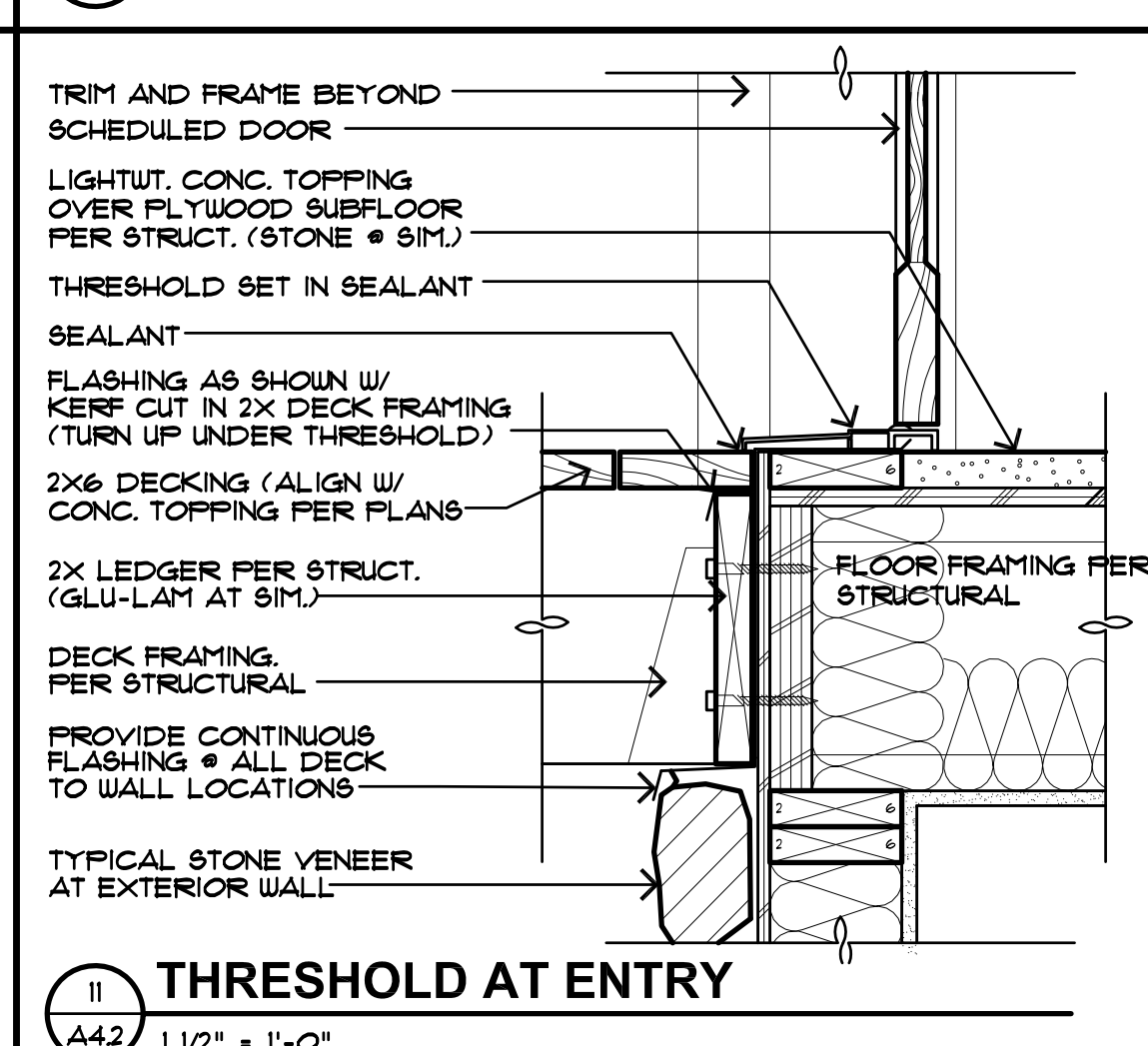
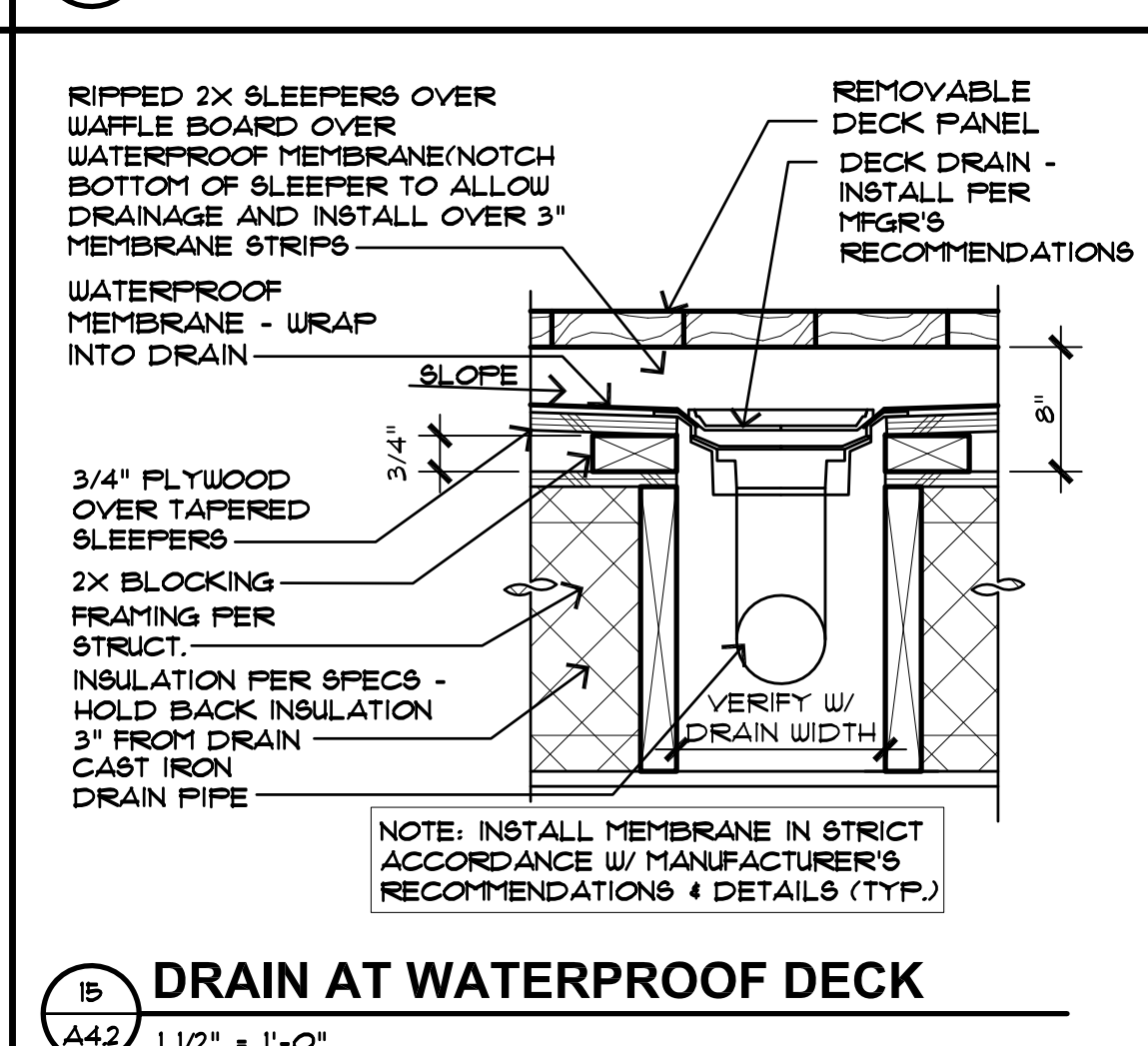
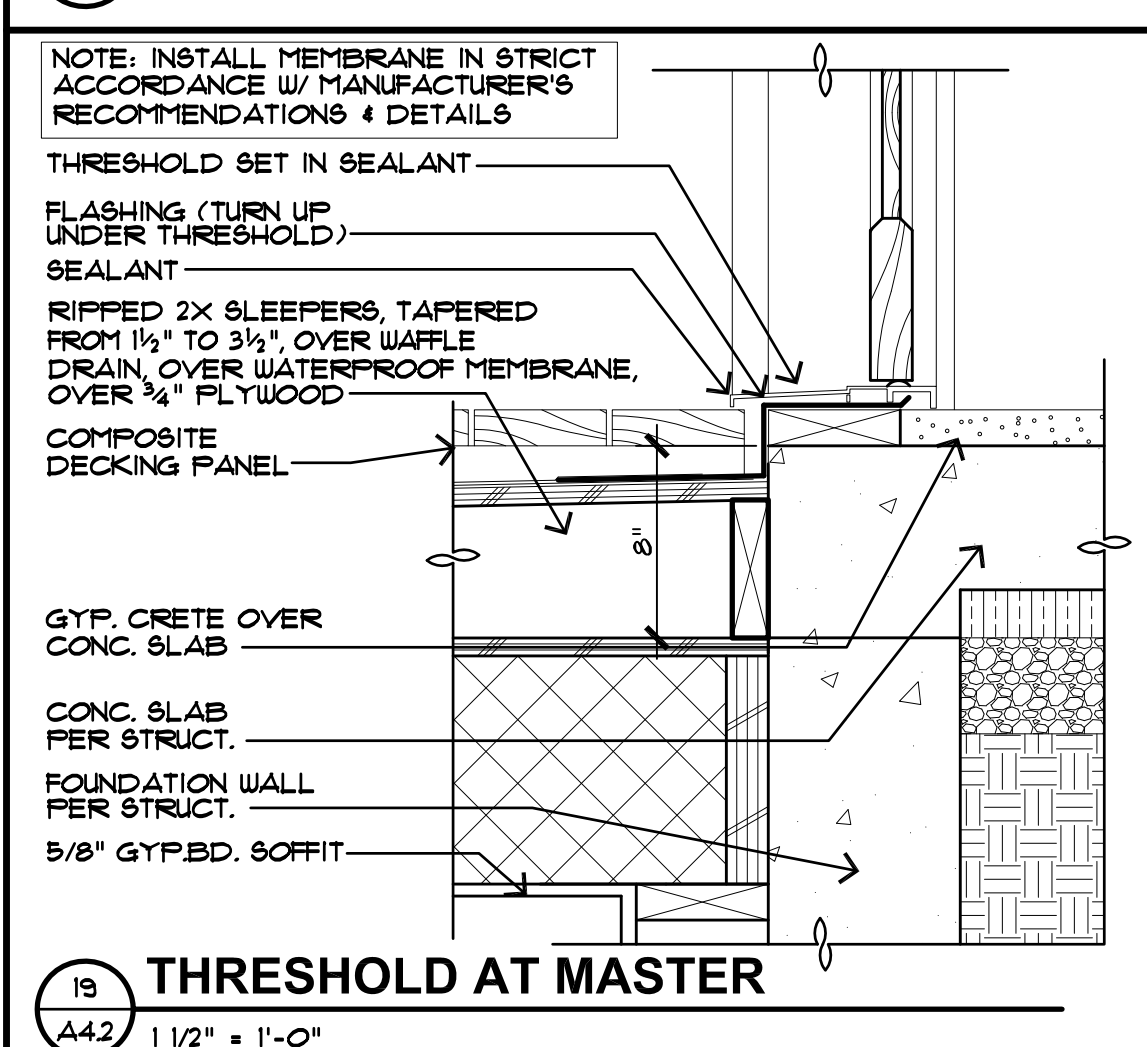
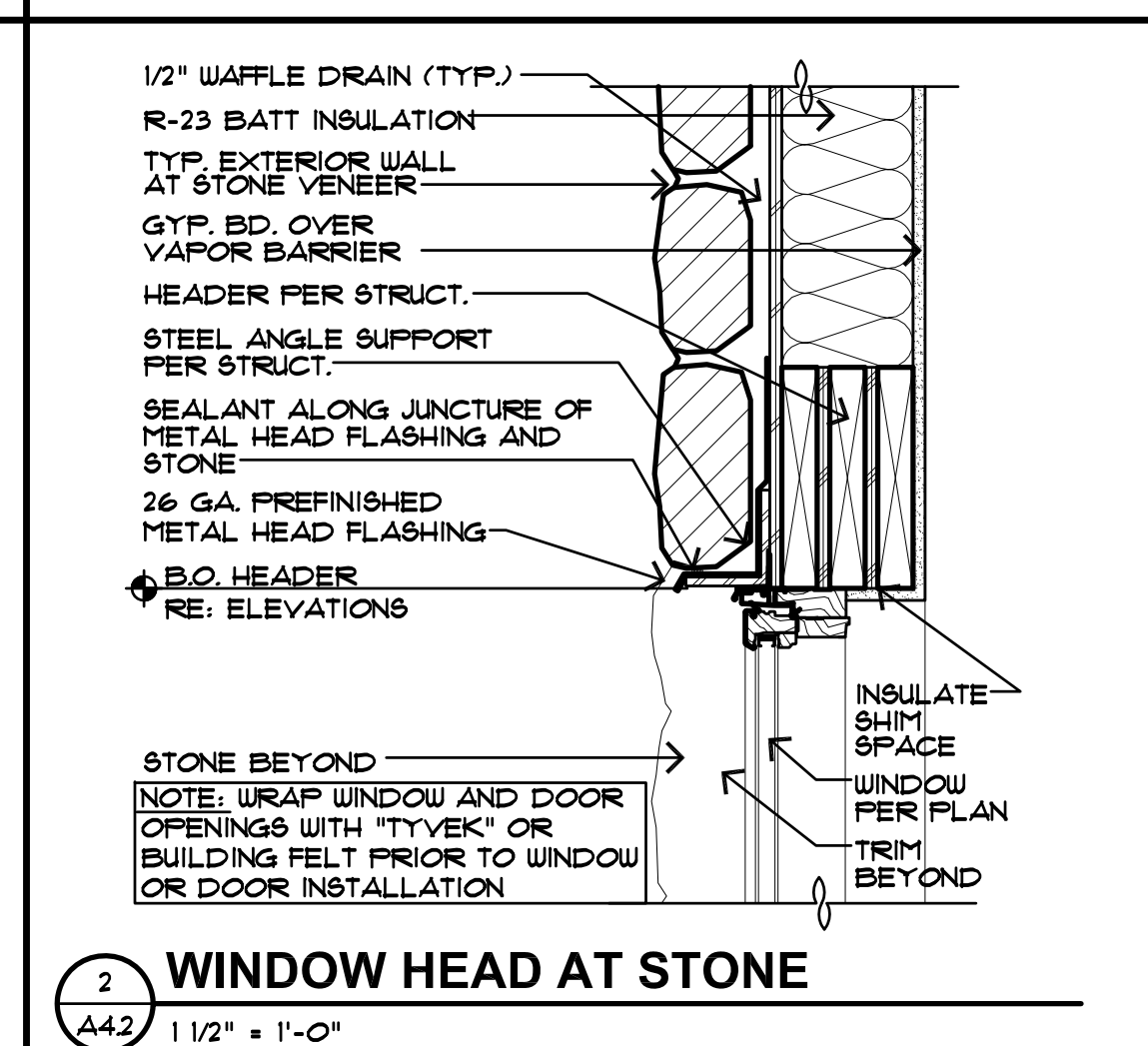
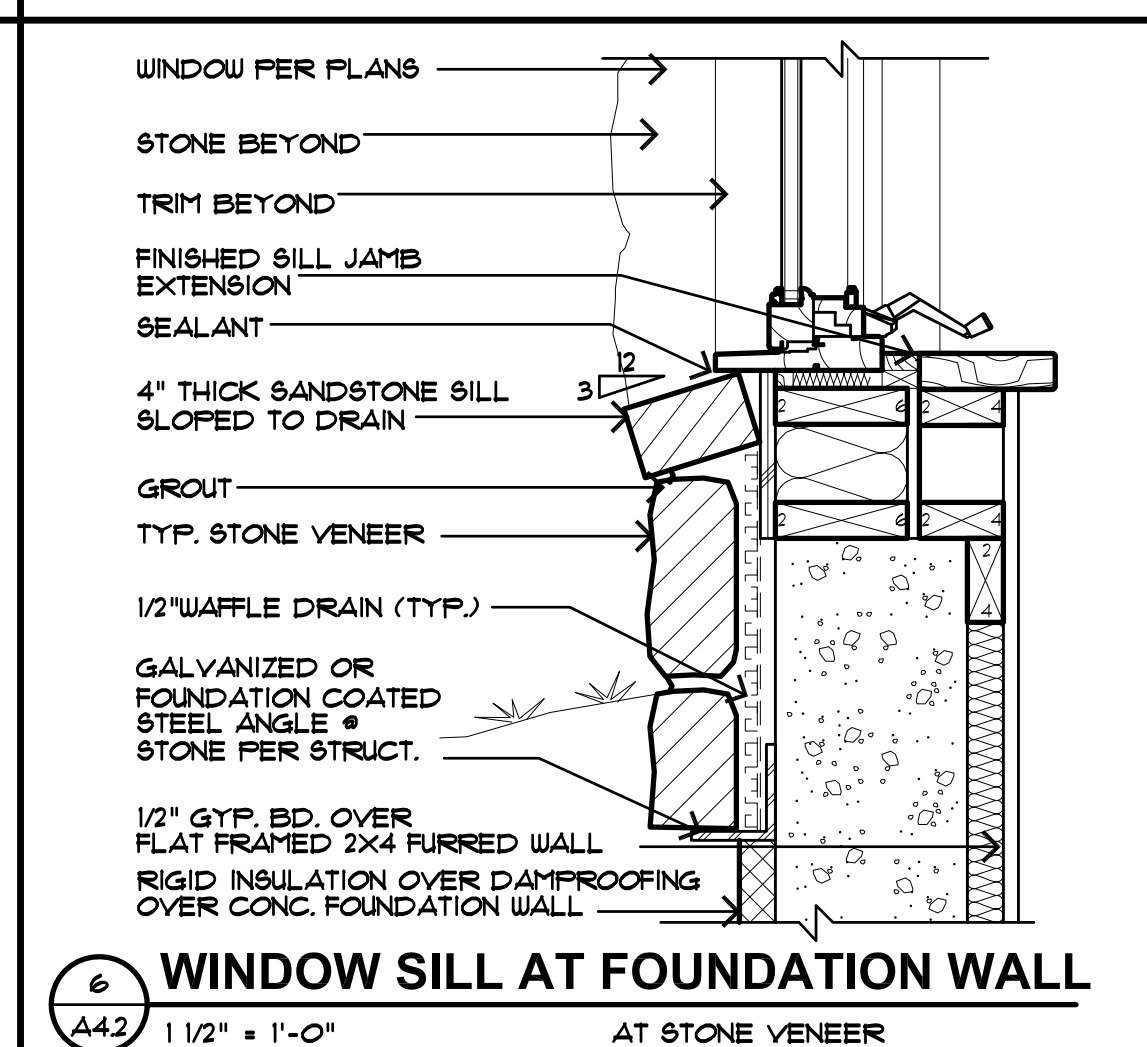
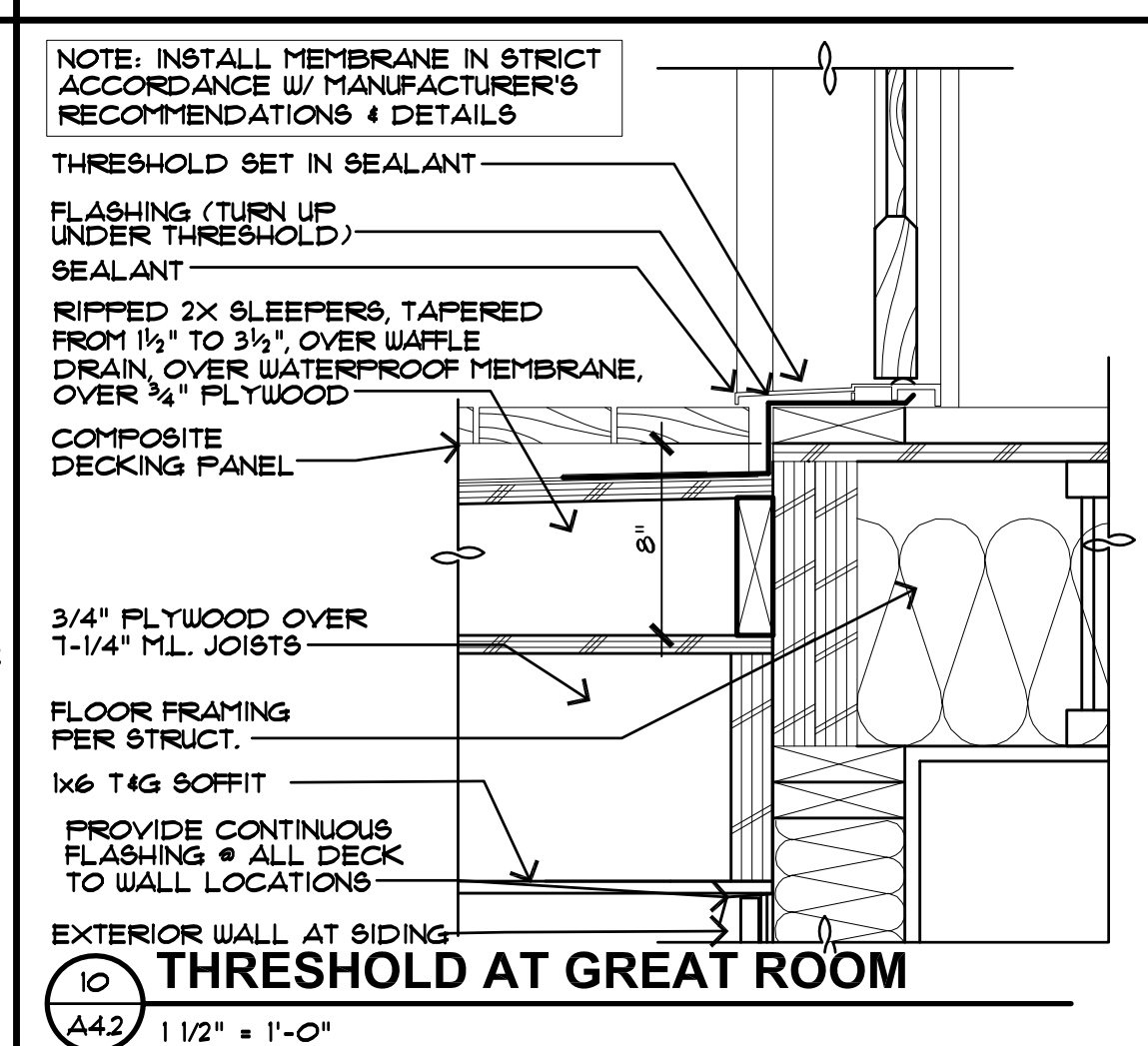
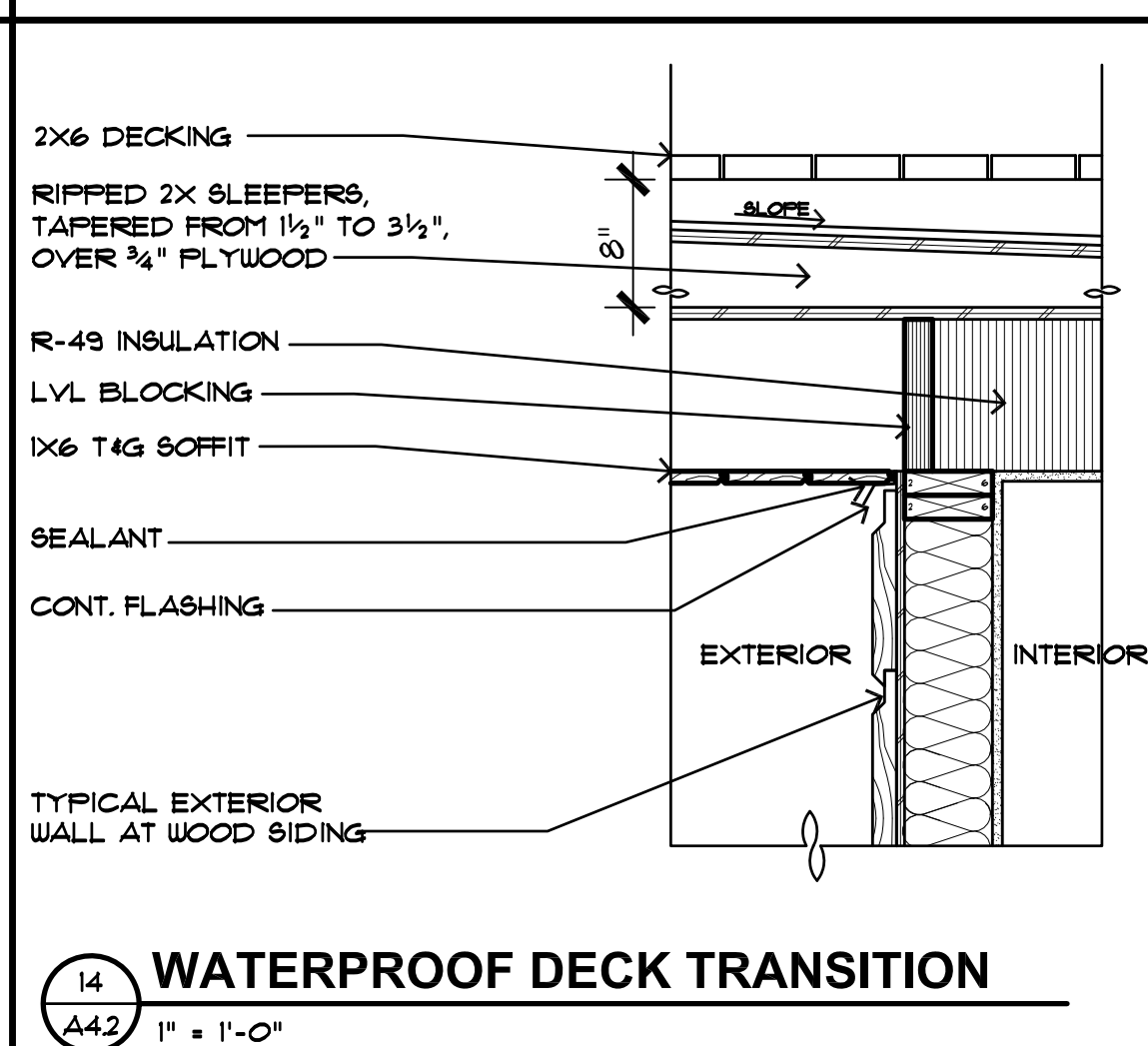
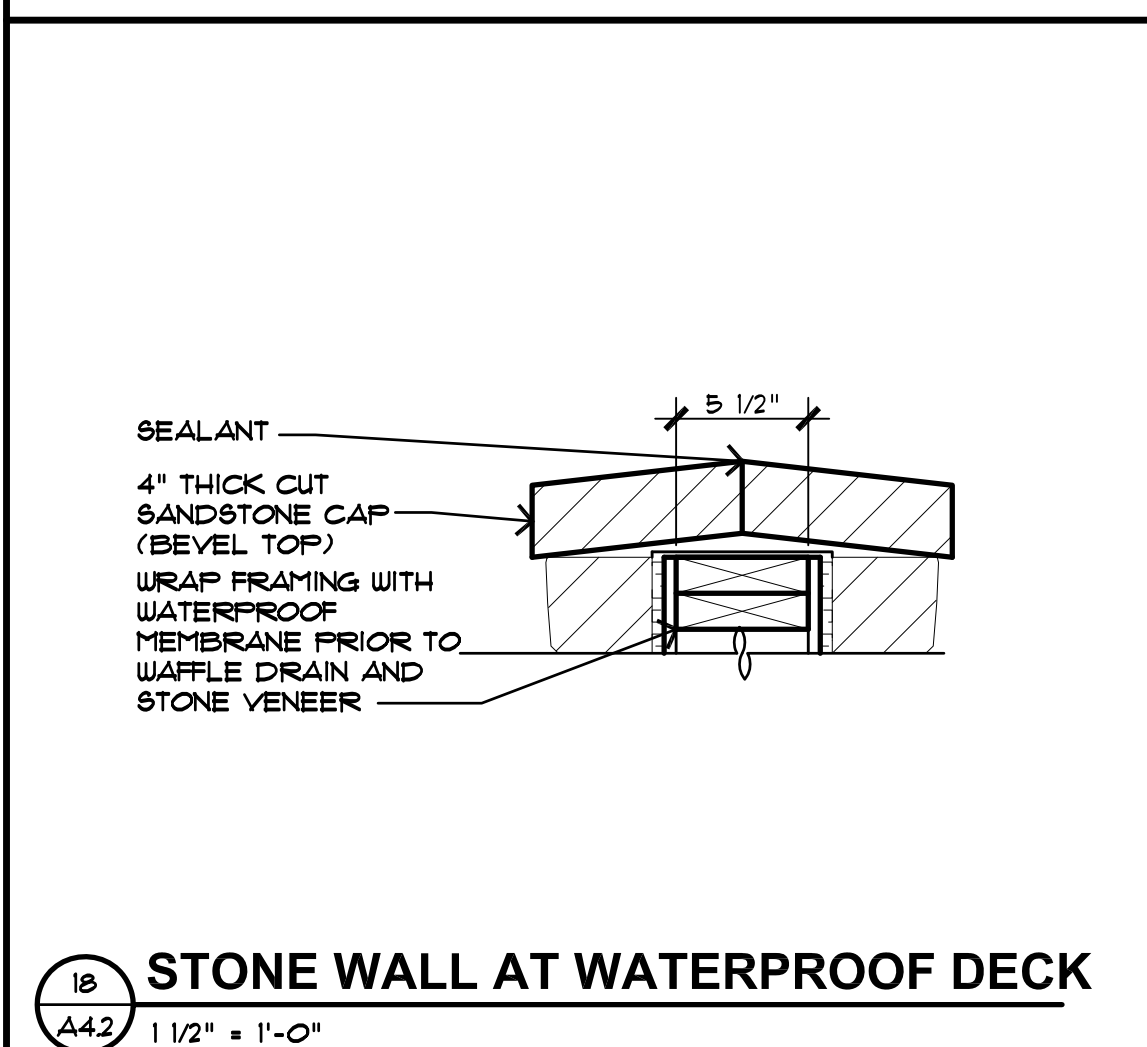
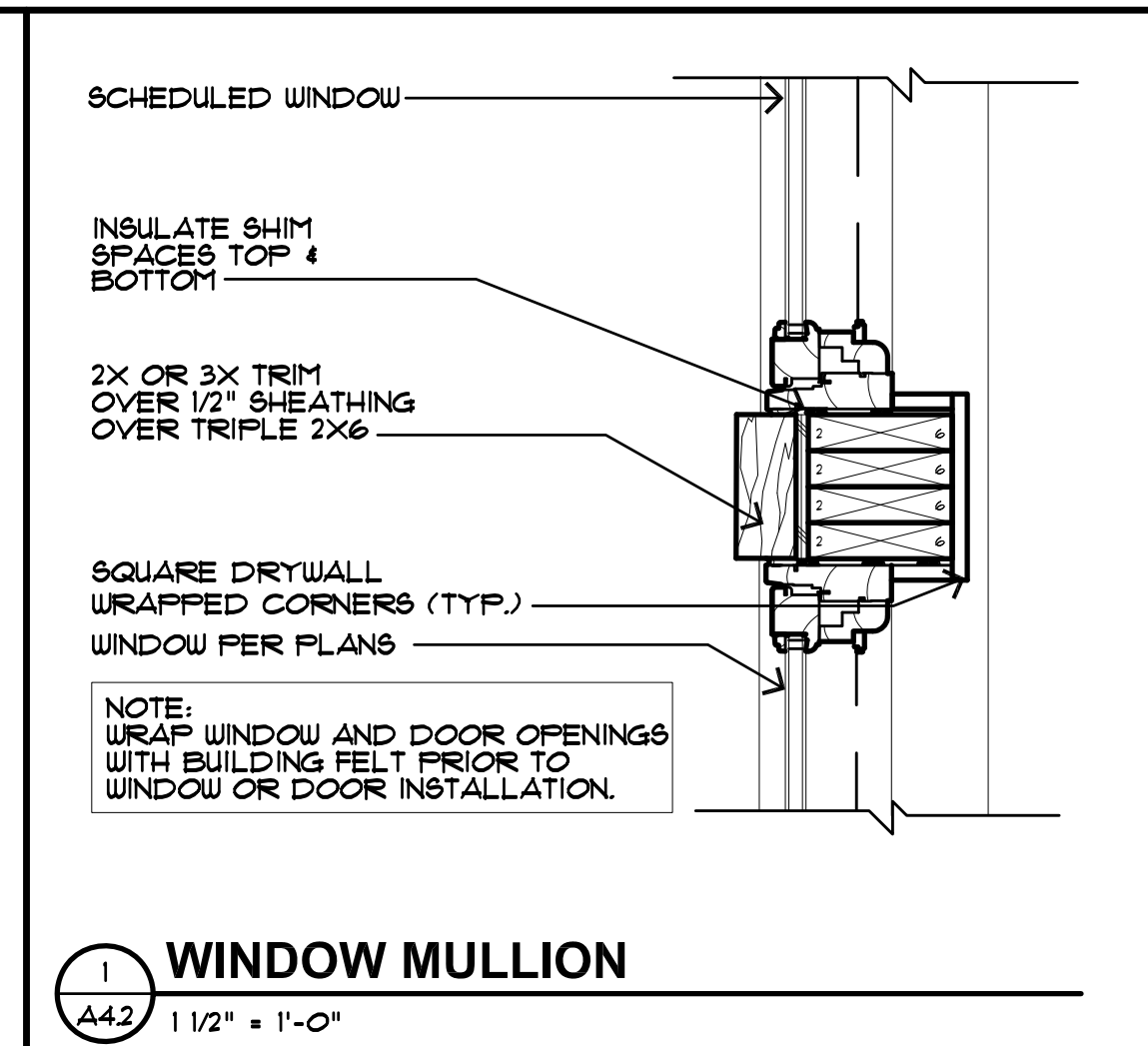
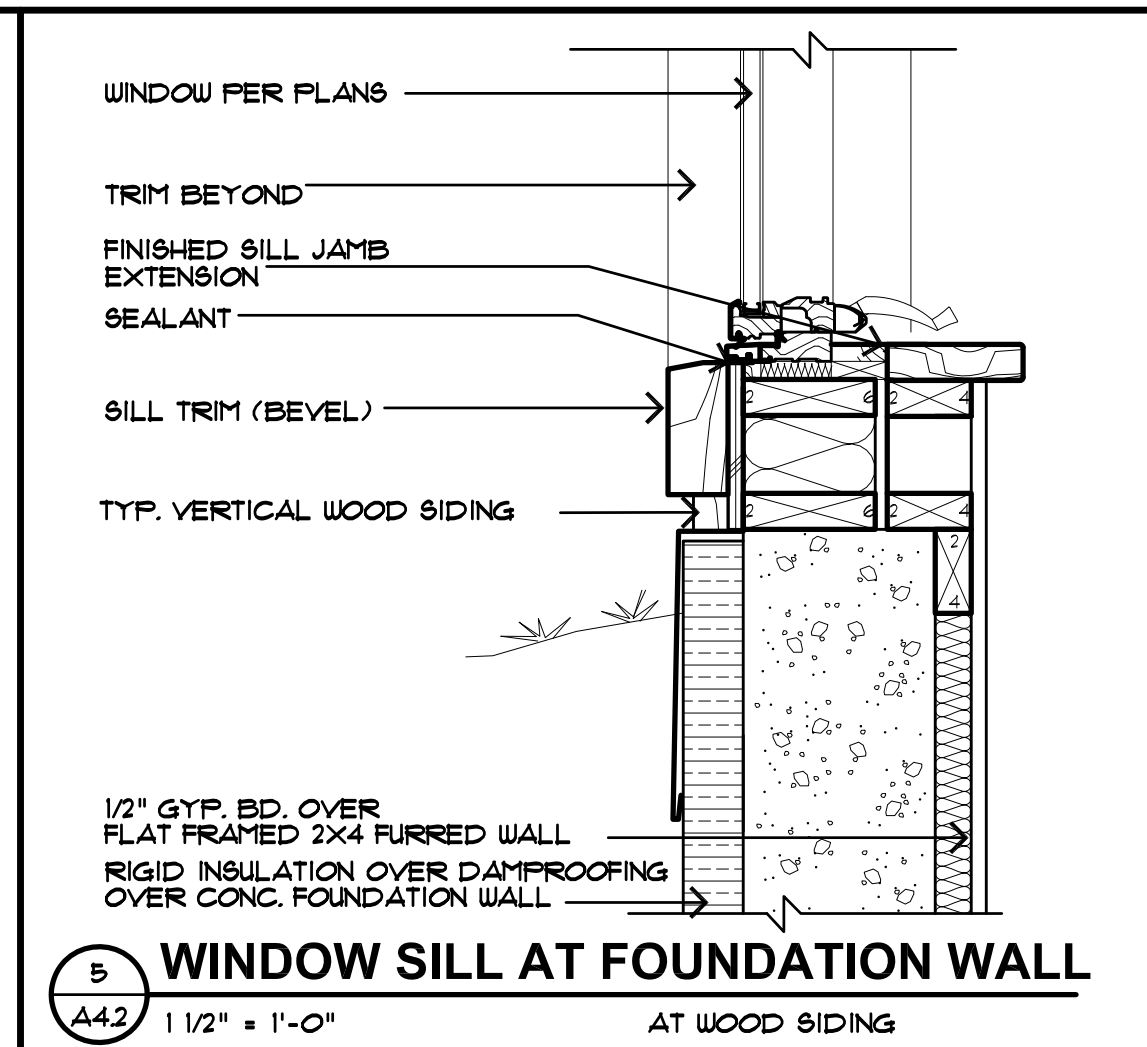
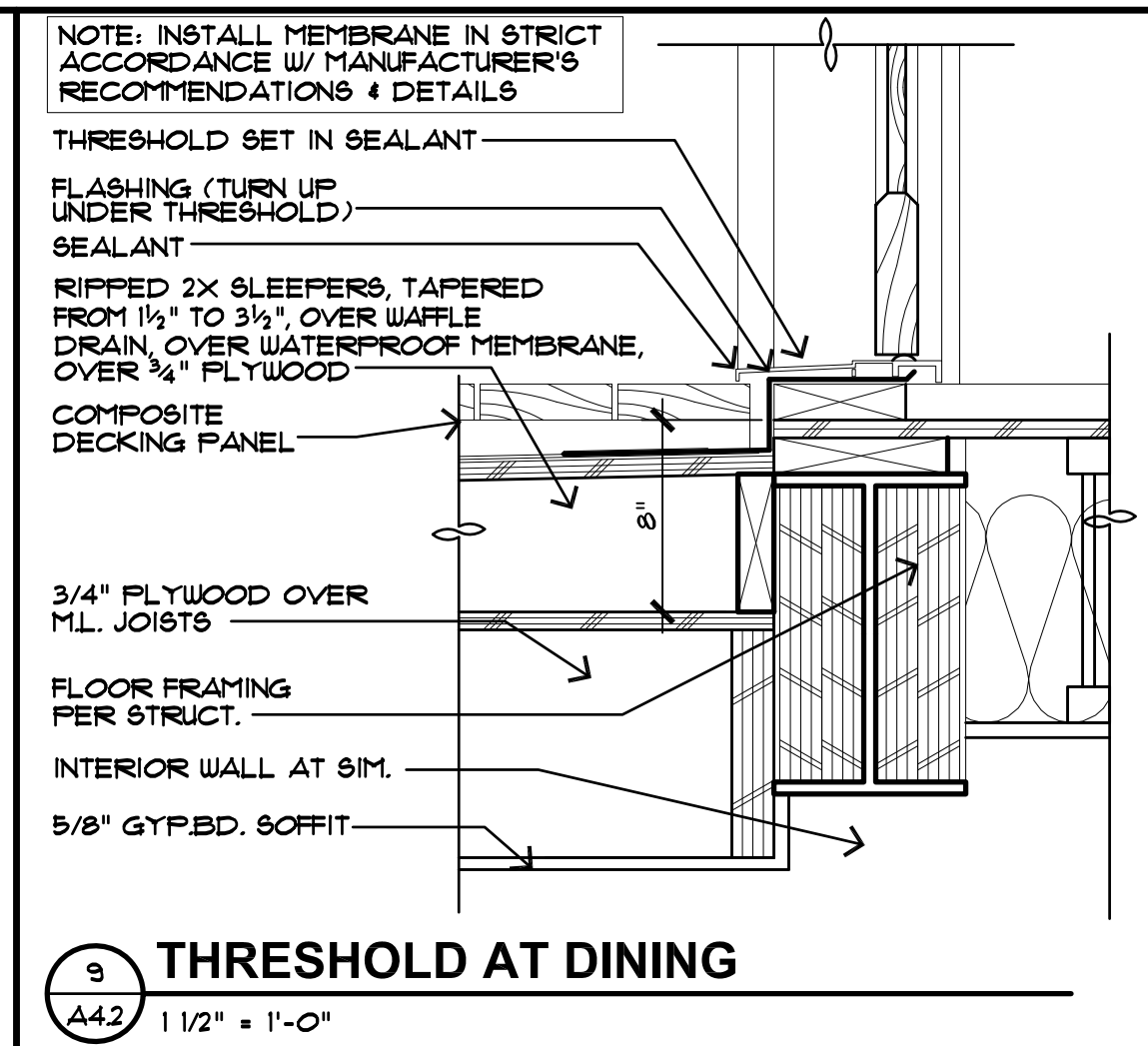
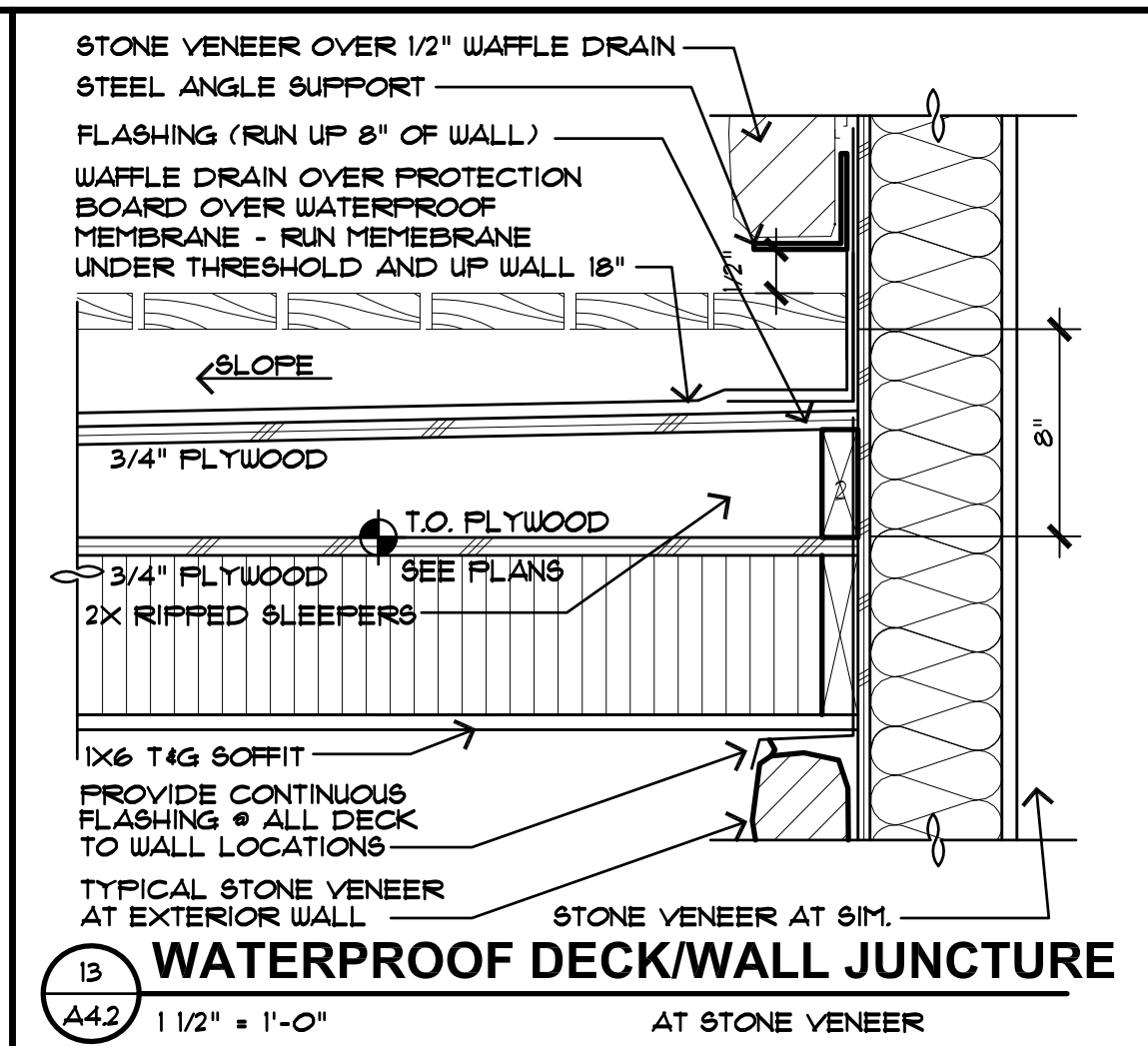
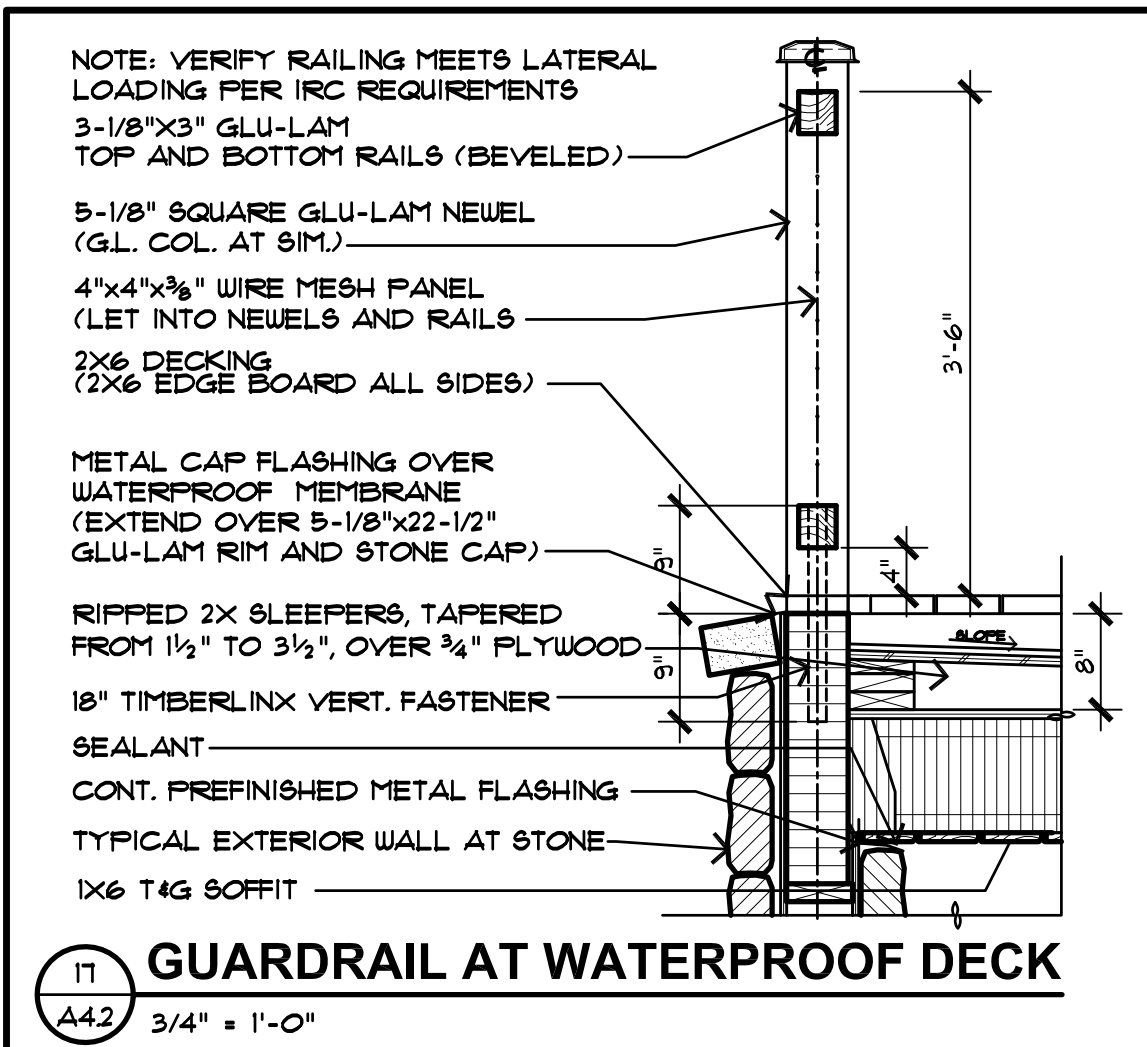
MC CREERY - TWO CABINS

LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER: **A4.1**

OF: 13



REVISIONS:

JOB NO: 61515

DATE: 05/02/16

DRAWN BY: Jouxkemper

CHECKED BY: mhoux

©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR: PERMIT

WPH

bhh Partners

MC CREERY - TWO CABINS

LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER:

A4.2

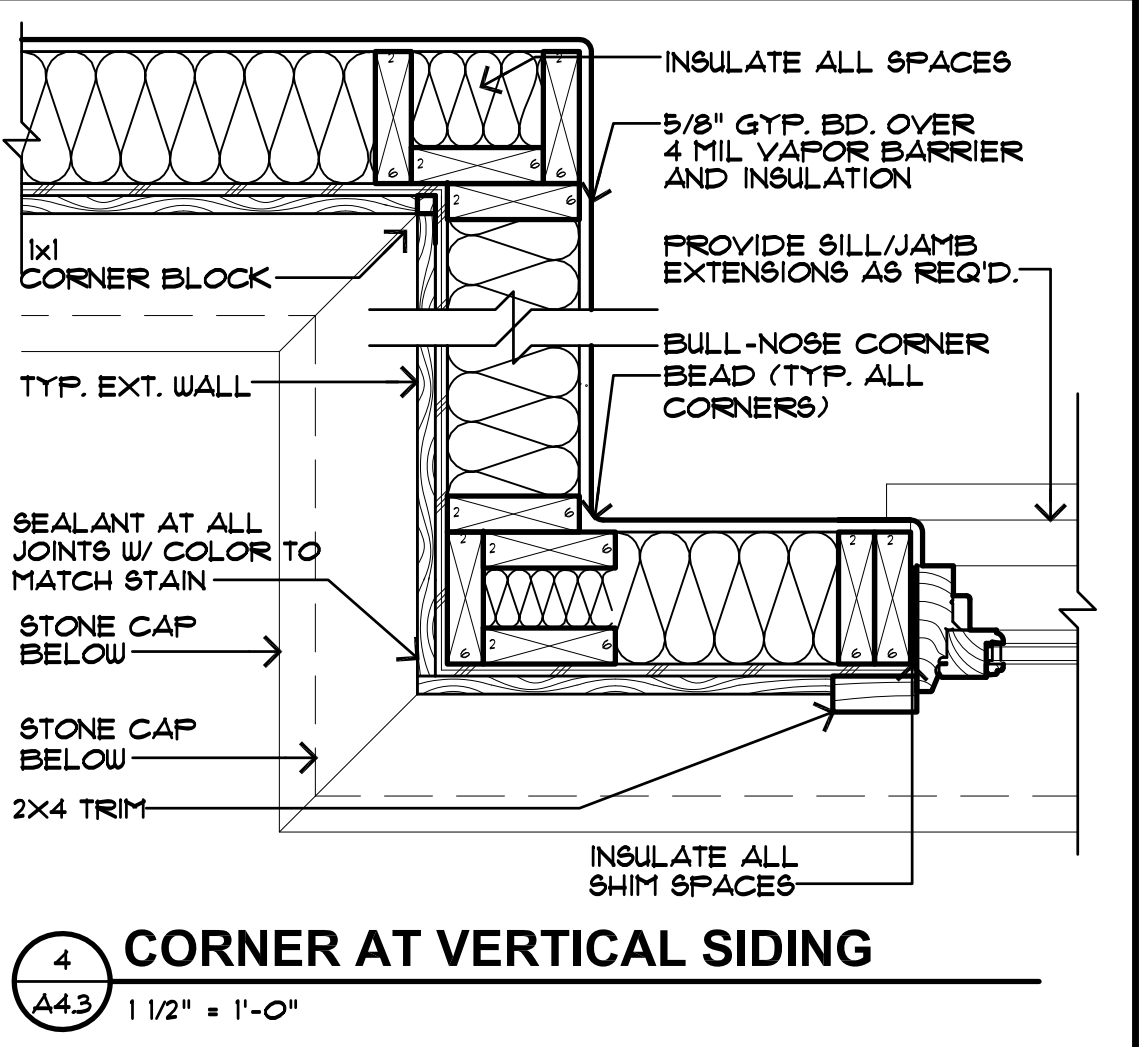
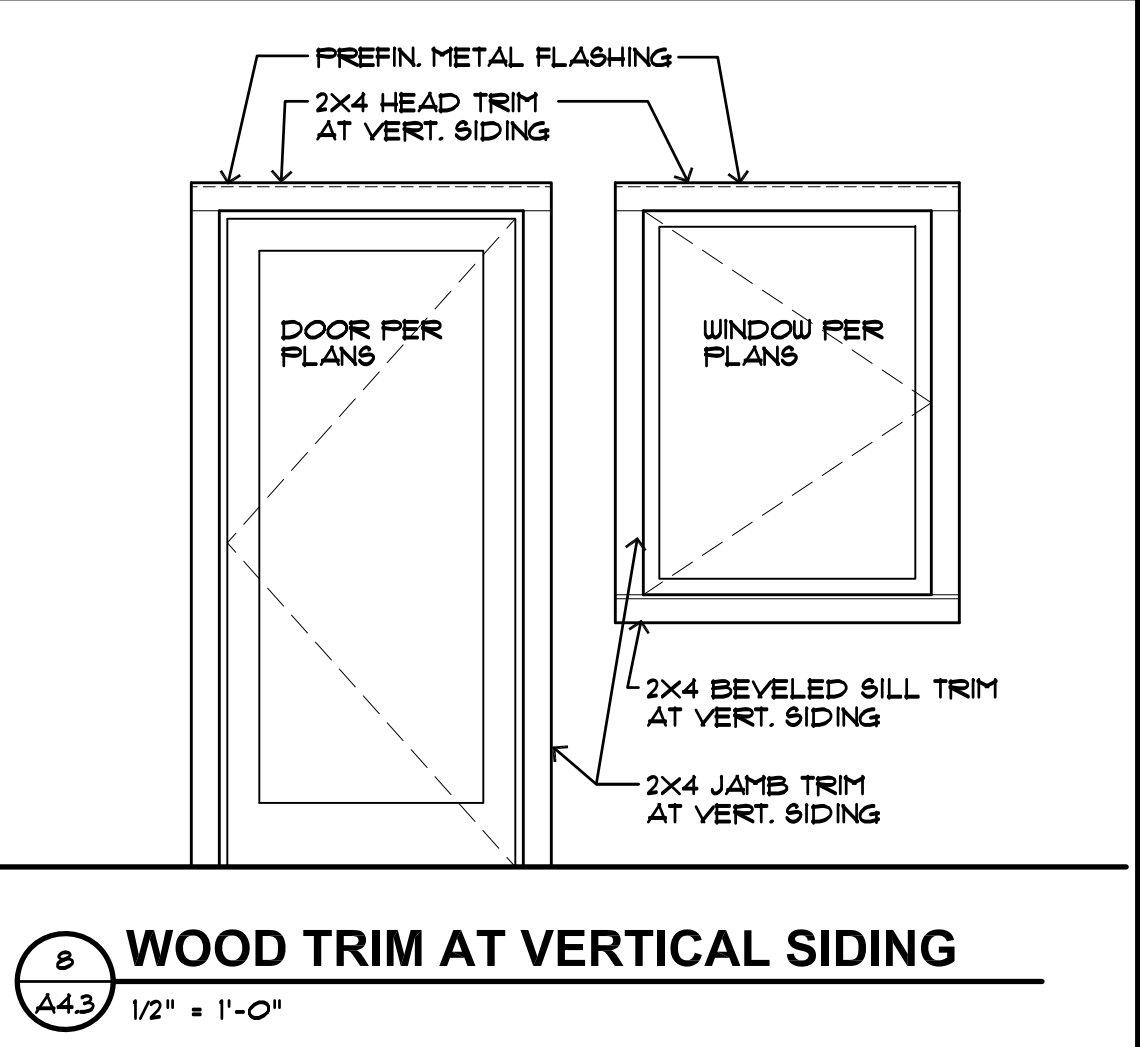
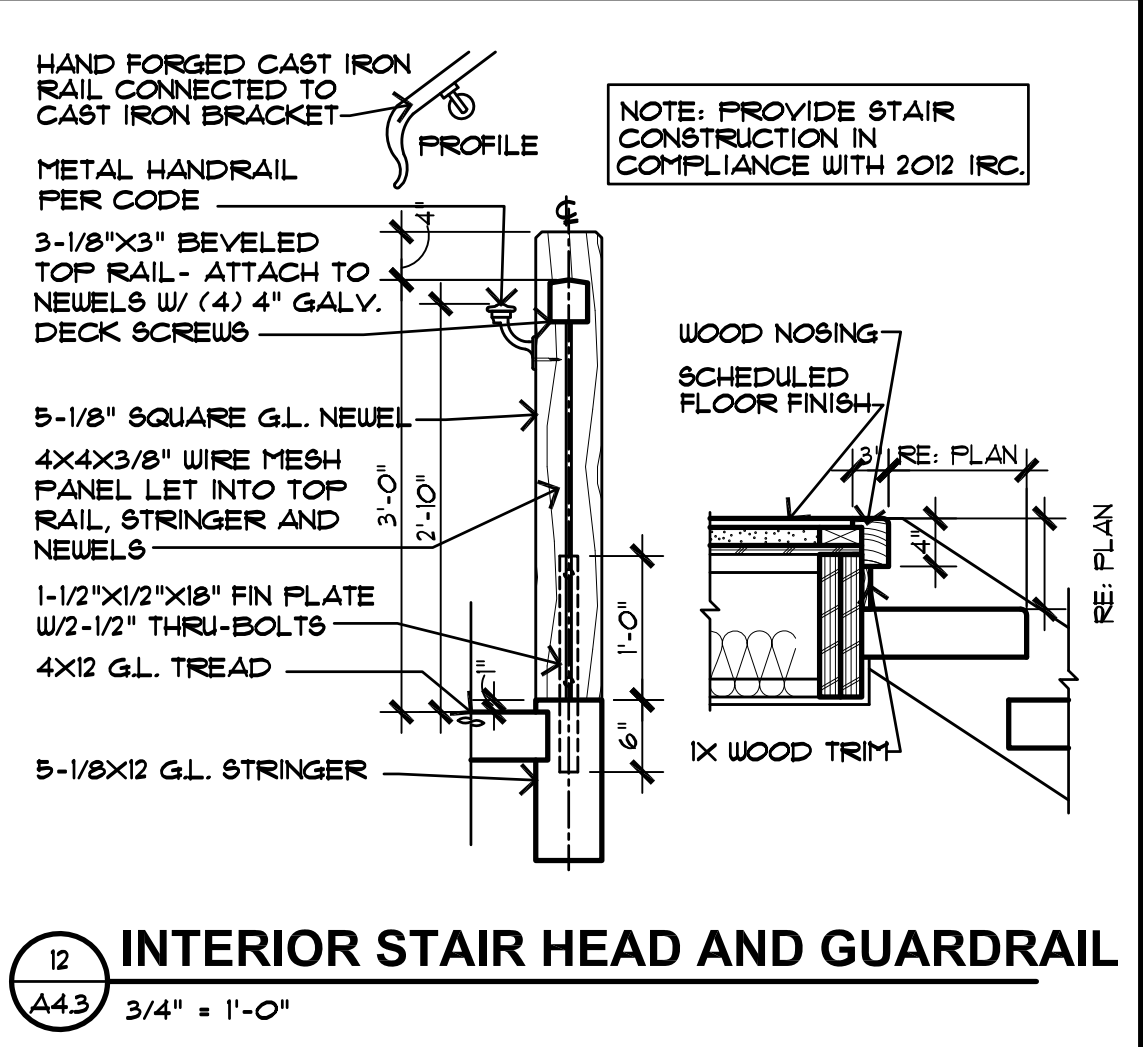
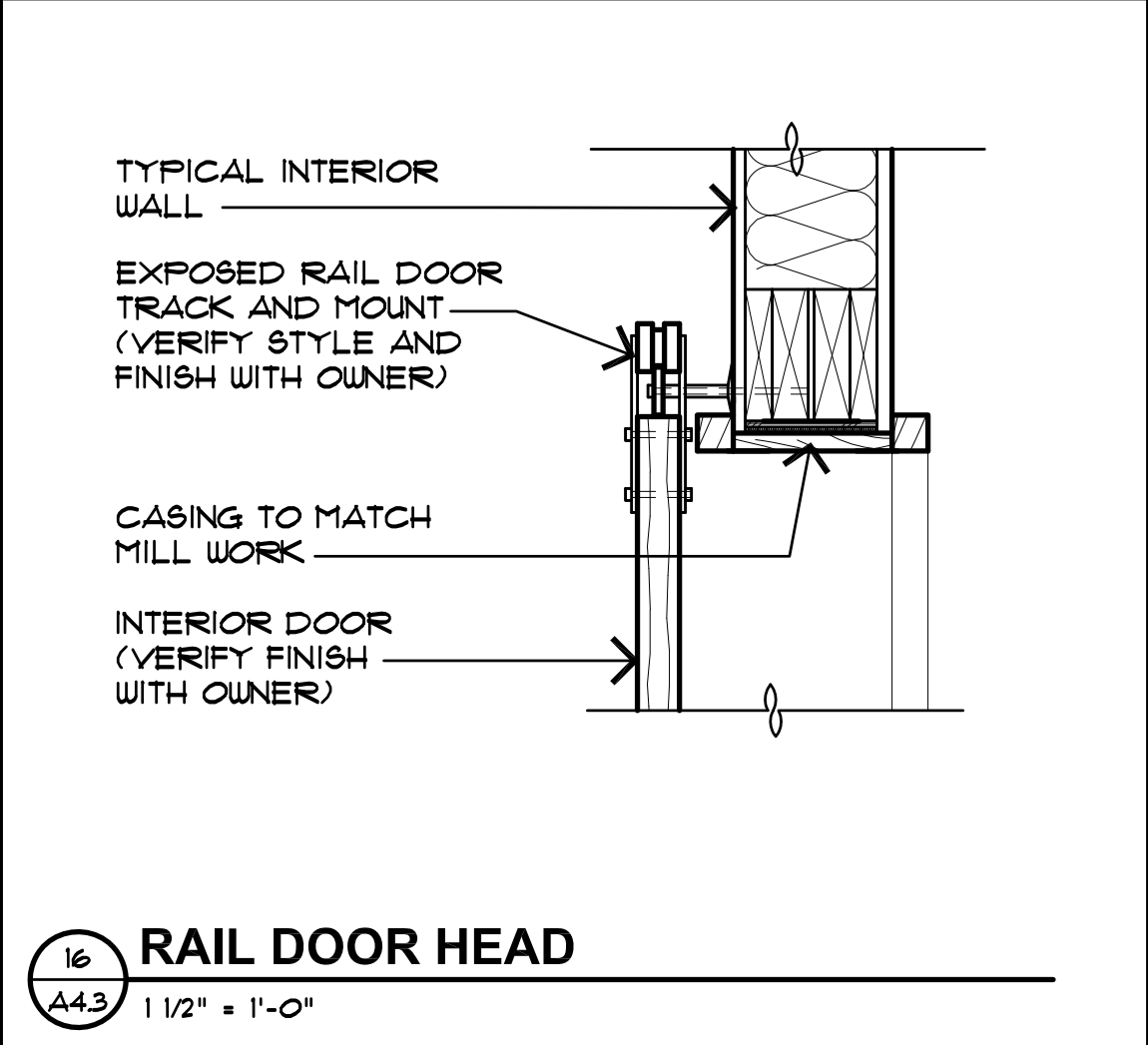
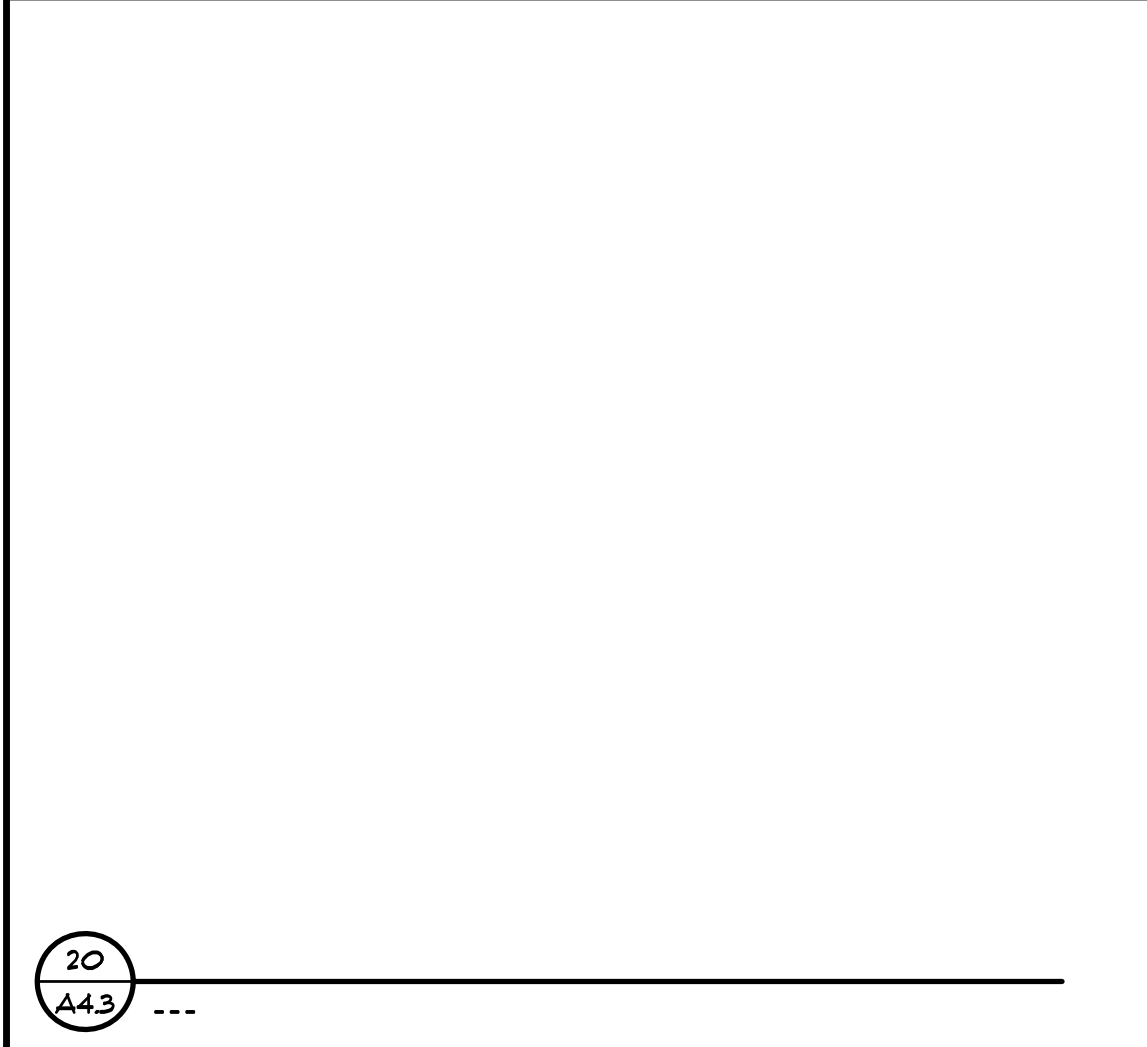
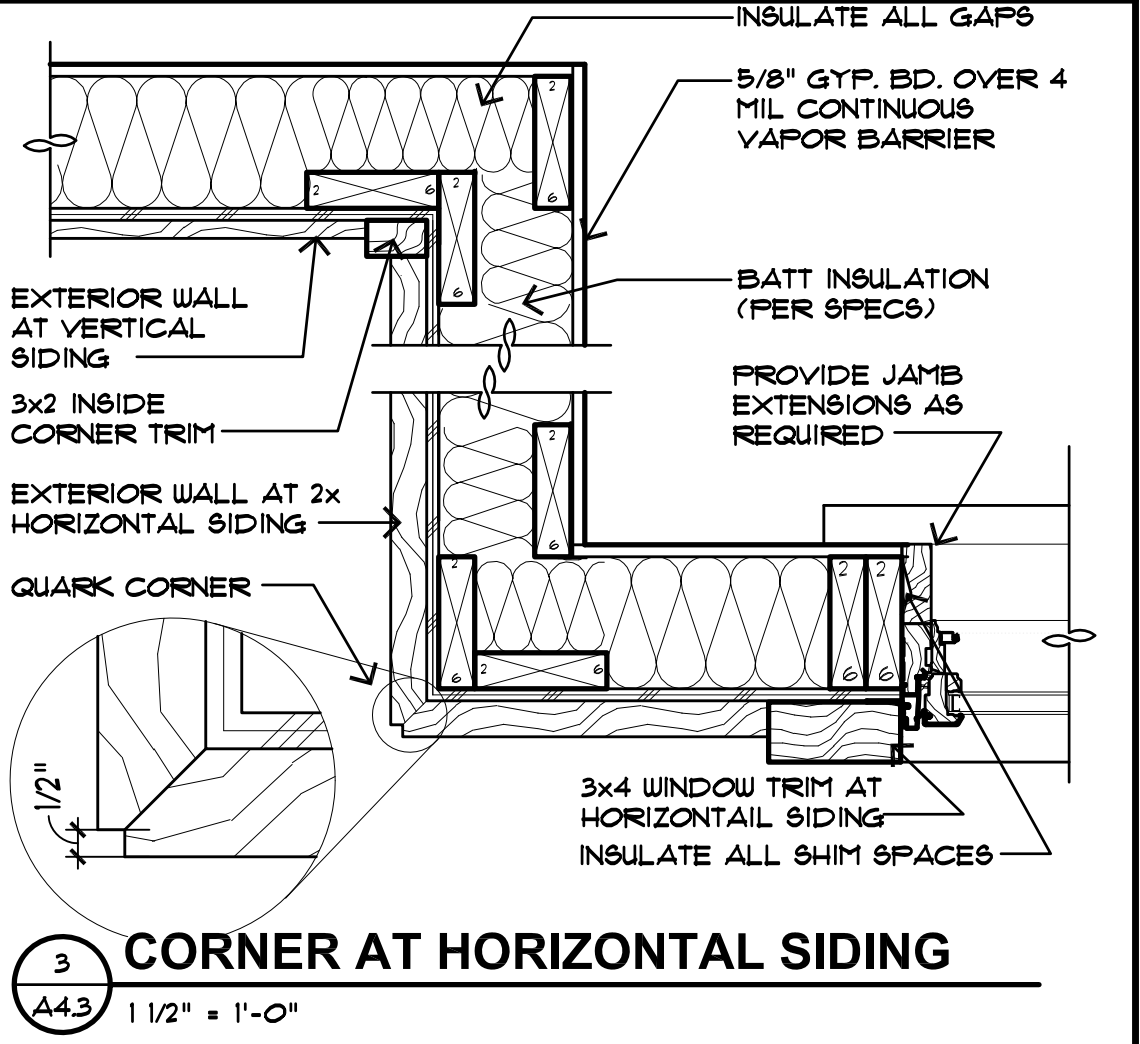
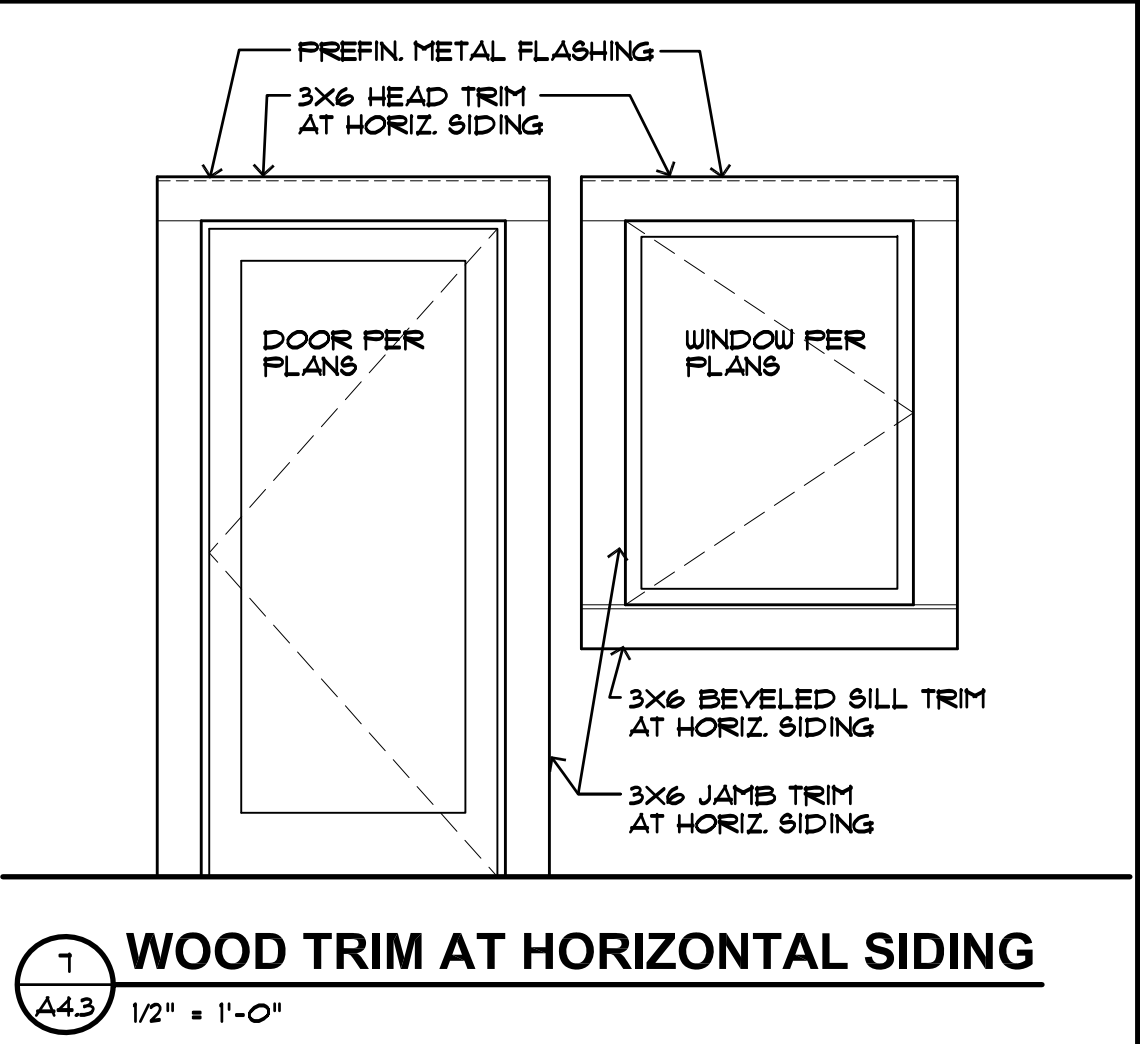
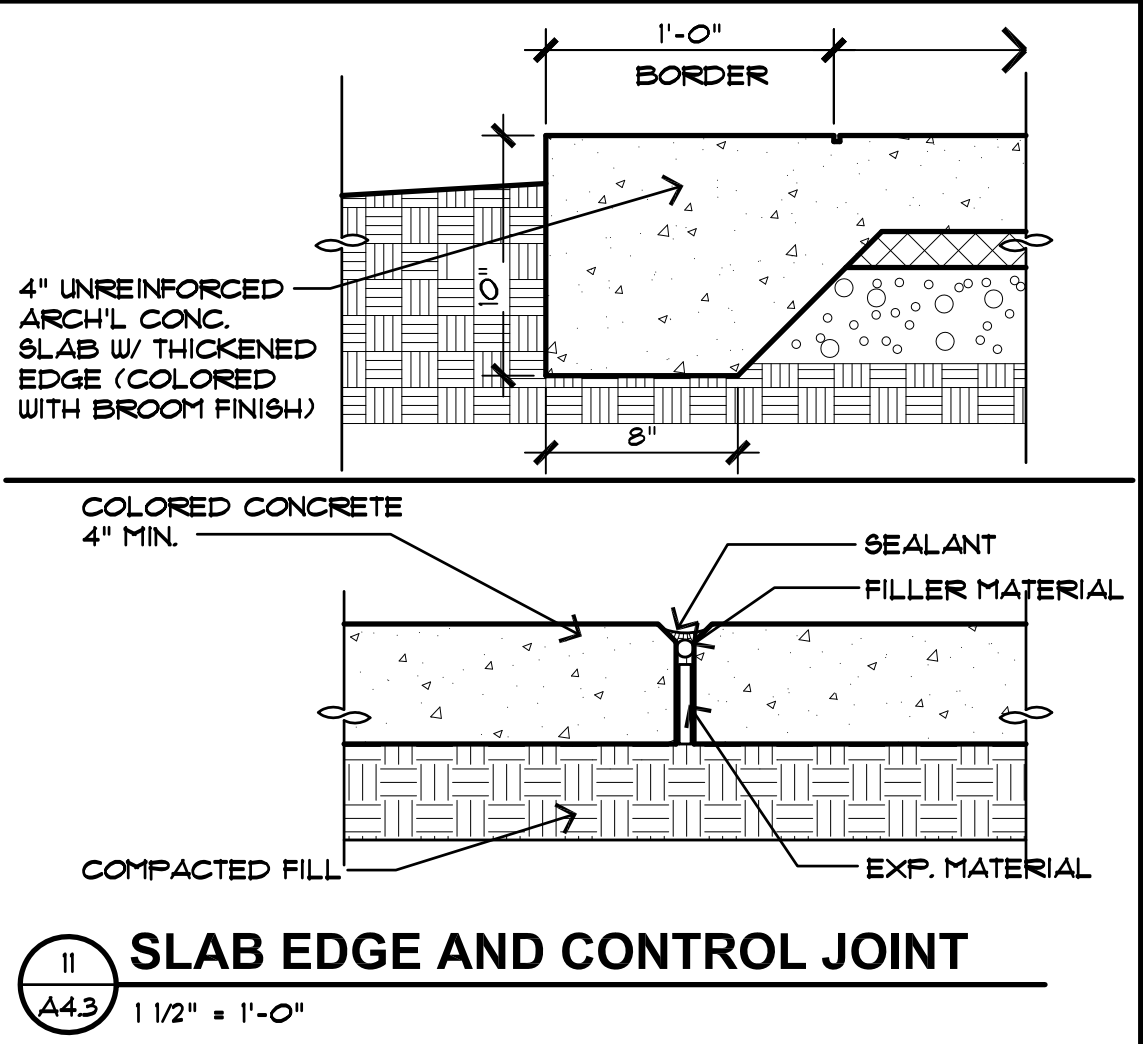
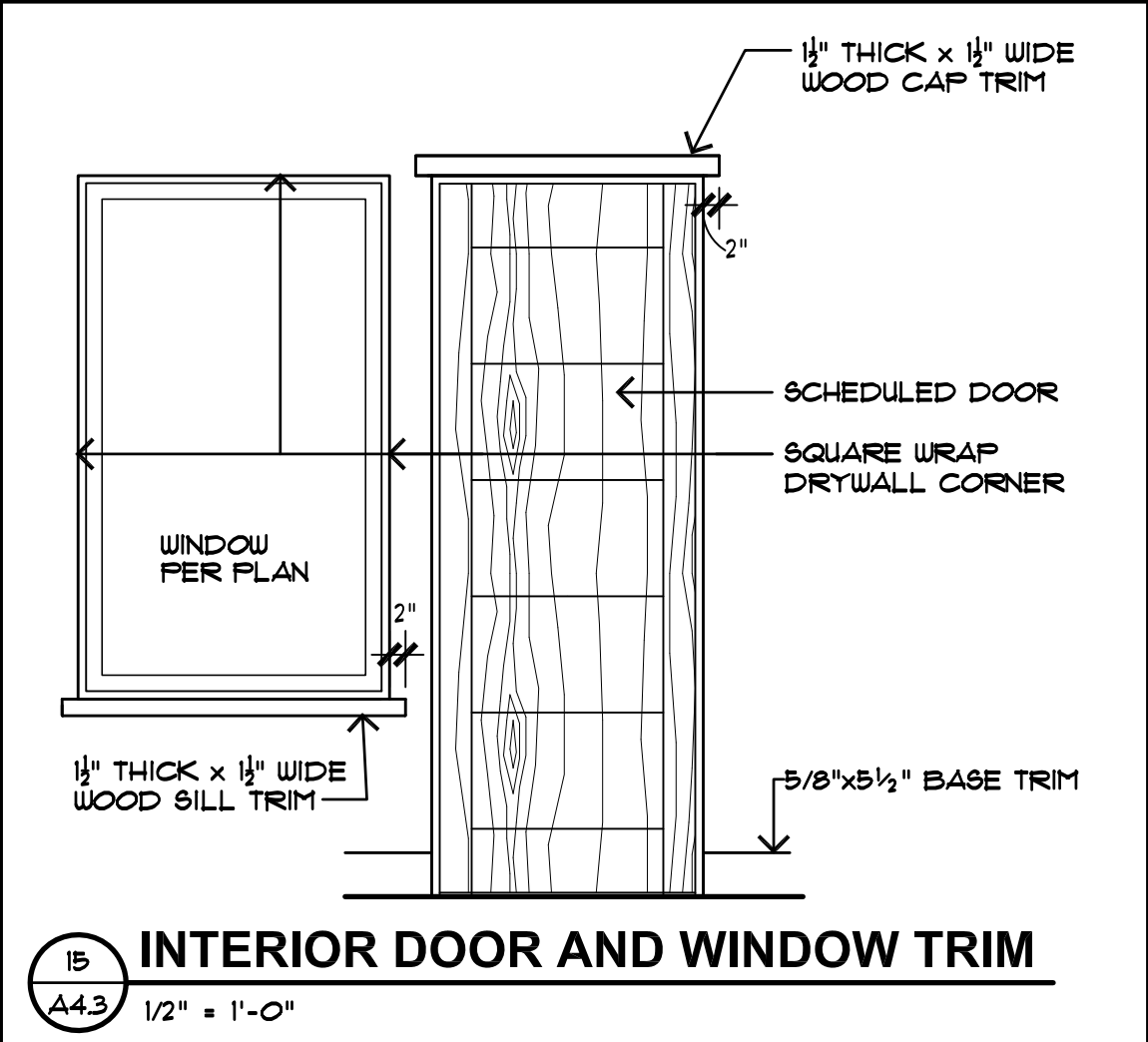
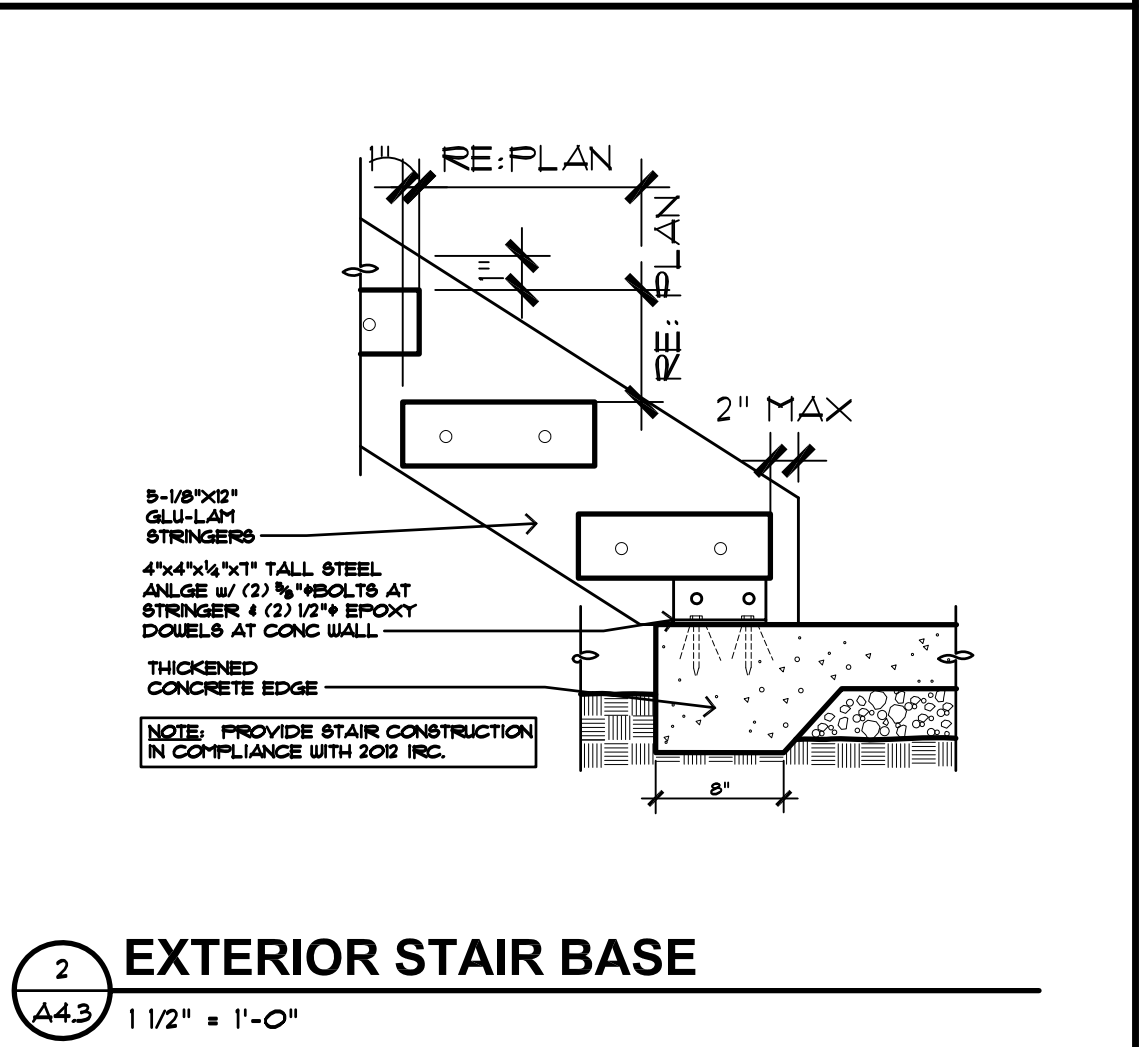
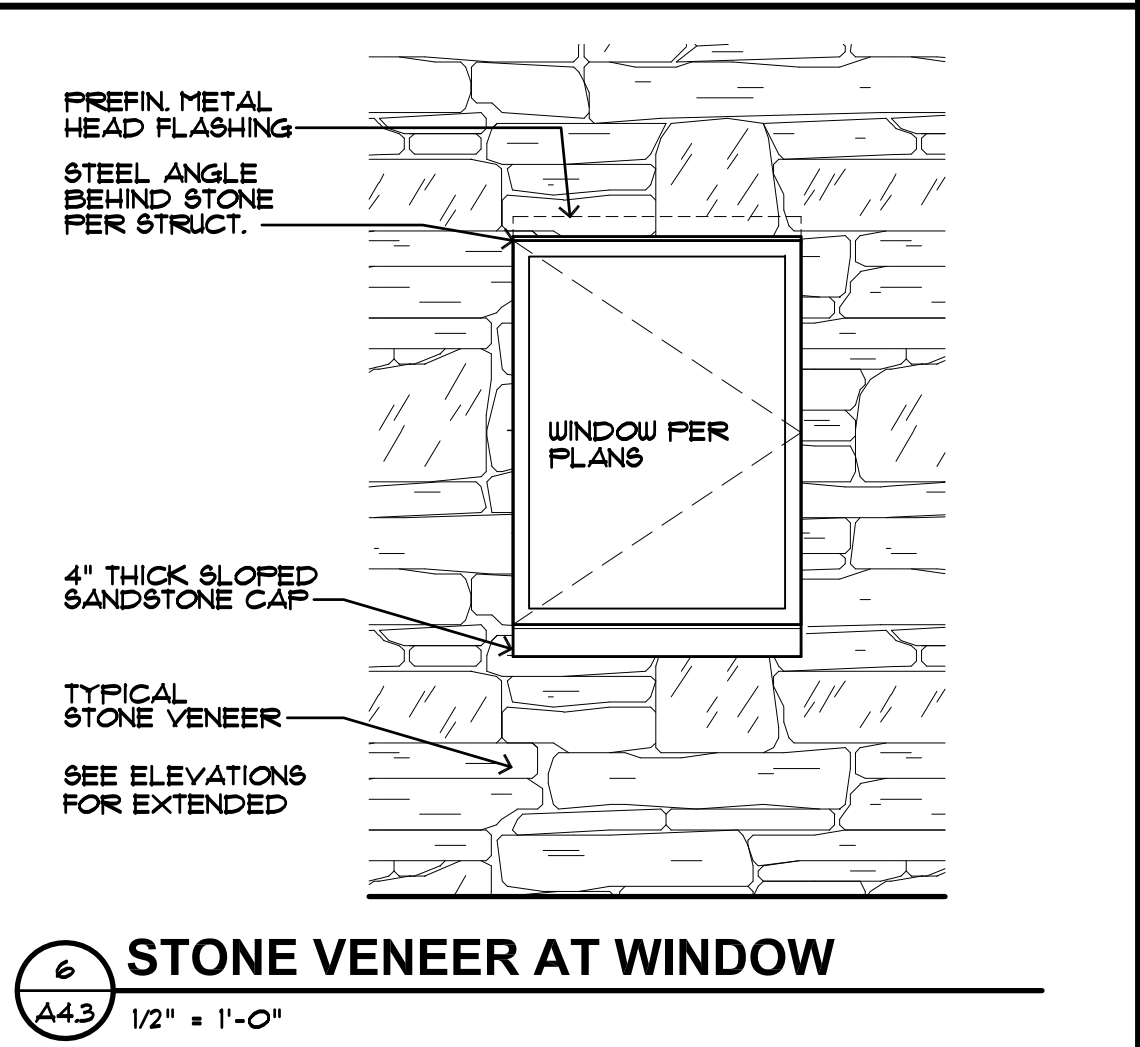
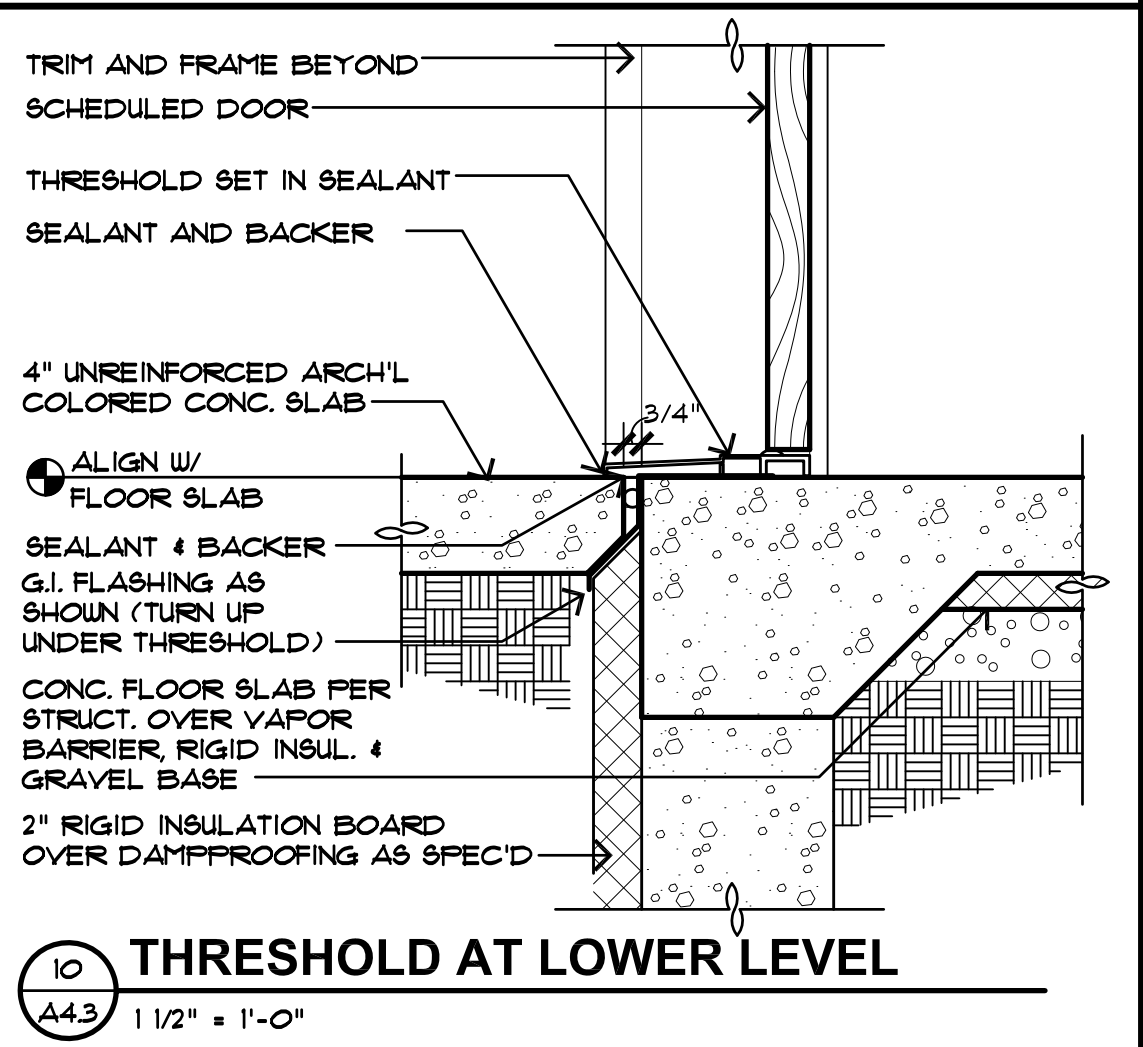
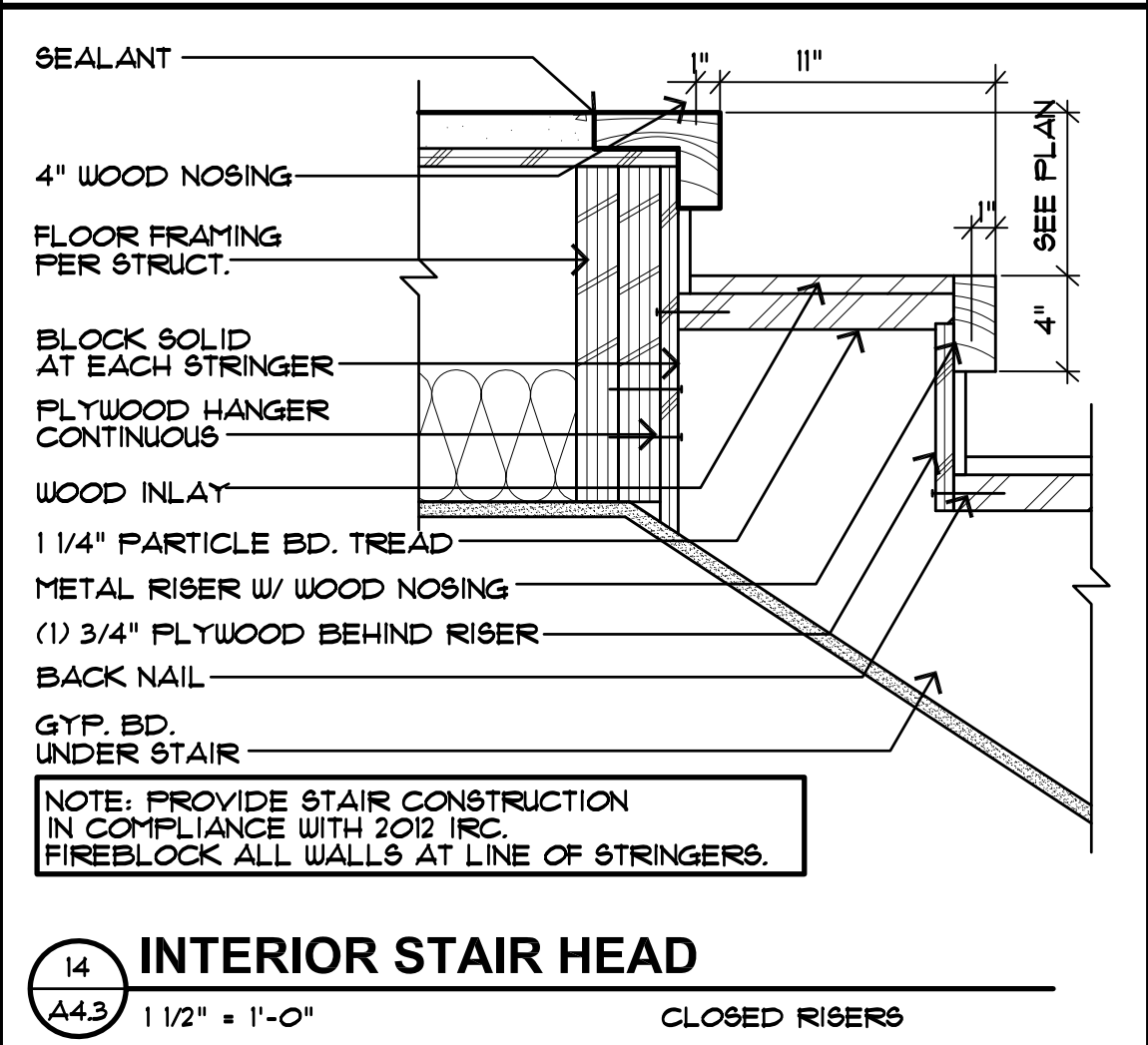
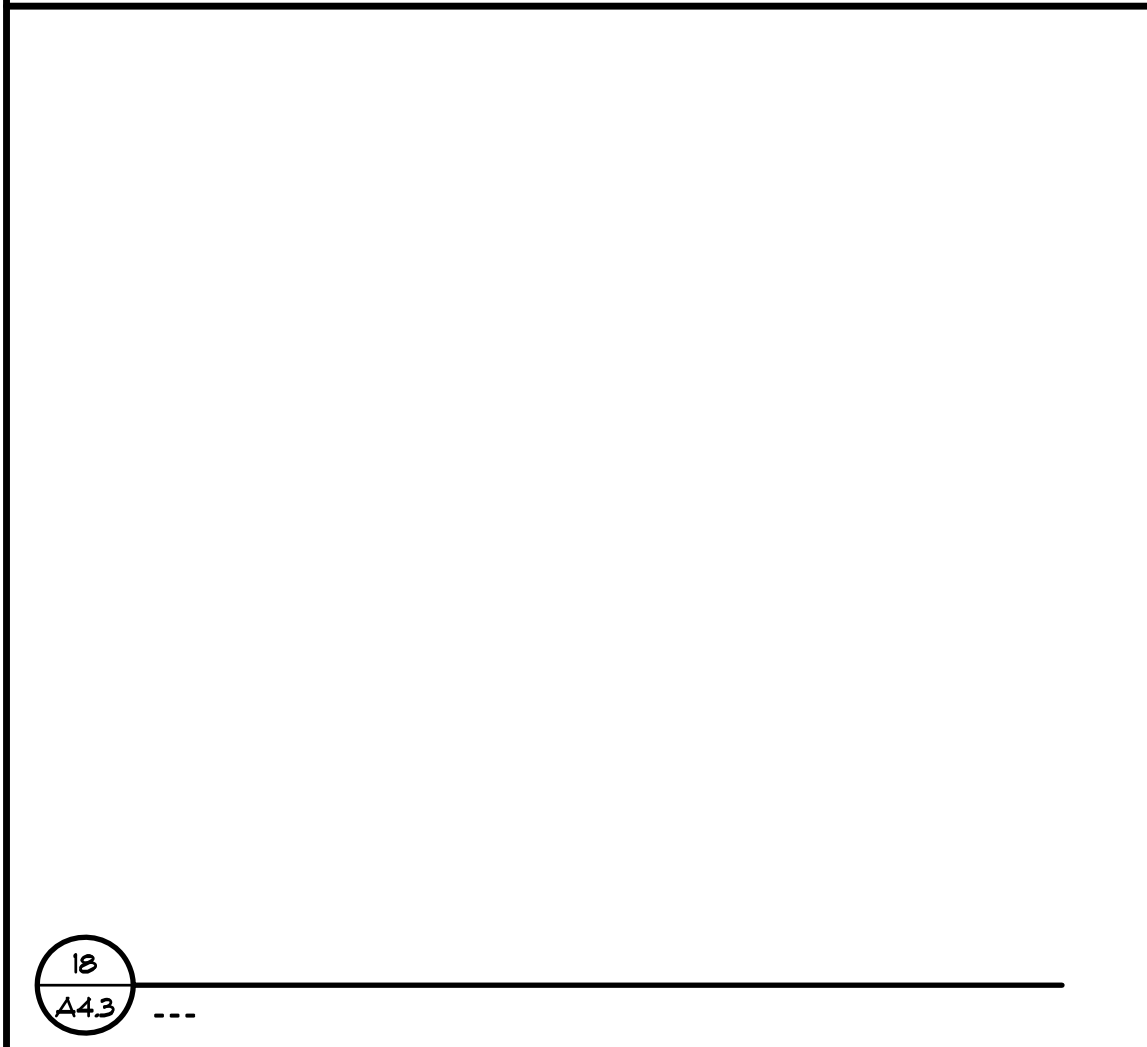
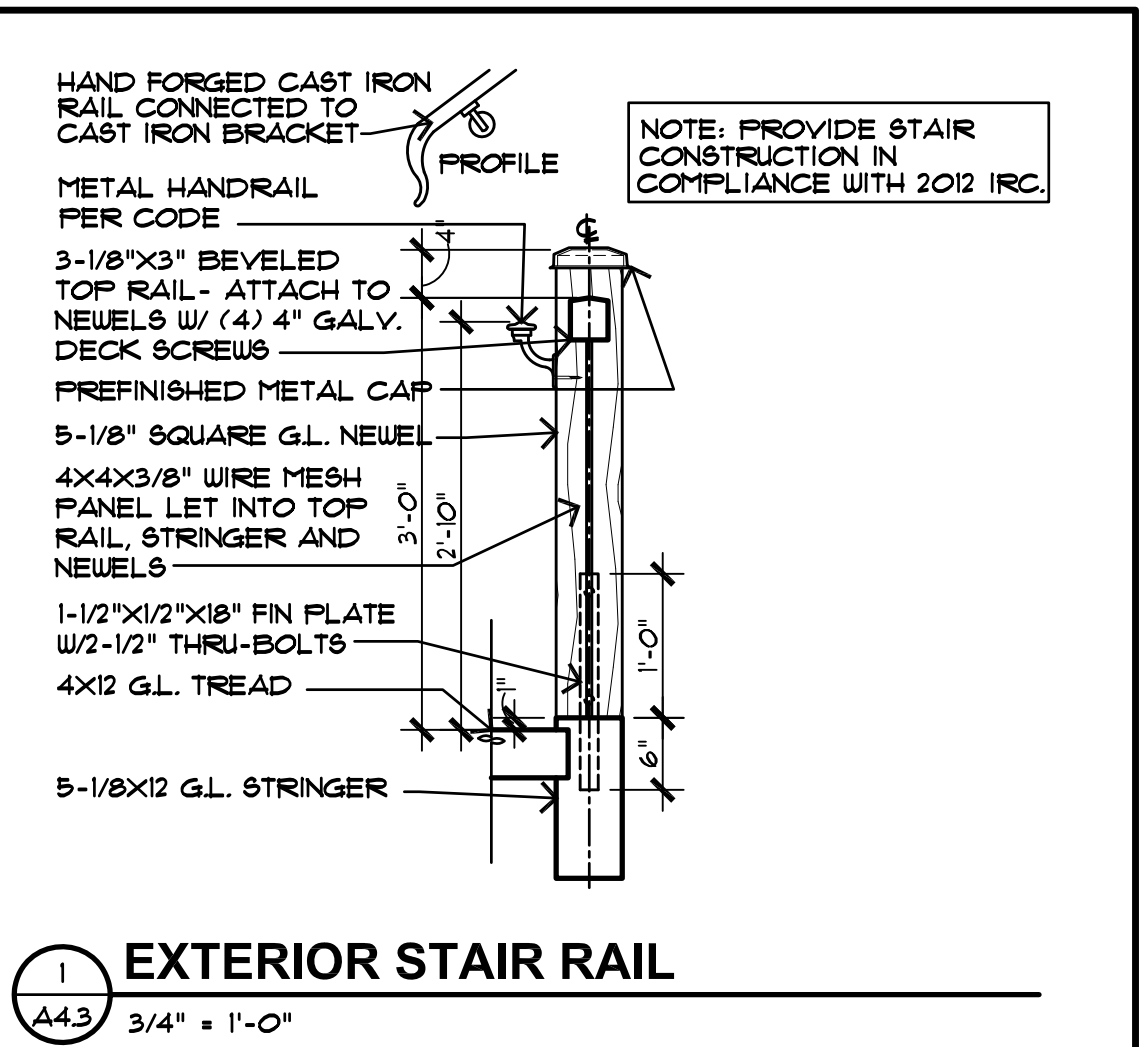
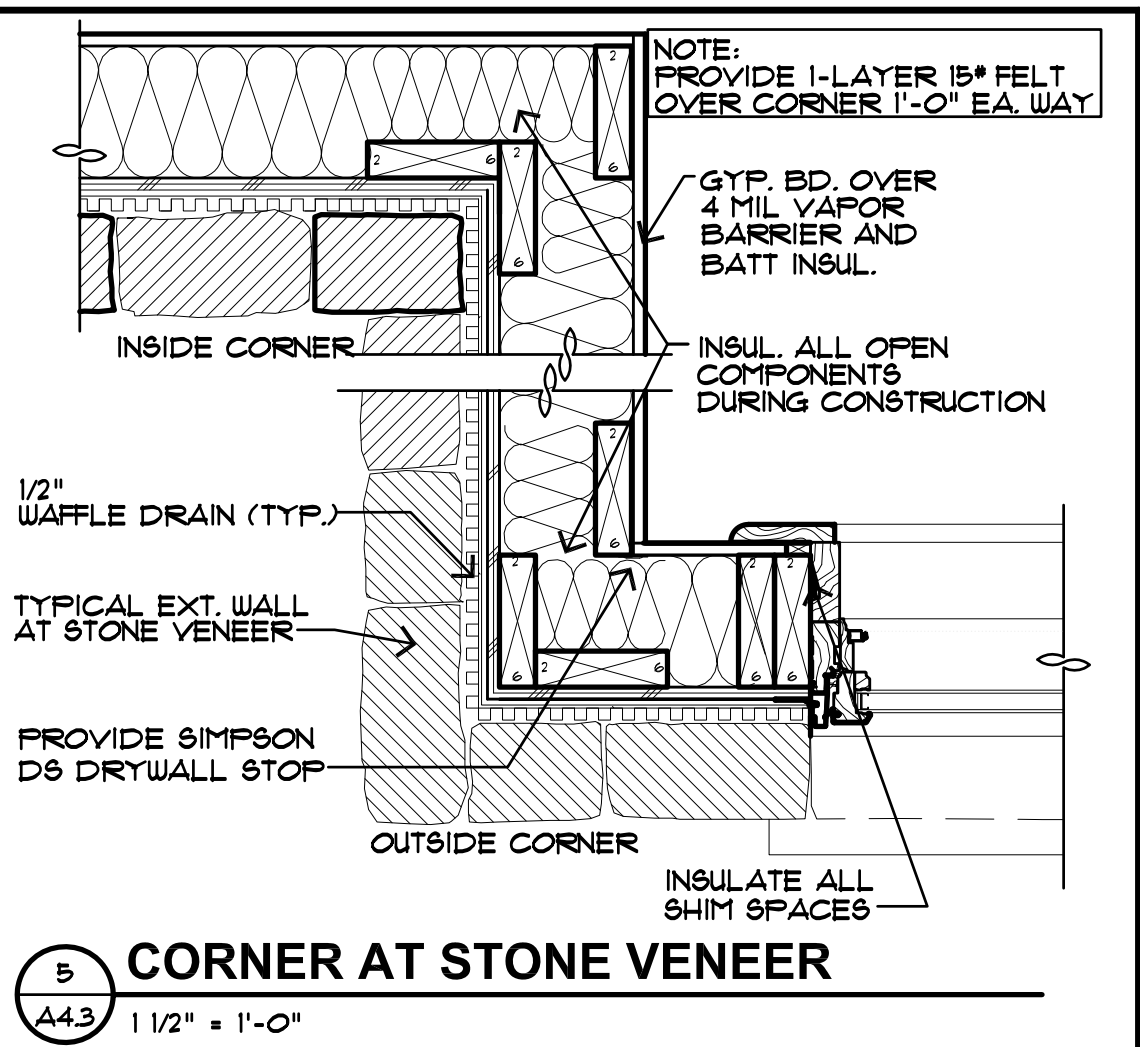
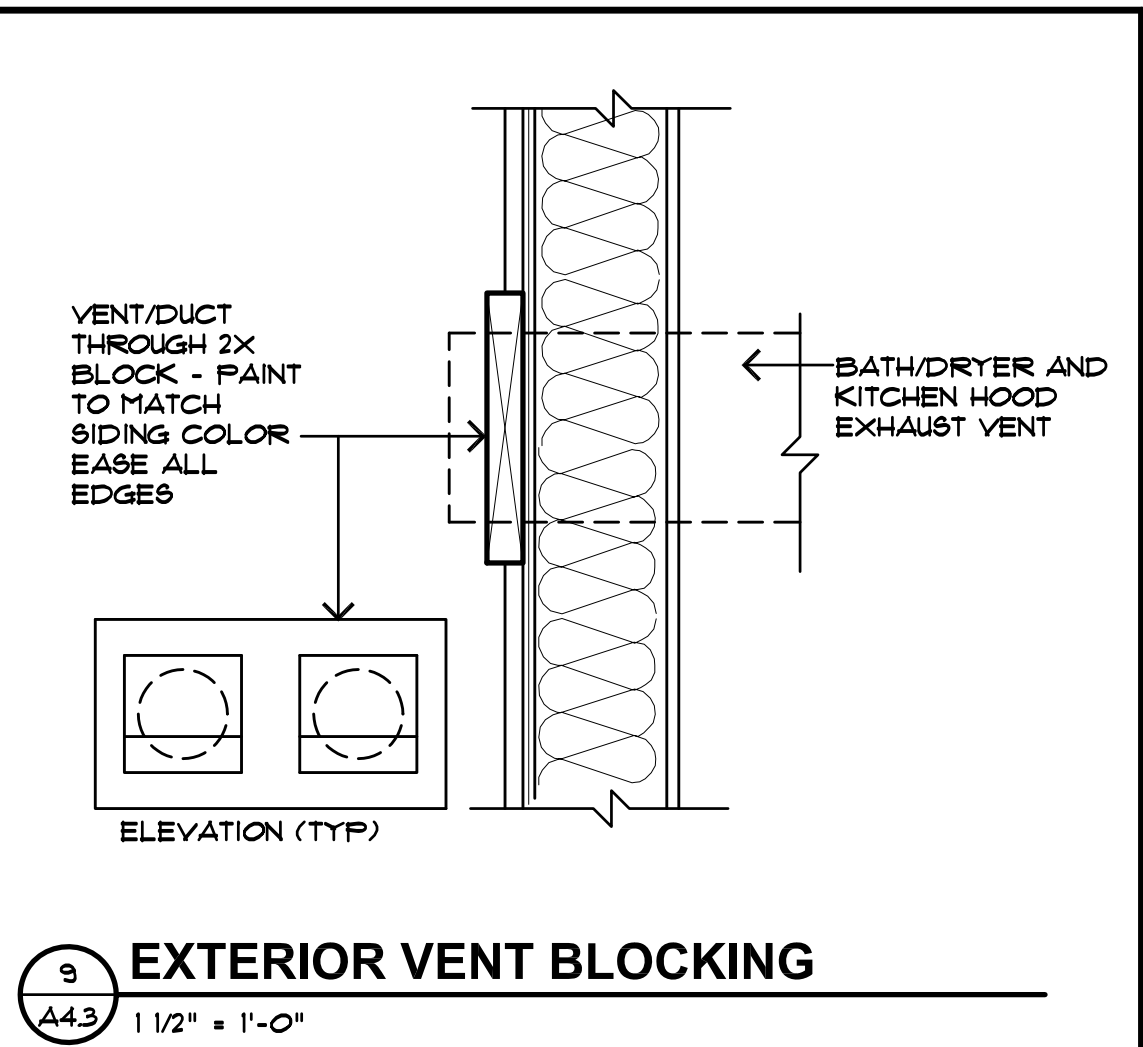
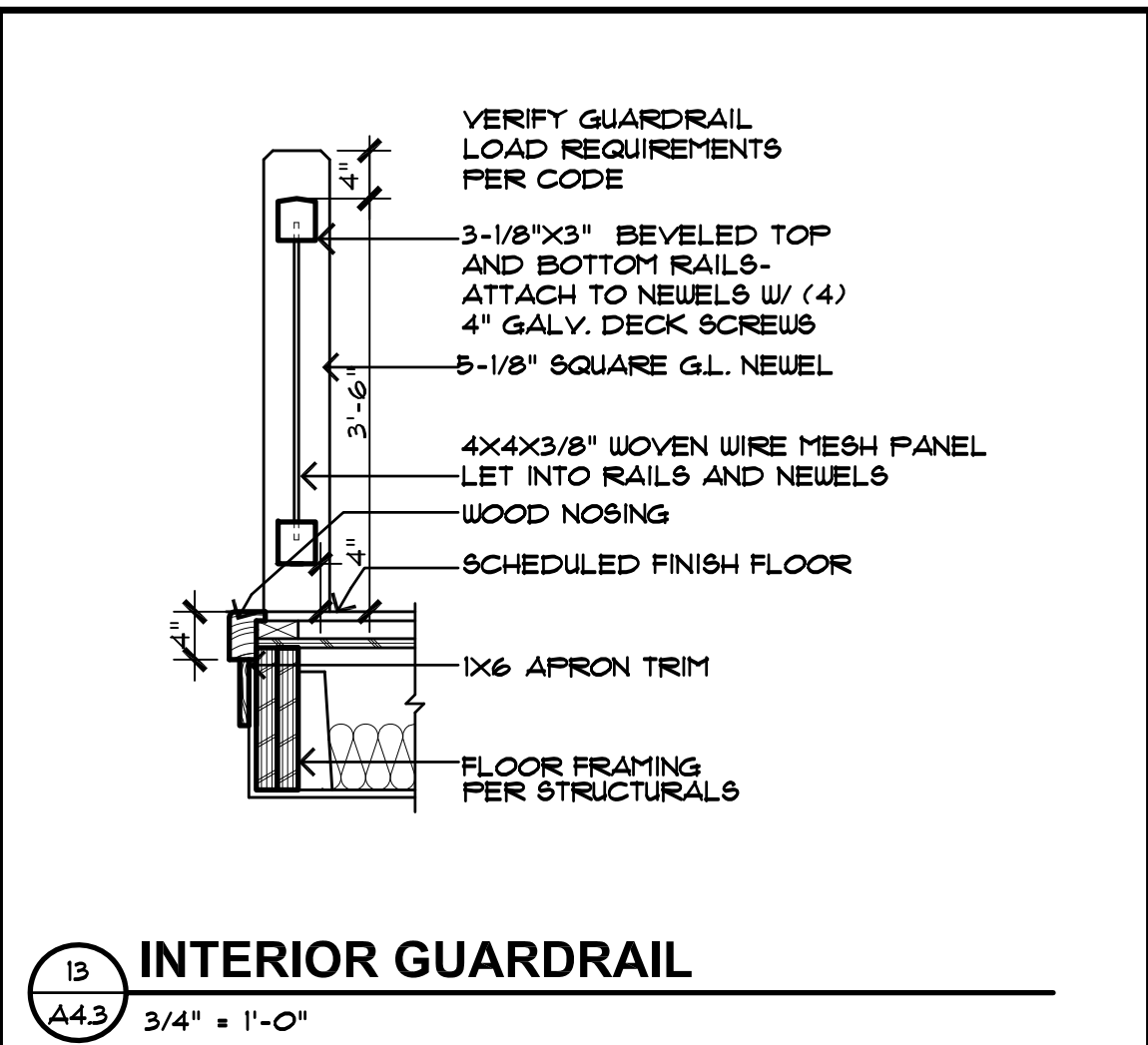
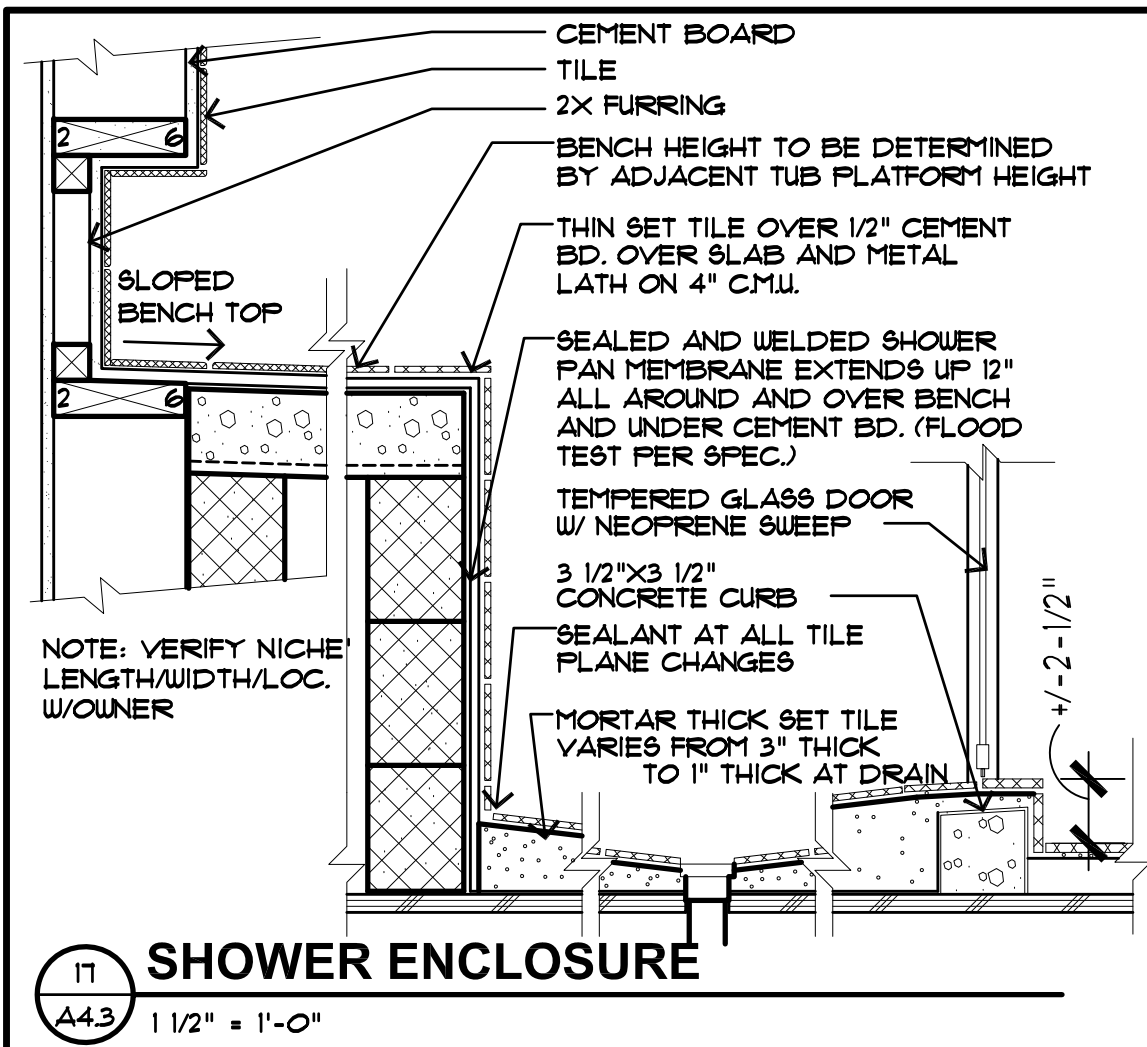
OF: 13

© 2016

SHEET NUMBER:

A4.2

OF: 13



REVISIONS:

JOB NO: 61515

DATE: 05/02/16

DRAWN BY: Jouxkamper

CHECKED BY: mhoux

©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR: PERMIT

MPT

bhh Partners

MC CREERY - TWO CABINS

LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

© 2016

SHEET NUMBER:

A4.3

OF: 13

	<p>B. FINISH CARPENTRY - All interior woodwork to have stained finish (one coat stain where required plus two coats clear sealer as approved by Architect). Interior finish carpentry to be reviewed prior to beginning work with Architect. Millwork trim and finish to match. All interior finish carpentry shall be of stock material milled to profiles shown. Ease all edges. See Details.</p> <p>Finish carpentry at all areas to be as follows:</p> <ol style="list-style-type: none">Door & Window Casings. Provide head leg trim at doors and sill trim at windows. Verify wood species with Owner. See drawings.Base Trim - Verify wood species with Owner. 5/8 x 5 1/2 base trim.Interior Stair Millwork & Railings -Verify wood species and steel details with Owner. Per plans. Handrails and guardrails shall conform to the 2012 IRC as adopted by Town of Silverthorne, Colorado. See drawings for details.Interior Shelving - 3/4" enamelized particle board with 1x2 alder edge.Closet Shelving - 3/4" enamelized particle board with alder nosing. Provide fir closet rods stained finish. Coordinate design with interior designer and owner. Provide submittal. <p>See interior elevations and drawings for additional information.</p> <p>C. ARCHITECTURAL WOODWORK - If applicable, all countertops and backsplashes are to be provided by the General Contractor. Installation for all of the above materials is a part of the contract. The supplier of the kitchen cabinets shall submit a complete layout with descriptions of functions and materials upon final selections by the Owner. The extent of this work is shown on the drawings. In the event of damage, immediately make known to Owner and make all repairs and replacements necessary at no additional cost to Owner. Make adjustments for installation at tile, wood and concrete floors where shown. See Cash Allowances. Provide the following:</p> <ol style="list-style-type: none">Cabinetry - Provide hardwood panel (alder or equal) cabinetry. Manufacturer at Owner option. Provide submittal. See drawings. Provide solid surface countertops with square, eased edges. Verify materials with Owner.Built-In Cabinetry - Hardwood alder cabinetry. Coordinate with electrical for built-in lighting as required. <p>VII. THERMAL AND MOISTURE PROTECTION:</p> <p>A. INSULATION: - (See division III for foundation wall insulation/protection board). All spaces around windows, mechanical electrical outlets, and other penetrations should be sealed with low expansion closed cell foam insulation. Any fiber insulation to include a fully aligned air barrier provided by sheet material at least equal to the material utilized in formulating the listed rating of the insulation. Install vapor barriers behind all beams and ledgers in contact with thermal envelope walls. Provide appropriate sealant at all such junctures.</p> <p>For owner's consideration, provide Eco-Seal system by "Knauf" Products http://www.knaufinsulation.us/ Insulation shall be by manufacturer certified technicians in strict accordance with manufacturer requirements.</p> <p>Exterior Walls Below Grade: Material - Blown-in batt insulation and/or closed cell spray foam insulation Thickness - 5 1/2" (R-23) or 3 1/2" (R-13) Installation - Blown in Vapor Barrier - None (breath inward)</p> <p>Exterior Walls Above Grade: Material - Blown in batt insulation Thickness - 5 1/2" (R-23) or 3 1/2" (R-13) Installation - Blown in Vapor Barrier - 4 mil polyfilm at inside face of stud at exterior wall only. Seal and/or tape all penetrations tightly. Polyfilm to be continuous over all wall and ceiling spaces.</p> <p>Roof/Ceiling: Material - Blown-in batt insulation or as directed by A.H.J. Thickness -12-inch high density (R-49) Installation - Blown in under insulation baffle Vapor Barrier - 4 mil polyfilm - Seal and/or tape all penetrations tightly.</p> <p>Waterproof Deck: Material - Closed cell foam Thickness - R49 in 3 lifts minimum Installation - Foamed in place. Vapor Barrier: 4 mil. Polyfilm seal and/or tape all penetrations tightly.</p> <p>Underlab Insulation: Polystyrene 1 1/2" or 2" thick for under slab use or closed cell spray foam insulation at contractor option (Obtain building department approval). Tape all joints and penetrations per manufacturer recommendations. For heated slabs on grade; minimum R-10 (2" thick) required along perimeter; minimum R-5 for interior portions per IRC. (Verify with Building official). Provide vapor barriers under all slabs.</p> <p>Vapor Barrier at Slab: Provide minimum 6 mil. polyfilm under the floor slab (Insulap or Astrofoil can act as the vapor barrier). Install as dictated and require per code.</p> <p>Slab Edge: Provide 2" Polystyrene (R-10) thick rigid insulation.</p> <p>Sills: Fiberglass sill sealer at all concrete to wood plate junctures. Sill sealer to be part of rough carpentry package.</p> <p>Insulation Baffle: 1/2" cardboard corrugated insulation baffles to maintain cold roof flow, where shown on drawings. (Baffles to be compatible with spray foam urethane closed cell insulation where used.)</p> <p>Interior Wall Sound Insulation: Provide R-11 Batt insulation at all interior walls as indicated on plans and stairs for sound control.</p> <p>B. ROOFING UNDERLAYMENT: Under all roofing provide WR Grace Ice and Water Shield. Install in strict compliance with manufacturers specifications and recommendations. Under metal roofs provide VycorTM high temperature membranes as approved by W.R. Grace. Prime area 6'-0" each side of valleys and 6' up from edge of roof overhang with Bluthene primer P-3000. Provide membrane under and around all roof junctures to fascias prior to fascia trim installation. Upon completion of roofing underlayment work and prior to the installation of any roof material, schedule and notify the Architect of the W.R. Grace manufacturer representative review meeting on site. Provide manufacturer letter to the Owner and to the Architect stating that the roofing underlayment was installed in accordance with manufacturer's requirements. If metal roof is provided, install Vycor™ urethane membrane under all metal roofs.</p> <p>C. SHINGLE ROOFING - Manufacturer: GAF Timberline Ultra HD or equal composition shingles. Install roofing system in strict accordance with manufacturer specifications and recommendations using manufacturers standard methods and materials of constructions. Provide manufacturers standard 50 year warranty. See Division VI and drawings for cold roof venting details.</p> <p>D. WATERPROOF DECKS - Provide TPO, E.P.D.M. or equal roofing membrane. Install in strict accordance with manufacturer's requirements. Provide submittal and manufacturer's visit to ensure and certify installation is in compliance with requirements.</p> <p>E. SHOWER PAN LINING - Chloraloy 240 monolithic polyethylene membrane, manufactured by the Nobel Company, 614 Monroe St., Grand Haven, Michigan 49466, (616) 942-7844, or approved equal. Provide submittal on membrane for approval. A 24 hour flood test will be required to verify water tightness of installation. Install membrane per details on the drawings.</p> <p>Schlüter system may be provided if approved by Architect as available through Dalile (735 South Huron, Denver CO 80223, 800/999-1743, www.schluter.com/ - provide submittal. Provide submittal to include KERDI matting membrane information, KERDI-BAND, grout specification, and curb waterproofing, in coordination with all tile work.</p> <p>F. FLASHING - Material: Install all flashing to divert water to the exterior of the building envelope. Install all flashing per standards of the industry and in compliance with SMACNA recommendations. 26 ga. Galvanized Iron Finish - Pre-finish flashing at all visible areas. All exposed sheet metal to be prefinished or painted. Provide kick out flashings with all roof wall junctures.</p> <p>G. SEALANT & CAULKING:</p> <p>Joint Fillers: Closed cell expanded polyethylene, open cell polyurethane foam or as recommended by the sealant manufacturer.</p> <p>Exterior Sealant at Horizontal Concrete Expansion Joints: Grey color one part urethane sealant PRC 6006 self leveling sealant as available through C.R. Lawrence, Inc. 1-800-421-6144.</p> <p>Exterior Sealant at Wood, Stone and Vertical Concrete: Color to match adjacent surface as approved by Architect. Work Site U60 Urethane sealant or Tremco Mono 1 part acrylic terpolymer sealant as available through C.R. Lawrence, Inc. (800) 421-6144.</p> <p>Interior Caulking at Latex Painted Area: Color to match adjacent surface as approved by Architect. Work Site 600 acrylic latex caulk as available through C.R. Lawrence, Inc. (800) 421-6144. Caulk between all baseboard trim and wall junctures and between all standing and running trim and wall junctures.</p>	<p>Interior Caulking at Oil Base Painted Areas: Color to match adjacent surfaces as approved by Architect. D.A.P. architectural grade caulking compound as available through C.R. Lawrence, Inc. (800) 421-6144.</p> <p>Fire Barrier Sealant: At all piping and mechanical penetrations of rated walls, floors and ceilings. "Flame Seal" as manufactured by Nelson Co. or approved equal such as 3M Fire Barrier or Dow Corning System 2000.</p> <p>H. MASONRY SEALER: Provide matt finish masonry sealer (Stone Glamour or equal) at all sandstone hearths and stone caps.</p> <p>VIII. DOORS AND WINDOWS</p> <p>A. ENTRY DOOR: Entry door as approved by Owner. See Cash Allowances. Provide submittal.</p> <p>B. EXTERIOR DOORS: Provide weather stripping and thresholds at all exterior doors as a part of the base bid for the work. All doors shall carry manufacturer's standard warranty and shall be installed in strict accordance with manufacturer's recommendations. Provide wood doors with wood frames. Provide submittal.</p> <p>Provide "Sierra-Pacific", 'Jeld-Wen' or approved equal clad wood patio doors in size and configuration as shown on the drawings. Provide wood frames with integral stops and thresholds. Stain and seal doors per work in Division IX. Exterior patio doors to be clad to match windows.</p> <p>C. INTERIOR DOORS: Verify species with Owner. Provide hardwood doors in sizes as shown and style as Selected by Owner. Provide flush panel doors. Provide full light frosted doors where indicated on plans. Stain grade. Install in strict accordance with manufacturer recommendations. Provide solid core door with threshold at interior garage door. Provide threshold at mechanical room door. Provide submittal for all doors.</p> <p>D. HARDWARE: See Section I.E. for Cash Allowance. Installation of all hardware shall be in the base bid. Provide finish throughout and submittal of hardware with cut sheets for Architect review and approval. Approved manufacturers include Schlage, Russwin, Yale, Baldwin and Sargent.</p> <p>E. RAIL DOOR HARDWARE: Provide horizontal railings in weathered steel patina finish with integral roller system for 1 1/2" thick interior doors. Verify specification with Owner. Provide rail door hardware as selected by Owner from www.bamdoorhardware.com.</p> <p>F. WINDOWS: 'Sierra Pacific', 'Jeld-Wen' or approved equal clad wood windows. Provide casement, awning and fixed as shown on the drawings. Provide detailed submittal for Architect approval prior to ordering windows. Provide color clad frames per color sample. Do not provide Brick Mould. Provide Low E glass at all window and patio door locations. Coordinate window coverings with Owner, Architect and Designer.</p> <p>Provide option from Sierra Pacific for "modern" glazing system. Provide submittal.</p> <p>G. INSULATED GARAGE DOOR: Insulated Masonite Doors clad with horizontal wood siding per plans with 3" standard heavy duty track, weatherstripped and with automatic opener. Provide submittal for Owner/Architect approval. Stain to match siding. Provide glazing per elevations. Provide submittal. Provide track as noted above.</p> <p>IX. FINISHES:</p> <p>A. DRYWALL: Material - 5/8" type "X" drywall or 5/8" standard drywall throughout the project as noted on the drawings. Texture sample is required prior to work for Owner and Architect approval. Hand trowel texture throughout. Provide three coat finish, prime walls and then refinish as required for smooth or textured finish, then re-prime wall as required. Provide smooth finish at wall paper areas. Coordinate corner profile with Owner.</p> <p>B. DRYWALL CEILINGS: Material - 5/8" standard drywall as noted. Textured finish to match wall texture.</p> <p>C. TILE - Provide 1/2" plywood or cement board underlayment under all areas over framing to receive tile or vinyl floors. Provide tile isolation underlayment (Schluter or equal) at concrete slabs to receive tile as shown on plans. Provide 1/2" cement board (wonder board or durorock) behind all areas to receive wall and ceiling tile. Provide fiberglass tape and screw cement board to framing with galvanized screws. Provide durorock underlayment under all tile countertops.</p> <p>Tile materials are per Cash Allowance. All tile is to be installed by contractor and per manufacturers approved methods and in compliance with Tile Council of America recommended installation methods. See plan for scope of tile work. Provide sealant at all tile horizontal and vertical junctures.</p> <p>Provide shop drawings for all tile layouts to be approved by Owner and Architect prior to beginning work. In general, all layout work should be centered and positioned in a logical and workmanlike manner. If recessed areas in wet areas are shown, such as shower niches, provide Bituthene 3000 waterproof membrane by W. R. Grace prior to cement underlayment installation.</p> <p>Provide Schluter Systems shower pan assembly to include compatible drain system, mortar beds, Kerdi-Band and Kerdi-Matting. Install in strict compliance with manufacturer's recommendations. Installer to be certified by Schluter Systems. Provide certificate of certification to Architect prior to any tile work.</p> <p>D. GRANITE COUNTERTOPS - Provide and install 3/4" thick stone and facing at each countertop (square, eased edges) as selected by Owner and indicated on the drawings. Install in strict accordance with supplier's requirements and recommendations. (Provide substrate and adhesive as approved.)</p> <p>E. CARPET: See Cash Allowances and room finish schedule.</p> <p>F. WOOD FLOORING: Provide and install a complete finished wood strip flooring in areas shown on the drawings. Use select grade, as selected by Owner, with tongue and groove edges.</p> <p>Field finish by sanding to level using successively finer sandpaper. Filler: Benjamin Moore Benwood Paste wood filler or approved equal. Natural finish: Stain and three coats Benjamin Moore Urethane as approved by Owner. Prefinished flooring may be provided at Owner option.</p> <p>Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction and with uniform appearance. All flooring materials to be stocked on site for a period not less than four weeks prior to installation.</p> <p>Provide e pre-finished or field finish by sanding to level using successively finer sandpaper. Filler: Benjamin Moor Benwood Paste wood filler or approved equal. Natural finish: Stain and three coats Benjamin Moore Urethane as approved by Owner. (Pre-finished floor may be provided if approved by Owner and Architect).</p> <p>G. TRANSITION STRIPS: Provide submittal for transition strip to be used at junction or edge of all dissimilar flooring materials.</p> <p>H. EXTERIOR PAINTING: Exterior siding and trim - 2 coats semi-transparent Sherwin Williams, Olympic or equal stain. Two colors to be used as approved by Owner and Architect. Provide the first coat to siding and trim prior to installation. Exterior metal surfaces - 2 coats oil base paint as approved by Owner and Architect. Exterior flashings - prefinished flashing. Exterior Deck - 2 coats exterior clear sealer. All exterior surfaces suitable for paint shall be painted as directed by the Architect. See previous specification sections for exterior mock up sample requirements.</p> <p>I. CAULKING: Provide caulking at all baseboard trim and wall junctures and between all standing and running trim and wall junctures.</p> <p>J. INTERIOR PAINTING: All colors and finishes to be approved by Owner and Architect. Refer to room finish schedule for locations of colors.</p> <p>Drywall (dry areas) - Two coats eggshell finish latex paint. Colors as selected by Owner.</p> <p>Drywall (wet area) - Two coats semi-gloss latex enamel (washable)</p> <p>Wood doors and trim - Stain and two coats sealer.</p> <p>Exposed Beams and Timbers - Stain and two coats sealer.</p> <p>Windows and Jamb Extensions - Stain and two coats sealer to match trim.</p> <p>Interior Metal - Polish and clear seal.</p> <p>X. SPECIALTIES:</p> <p>A. PRE-FAB ZERO CLEARANCE FIREPLACES - Hea-n-Glo COSMO42 (at great room), COSMO32 (at master, family room) with mirrored interior with clear face from and finish in graphite with glass media as selected by Owner and remote controller. Provide all related equipment as required by Building Department. See details. Provide combustion air kit. Coordinate all options with Owner. Install all in strict accordance with manufacturer's recommendations.</p> <p>B. FIREPIT - Napoleon rectangular patio flame outdoor gas fire pit with log kit. Provide stone surround. Provide submittal.</p>	<p>C. TOILET & BATH ACCESSORIES - Provided backing blocking as required for toilet and bath accessory installation. See Cash Allowances. Provide submittal. Coordinate with interior design, dark bronze rustic accessories. Verify with Owner.</p> <p>D. MIRRORS - 1/4" polished plate glass w/ detailed wood trim as indicated on drawings. Coordinate frames at all interior vanity mirrors with Owner.</p> <p>E. SHOWER ENCLOSURES - Provide frameless, clear tempered glass enclosures. Provide option for frosted glass. Set base track prior to tile work. See cash allowances.</p> <p>XI. EQUIPMENT:</p> <p>A. APPLIANCES - Appliances are to be selected and verified with the Owner. See Cash Allowances. General Contractor to supply pricing information to Owner so that it may be decided who will purchase appliances. Installation shall be by General Contractor. Verify the appliance requirements with Owner prior to rough-in requirements for appliance work. Provide submittal for information to the Architect.</p> <p>KITCHEN / PANTRY: (Verify all finishes and details for appliances)</p> <p>(1) 48" Built in Refrigerator with Icemaker</p> <p>(1) 36" Wine refrigerator</p> <p>(1) 36" Downdraft cooktop</p> <p>(2) 24" Dishwasher</p> <p>(1) 24" Undercounter Microwave</p> <p>(1) Garbage disposal</p> <p>(1) 30" Wall oven</p> <p>LAUNDRY:</p> <p>(1) Side by side Washer</p> <p>(1) Side by side Dryer</p> <p>MASTER BATH:</p> <p>(1) Front load washer (stacked)</p> <p>(1) Front load dryer (stacked)</p> <p>BAR:</p> <p>(1) 24" Under counter Refrigerator</p> <p>(1) 24" Over counter Microwave</p> <p>XII. FURNISHINGS: - None - N.I.C. by Owner.</p> <p>XIII. SPECIAL CONSTRUCTION:</p> <p>A. MASTER BATH STEAM SHOWERS (Bid Alternate at Master Bath) - Location as noted on plans. Steamtronic or equal in size as recommended by manufacturer. Install in strict accordance with manufacturer's requirements. Provide submittal.</p> <p>C. MASTER BATH TUB - Provide free standing 'zen tub' at Master Bath (as selected by Owner). Provide any mechanical or electrical requirements for tubs as specified by manufacturer.</p> <p>D. HOT TUB - (BID ALTERNATE) - Provide Arctic Spas or equal (93" x 93") hot tub at lower patio. Model number of spa as determined by Owner. Provide 22V, 50 amp dedicated circuit in locations as approved by Owner. Provide electric package unit spa as selected by Owner. Provide submittal. Provide lockable cover per code requirements.</p> <p>E. AUTOMATIC SPRINKLER SYSTEM - Provide an NFPA 13-D automatic fire sprinkler system throughout the residence as approved by A.H.J. Provide storage tank as shown with pressure pump if required. Provide shop drawings and submittals for automatic fire sprinkler system to include pipe layout, hydraulic calculations, valve requirements, and backflow preventer design. Obtain Fire District, Building Department, and Architect approval prior to any work. Schedule pre-submittal conference with Architect to review pipe routing through the residence. Provide side wall heads to greatest extent practical. Provide fully recessed heads at all finished locations and semi-recessed heads elsewhere. Install storage tanks and fire pump as indicated on the approved shop drawings.</p> <p>XIV. CONVEYING SYSTEMS: None</p> <p>XV. MECHANICAL:</p> <p>A. PLUMBING</p> <p>1. General: Provide submittal for all plumbing work as outlined below prior to any plumbing work.</p> <p>Pex domestic water piping may be provided as an alternate if approved in writing by the Owner. Provide copy of approval to Architect.</p> <p>Pex piping may introduce harmful chemicals into domestic water. Copper piping is recommended for cold water supply to kitchen sinks and bathroom lavatories</p> <p>2. Water Supply: Connect to water supply provided by Town of Silverthorne tying to stubout at site. Provide Bid Alternate for optional "Water Cop" motorized safety shut off water valve system. Coordinate with XIII E - Automatic Sprinkler System.</p> <p>3. Domestic Cold Water Piping: Provide Type "L" copper piping throughout. Provide plumbing riser diagrams for Architect approval. Insulate cold water pipes with 1 1/2" Armaflex insulation to protect from heat gain from warm water piping. Provide for landscape irrigation system.</p> <p>4. Domestic Hot Water Piping: Provide "Type L" copper piping throughout. Provide plumbing riser diagrams for Architect approval. Provide 1/2" Armaflex insulation on hot water piping. Provide hot water recirculating pump with aquastat timer control for hot water circulation. Provide air hammer arrestors as required.</p> <p>5. Gas Piping: Provide threaded black pipe natural gas piping or code approved plastic piping to mechanical room and other areas as indicated on the drawings per code and Xcel Energy requirements. Provide gas meter per the location indicated on the drawings. Provide outlets as shown on the drawings.</p> <p>6. Sanitary Sewerage: Connect sewer system to Town of Silverthorne Sanitation District. All connection, labor and materials to be provided by General Contractor.</p> <p>7. Plumbing Fixtures/Fittings: Provide complete submittal prior to any plumbing work. All plumbing fixtures and fittings are to have submittal reviewed by Owner before final ordering. Fittings to be per Cash Allowances. Colors from Kohler standard colors. See plans for fixtures and fittings to be provided.</p> <p>Provide fixtures as follows:</p> <p>(6) Toilets</p> <p>(1) Powder lavatory</p> <p>(2) Master bath lavatories</p> <p>(1) Bath 2 lavatory</p> <p>(1) Bath 3 lavatory</p> <p>(1) Bath 4 lavatory</p> <p>(1) Spa bath lavatory</p> <p>(1) Kitchen sink</p> <p>(1) Kitchen prep sink</p> <p>(1) Bar sink</p> <p>(1) Laundry sink</p> <p>(1) Floor sink (dog wash at garage)</p> <p>(2) Tub shower</p> <p>(1) Free standing tub at master bedroom</p> <p>(2) Freeze proof hose bib</p> <p>(1) Hot/cold hose bib (at garage floor sink)</p> <p>Note: Verify with Owner all options, accessories, and finishes prior to ordering. See room finish schedule for additional information.</p> <p>8. Wall Hydrants: Freeze proof Woodford #25CP 24" length wall hydrants as shown on the plans, with separate shut-off valve with access panels. Provide independent shut-off valve for all wall hydrants located in an accessible area such as under cabinet. Provide flush access panel if appropriate. In other areas provide access with appropriate access panel finished to match adjacent surface.</p> <p>9. Floor Drains and Deck Drains: Provide Wade, Zum, or Josam (or equal) floor drains and deck drains as shown on plans. Provide removable sediment bucket at garage floor drain (route to drywell or daylight). Deck drains to be metal with 3'-0" minimum cast iron or copper pipe connected drain. Provide brass down spout nozzles. Provide electrical outlet for leaf tape beside each nozzle. Provide submittal.</p> <p>10. Ground Water Sump at Garage Mechanical Room: Provide submersible sump pump system (mfr. At contract option). Rough in sump canister and provide piping to exterior. Tie in radon drain system to sump pit. Provide submittal.</p> <p>11. Automatic Sprinkler System - See XIII E.</p>	<p>B. HEATING SYSTEM</p> <p>1. RADIANT IN-FLOOR:</p> <p>a. Provide submittals and complete shop drawing information for boiler, hot water storage, radiant in-floor heating system, and snowmelt system, as indicated on the drawings, to include:</p> <ol style="list-style-type: none">Building heat loss calculations.Building heat transfer piping layouts and specifications.Supplemental heat specifications as required (review fireplace as a heat source).Unit sizes/model numbers/manufacturer for boiler with specifications.Optional Heat exchanger information if required.Pump information and specifications.Zone valve information and specifications.Intake air and exhaust requirements.Boiler piping locations/layout and control specifications.Thermostat submittals and specifications.Flue size/requirements. All exhaust vents to go to roof.Gas pipe size/requirements.High recovery hot water storage tank(s) specifications. Jacketed tank(s) preferred.Optional Snowmelt zones with detailed layouts (if selected by owner)Other pertinent information. <p>Provide complete submittal information, including manufacturer's cut sheets, and obtain Architects approval PRIOR TO ANY WORK.</p> <p>b. Equipment - Manufacturer- Laars/Buderus, Viessmann Vitodens, Triangle Tube, or approved equal natural gas with direct vent flue venting system. Size and number of units in accordance with manufacturer specification and sizing information. Contractor shall submit proposed equipment layout and verify space and clearance requirements with manufacturer prior to framing work by General Contractor. Install in strict accordance with manufacturer's recommended details. Submit complete spec. data PRIOR TO ANY WORK.</p> <p>c. Controls - Manufacturer - Provide all necessary controls for a complete and operational system.</p> <p>d. Zones - Locate thermostats on interior walls near electrical switch plates. Provide heating zones for each floor as shown on the drawings. Provide zone for heat exchanger for hot water storage tank. Verify locations with Owner/Architect prior to installation. Install valve on each side of each zone valve</p> <p>e. Other Mechanical Equipment - Interface boiler(s) with hot water storage tank. Include in the shop drawings. Provide hot water circulating pump with disconnect switch for recirculating system. Install pumps to minimize vibration through structure. Provide submittal for hot water storage sizing. Provide submittal.</p> <p>f. Piping - Copper piping for hot water supply to Wirsbo or equal cross-linked polyethylene tubing and recommended fittings and components.</p> <p>g. Additional Information - Boilers to be installed by certified installer in accordance with manufacturer's recommendations. Insulate all hot water supply and return lines with 1/2" Armaflex insulation or equal. Exhaust vent to run up and exhaust at roof.</p> <p>C. OTHER DUCT WORK - Provide duct work for clothes dryer and range hood vents to exterior. Provide duct work for bathroom and laundry exhaust fans to exterior. Provide duct work as required for combustion air to fireplaces. All ducts to be metal. Provide all duct work within the thermal building envelope with exit through exterior walls as required. Provide submittals as required.</p> <p>D. HUMIDIFIER (Bid Alternate at Master Bath) - Provide and install unit by 'Aplaire' Corporation, (800) 366-9652, or equal as shown on the drawings. Provide model as recommended by manufacturer. Provide programmable humidistat with locking cover and automatic flushing option. Install in sheet metal pan with drain. Provide air intake and outlet grilles for recessed installation. Paint grilles to match wall color and locate humidistats next to wall switches.</p> <p>E. HRV SYSTEM (Bid Alternate) - Provide and install HRV (Heat Recovery Ventilation) system per plans. Coordinate with hot water supply and return from boiler to fan coil ventilation supply. Provide air-to-air heat exchanger at exhaust system and coordinate all controls for automatic operations.</p> <p>XVI. ELECTRICAL:</p> <p>A. GENERAL - The electrical contractor shall provide PRIOR TO ANY WORK electrical load calculations including service one line diagram for Architect approval. In addition, the electrical contractor shall provide panel schedules, equipment information, and complete electrical submittals for the Architect within 30 days of the awarding of the Contract.</p> <p>B. ELECTRIC SERVICE - Provide 120/240 single phase power as approved by Xcel Energy of Colorado. The Contractor shall coordinate this work and pay for the cost of all work from the transformer to the house. The electrical contractor shall pay for electrical permit fee and other required fees and permits, if any. The electrical contractor shall be responsible for running the power from the transformer to the building as approved by the utility company. Provide aluminum service wiring and copper circuit wiring throughout. One electric meter shall be provided.</p> <p>C. ELECTRICAL FIXTURES - Provide outlets, switches and plate covers throughout the project of "Decora" design, with built-in dimmers where shown. Install fixtures per manufacturer's requirements and locate fixtures to illuminate all spaces and all stairways per code requirements. (Verify color with Owner and Interior Designer). Provide new lamps for all fixtures. Provide cut sheets and detailed submittal for Architect approval prior to ordering any materials. Provide ceiling fans as shown and as verified with Owner. See cash allowances.</p> <p>All recessed cans within thermal envelope to be low temperature sealed units.</p> <p>See room finish schedules for additional information.</p> <p>D. OPTIONAL PROGRAMMABLE LIGHTING SYSTEM - Consult with Owner to provide submittal for scope of programmable lighting system.</p> <p>E. TELEPHONE SYSTEM - Provide for three separate incoming lines (one dedicated line for computer modem/fax machine). Provide separate line from each telephone to central system control panel. Verify with Owner. Per Qwest representative (970) 940-4530. Confirm before installing. Provide structured bundled cable for all telephone and T.V. outlet locations. (See F. below.) All phones to home run to phone/TV panel.</p> <p>F. CABLE TV - Install as shown on plans and per local Cable Company requirements. Provide structural bundled cable to each T.V. outlet. Structural cable shall include (2) CATV runs and (2) RG6 coaxial cables. Installation to be complete and ready for turn on by Cable T.V. operator at request of Owner. All cable to home run to phone/TV panel.</p> <p>G. HOME ENTERTAINMENT/SOUND/INTERCOM/STEREO SYSTEM - Provide submittal for Architect's review from Owner's selection of pre-wire as available through contractor approved by Owner. Supplier to meet with Owner prior to submittal. Coordinate with telephone and cable T.V. systems.</p> <p>H. WIRELESS INTERNET - Verify with Owner. As approved by Owner, provide complete wireless Internet system for entire home. Provide submittal. Provide conduit for satellite dish installation from south roof area to telephone/T.V. control board.</p> <p>I. OTHER EQUIPMENT - Special Outlets - see drawings Door Bells - see drawings Smoke Detectors/Carbon Monoxide - Shall be installed in all sleeping rooms and all other locations as indicated on drawings. Equipment shall be wired into building electrical system and also contain battery backup per code requirements. Install batteries and test all detectors prior to project completion. Smoke detection system engineered and designed by electrical subcontractor and approved by local jurisdiction.</p> <p>J. SECURITY, FIRE, and LOW TEMPERATURE PROTECTION - Provide submittal for Architect's review from Owner's selection of security system with motion detectors and integrated low temperature alarm and heat detected fire monitoring system. Coordinate with "Water Cop" motorized water valve system if included in project.</p> <p>K. SATELLITE DISHES - Verify with Owner. Owner shall coordinate installation requirements with Contractor. Contractor to provide in his base bid PVC conduit from dish location to A/V equipment location at central control panel. See roof plan for location.</p> <p>L. BATH & LAUNDRY EXHAUST FANS - Panasonic "Whisper Lite" ceiling mounted fan or fan/light combination. Some rating to 1.5 or less. Provide submittal along with other electrical fixtures.</p> <p>M. WATERPROOF OUTLETS - Provide GFI protected exterior electrical outlets in soffits or roof headwalls and at all downspout nozzles as shown on the plans for future heat tape installation.</p> <p>N. HEAT CABLE - If provided, provide "Sno-Trace" No. RGS-1 by Thermon, (800) 730-4328, or equal, to be coordinated for installation with gutters, and thermostatically controlled downspouts, as located on the plans.</p> <p>O. OPTIONAL SOLAR PHOTOVOLTAIC SYSTEM (Bid Alternate) - 'SX 320P BP Solar (www.bpsolar.us) 200 watt high efficiency photovoltaic module solar panels and all related equipment. Provide Bronze anodized aluminum frame and 25 year limited warranty. Provide inverter module and connection to electrical panel. Provide roof mounted frame per approval of Architect. Install in strict accordance with manufacturer's recommendations. Available through Innovative Energy. Verify and confirm all options with Owner. Provide submittal</p> <p>P. ADDITIONAL INFORMATION - Installation of all electrical work shall comply with all local codes, rules and regulations and the latest edition of the National Electrical Code. Install site cable TV and telephone per Xcel Energy shared utility trench agreement.</p>
	<p>REVISIONS:</p> <p>JOB NO: 61515 DATE: 05/02/16 DRAWN BY: Jbouxkemper</p> <p>CHECKED BY: mhoux</p> <p>©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION</p> <p>RE-ISSUED FOR PERMIT</p> <p>RECKENRIDGE, CO 80424 (970) 453-8880</p> <p>160 EAST ADAMS</p> <p>MC CREREY - TWO CABINS</p> <p>LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO</p> <p>© 2016</p> <p>SHEET NUMBER:</p> <p>A5.2</p> <p>OF: 13</p>			

MECH. / ELECT. SYMBOLS

	SINGLE RECEPTACLE OUTLET		SWITCH, SINGLE
	DOUBLE RECEPTACLE OUTLET		SWITCH, MULTIPLE WAY
	DOUBLE RECEPTACLE OUTLET - WATERPROOF		DIMMER, SINGLE
	DOUBLE RECEPTACLE OUTLET - 220 VOLT		DIMMER, MULTIPLE WAY, ETC.
	DOUBLE RECEPTACLE OUTLET w/GROUND FAULT INTERRUPTER		TRACK LIGHTING SYSTEM
	DUPLEX OUTLET, SWITCHED TOP HALF		SURFACE MOUNT FLUORESCENT SPECIFY LENGTH (INCHES)
	FOURPLEX OUTLET		UNDER COUNTER FLUORESCENT SPECIFY LENGTH (INCHES)
	FOURPLEX OUTLET FAX/COMPUTER DEDICATED		CEILING MOUNTED LIGHT FIXTURE (FLUSH)
	DUPLEX FLOOR OUTLET (FLUSH MOUNT)		WALL MOUNTED LIGHT FIXTURE
	FLOOR OUTLET 220 VOLT		RECESSED DOWNLIGHT (EYEBALL)
	CEILING OUTLET (FLUSH MOUNT)		RECESSED DOWNLIGHT LOW VOLTAGE (SEALED)
	SPECIAL PURPOSE OUTLET (DISHWASHER, MICRO, REF.)		DISK UNDER CAB. LIGHT
	TELEPHONE 1'-0" AFF. U.N.O.		EXHAUST FAN (RECESSED)
	TELEPHONE (FLUSH MOUNT)		HEAT LAMP
	HALOGEN FLEX STRIP		MONO POINT LIGHT
	DEDICATED LINE FOR FAX OR MODEM		COMBO LIGHT FIXTURE/EXHAUST FAN (RECESSED)
	SPRINKLER HEAD		GARAGE DOOR OPENER WITH LIGHT
	THERMOSTAT, SPECIFY ZONE		WIRING
	TELEVISION OUTLET CATV		FIRE ALARM HORN
	STEREO SPEAKER OUTLET		FIRE ALARM PULL STATION
	PUSH BUTTON DOOR BELL		DESTRATIFICATION FAN, SPECIFY SIZE (INCHES)
	PUSH BUTTON FOR GARAGE		FLUSH MOUNT ELECTRIC PANEL BOARD
	DOOR BELL CHIMES		SURFACE MOUNT ELECTRIC PANEL BOARD
	PHOTO ELECTRIC CELL FIXTURE		HOSE BIB (FREEZE PROOF)
	MOTOR		GAS VALVE
	TRANSFORMER		JUNCTION BOX
	GARBAGE DISPOSAL		MOTION LIGHT
	SMOKE DETECTOR		

LETTER DESIGNATIONS (FOR ANY SYMBOL)
AFF - ABOVE FINISH FLOOR
FBO - FINISH BY OTHERS
NIC - NOT IN CONTRACT
SM - SURFACE MOUNTED
UPF - WEATHERPROOF
UNO - UNLESS NOTED OTHERWISE

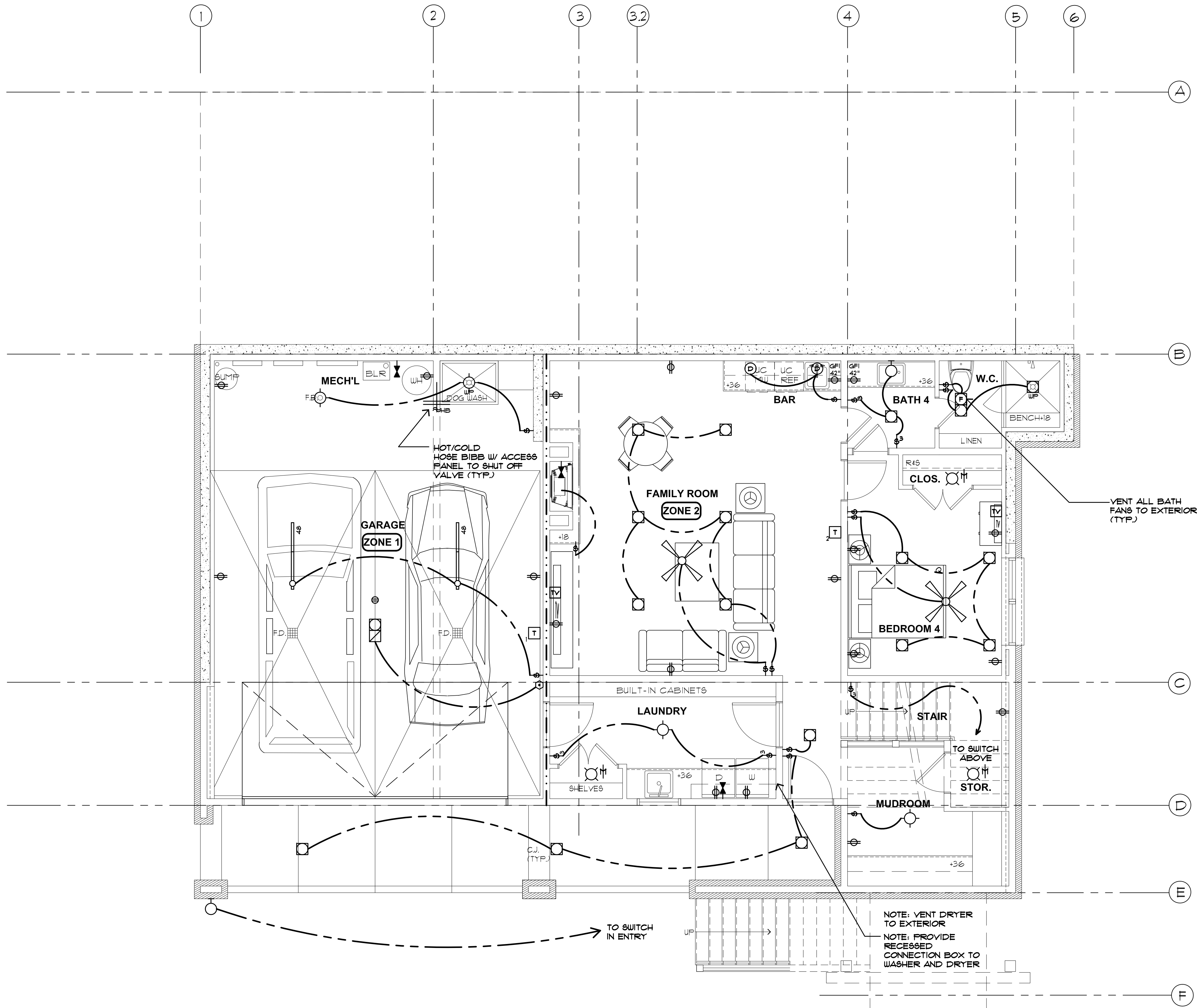
RADON MITIGATION NOTES

FOR ALL ON-GRADE SLABS

1. 4 INCH PERFORATED DRAIN PIPE PLACED ALONG AND INSIDE OF FOOTINGS IN GRAVEL NEAR EDGE WHERE SLABS ARE POURED.
BOTH ENDS OF PIPE WILL CONNECT TO A 4 INCH PVC TEE THAT WILL BE EXTENDED WITH 4 INCH PVC ABOVE SLAB.
2. 4 INCH PVC WILL BE EXTENDED FROM SLAB TO AND ABOVE ROOF WITH A VENT CAP INSTALLED. (PAINT)
3. A STANDARD ELECTRICAL OUTLET WILL BE INSTALLED NEAR PVC PIPE AT SLAB LEVEL FOR FAN IF NEEDED IN FUTURE.

HEATING ZONES

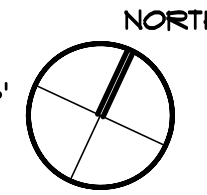
LOWER LEVEL
ZONE 1 = GARAGE, MECHANICAL
ZONE 2 = FAMILY ROOM, BAR, BATH 4, W.C. CLOSET, BEDROOM 4, STORAGE, MUDROOM, LAUNDRY
MAIN LEVEL
ZONE 3 = DINING, GREAT ROOM, KITCHEN, PANTRY, BATH 2
ZONE 4 = ENTRY, COATS, POWDER, BATH 3, CLOSET, BEDROOM 2, CLOSET, BEDROOM 3
ZONE 5 = MASTER BATH, W.C.
ZONE 6 = MASTER BEDROOM, MASTER CLOSET



LOWER LEVEL MECHANICAL/ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

0' 2' 4' 8'



REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: SMH
CHECKED BY: mhox

©2016 THIS DRAWING IS COPYRIGHTED AND SHALL NOT BE REPRODUCED WITHOUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR PERMIT

MC CREERY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880

© 2016

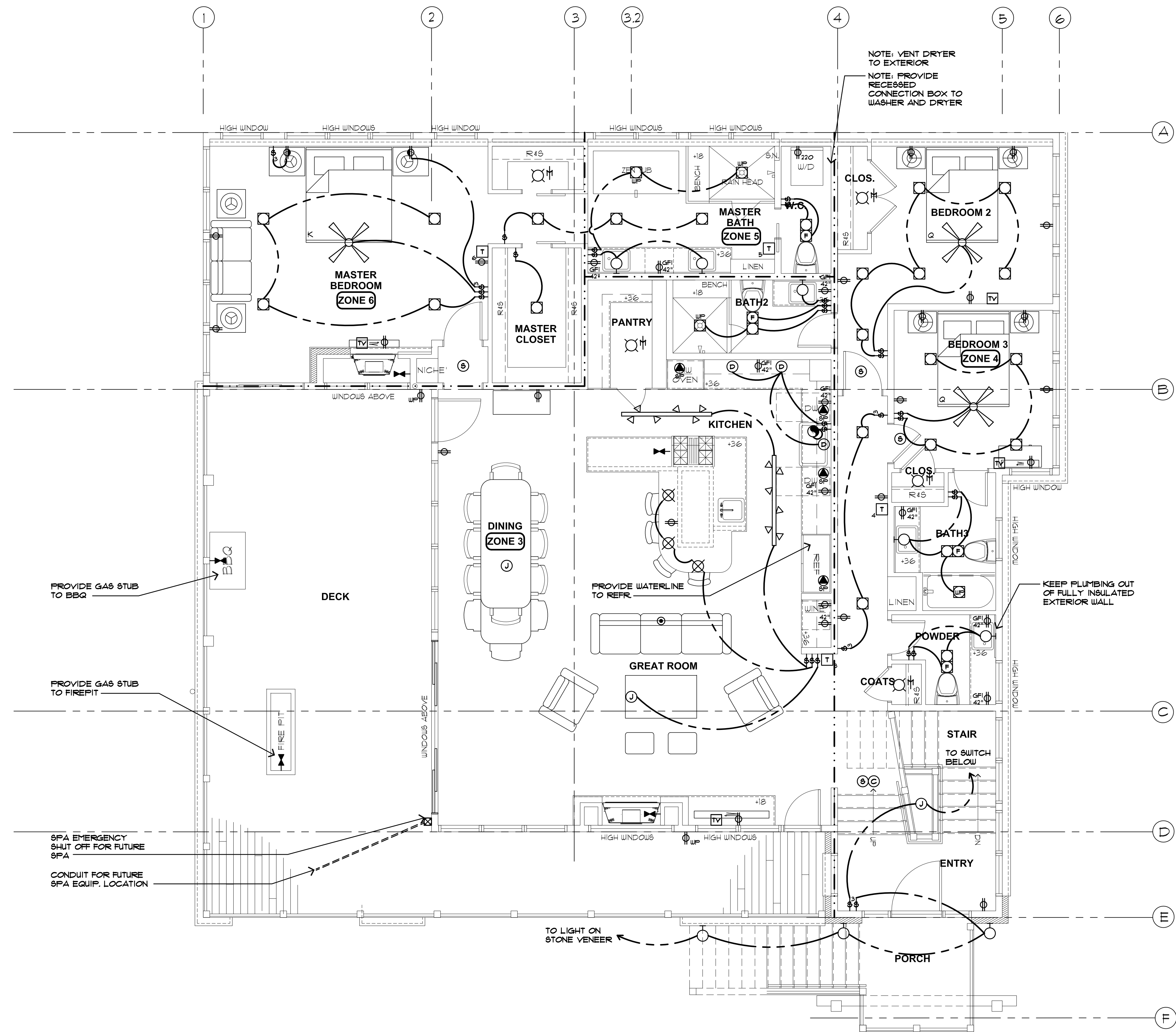
SHEET NUMBER:

ME1.1

OF: 2

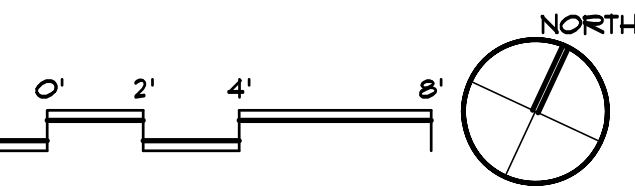
HEATING ZONES

LOWER LEVEL:
ZONE 1 = GARAGE, MECHANICAL
ZONE 2 = FAMILY ROOM, BAR, BATH 4, W.C. CLOSET, BEDROOM 4,
STORAGE, MUDROOM, LAUNDRY
MAIN LEVEL:
ZONE 3 = DINING, GREAT ROOM, KITCHEN, PANTRY, BATH 2
ZONE 4 = ENTRY, COATS, POWDER, BATH 3, CLOSET, BEDROOM 2,
CLOSET, BEDROOM 3
ZONE 5 = MASTER BATH, W.C.
ZONE 6 = MASTER BEDROOM, MASTER CLOSET



MAIN LEVEL MECHANICAL/ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



REVISIONS:

JOB NO: 61515
DATE: 05/02/16
DRAWN BY: SMH
CHECKED BY: mhox

©2016 THIS DRAWING IS COPYRIGHTED
AND SHALL NOT BE REPRODUCED WITH-
OUT ARCHITECT'S WRITTEN PERMISSION

RE-ISSUED FOR:
PERMIT

MC CREERY - TWO CABINS
LOT 112 FILING 1 EAGLES NEST SUBDIVISION, 180 TWO CABINS DRIVE, SILVERTHORNE, COLORADO

bhh Partners
P.O. BOX 931 160 EAST ADAMS
BRECKENRIDGE, CO 80424 (970) 453-6880

© 2016

SHEET NUMBER:

ME1.2

OF: 2