

REVISION NUMBER

DOOR REFERENCE

WINDOW CALLOUT

DETAIL REFERENCE

ELEVATION REFERENCE

SECTION REFERENCE

ELEVATION DIRECTION

ROOM NAME

NORTH ARROW

ROOF DIRECTION

INTERIOR DIRECTION

CONTINUOUS

CENTERLINE

PROPERTY LINE

0'-0" HH

NAME 100.00'

100.00'

D \ ##/A-#.# B

→ 100.00' TOP OF FLOOR

419 Hazeltine

Abbreviations

CHAM CR CIRC

CLR

CLS

COL

COMPT

CHAMFER

CIRCLE

COLUMN

CHROMIUM -PLATED

CIRCUMFERENCE

CLEAR -ANCE

COMBINATION

COMPARTMENT

Apprev	lations				
4	ANGLE	COMPO	COMPOSITION	FHS	FIRE HOSE STATION
ŧ.	CENTERLINE	COMP	COMPRESS -ED -ION -IBLE	FPL	FIREPLACE
3	CHANNEL	CONC	CONCRETE	FP	FIREPROOF
d	PENNY	CMU	CONCRETE MASONRY UNIT	FRC	FIRE-RESISTANT COATING
L	PERPENDICULAR	CX	CONNECTION	FRT	FIRE-RETARDANT
PL	PLATE	CONST	CONSTRUCTION	FLG	FLASHING
Ø	ROUND OR DIAMETER	CONT	CONTINUOUS OR CONTINUE	FHMS	FLATHEAD MACHINE SCREW
	SQUARE	CONTR	CONTRACT -OR	FHWS	FLATHEAD WOOD SCREW
	SQUARE FOOT	CLL	CONTRACT TIME LINE	FLX	FLEXIBLE
	340,11121331	CJT	CONTROL JOINT	FLR	FLOOR -ING
ABV	ABOVE	CPR	COPPER	FLCO	FLOOR CLEANOUT
AFF	ABOVE FINISHED FLOOR	CG	CORNER GUARD	FD	FLOOR DRAIN
ASC	ABOVE SUSPENDED CEILING	CORR	CORRUGATED	FPL	FLOOR PLATE
ACC	ACCESS	CTR	COUNTER	FLUR	FLUORESCENT
ACFL	ACCESS FLOOR	CFL	COUNTER FLASHING	FJT	FLUSH JOINT
AP	ACCESS PANEL	CS	COUNTER SINK	FTG	FOOTING
AC	ACOUSTICAL	CTSK	COUNTER SINK SCREW	FRG	FORGED
ACPL	ACOUSTICAL PLASTER	CRS	COURSE -S	FND	FOUNDATION
ACT	ACOUSTICAL TILE	CRG	CROSS GRAIN	FR	FRAME -D -ING
ACR	ACRYLIC PLASTER	CFT	CUBIC FOOT	FRA	FRESH AIR
ADD		CYD	CUBIC YARD	FS	FULL SIZE
ADH	ADDENDUM ADHESIVE	CTD	CUDIC TARD	FBO	FURNISHED BY OTHERS
		DDD	DAMDED	FUR	FURRED -ING
ADJ	ADJIACENT	DPR	DAMP PROCEING	FUT	FUTURE
ADJT	ADJUSTABLE	DP	DAMP PROOFING	FUI	FUTURE
AGG	AGGREGATE	DL	DEAD LOAD	C 4	CACE CALICE
A/C	AIR CONDITIONING	DEM	DEMOLISH, DEMOLITION	GA	GAGE, GAUGE
ALT	ALTERNATIVE	DMT	DISMOUNTABLE	GV	GALVANIZED
AL	ALUMINUM	DEP	DEPRESSED	GI	GALVANIZED IRON
ANC	ANCHOR / ANCHORAGE	DTL	DETAIL	GP	GALVANIZED PIPE
AB	ANCHOR BOLT	DIAG	DIAGONAL	GSS	GALVANIZED STEEL PLATE
ANOD	ANODIZED	DIAM	DIAMETER	GKT	GASKET ED
APX	APPROXIMATE	DIM	DIMENSION	GC	GENERAL CONTRACT -OR
AD	AREA DRAIN	DPR	DISPENSER	GL	GLASS / GRADING
ASB	ASBESTOS	DIV	DIVISION	GLB	GLASS BLOCK
ASPH	ASPHALT	DR	DOOR	GLF	GLASS FIBER
AT	ASPHALT TILE	DA	DOUBLEACTING	GCMU	GLAZED CONCRETE MASONR
AUTO	AUTOMATIC	DH	DOUBLE HUNG	UNITS	
		DTA	DOVETAIL ANCHOR	GST	GLAZED STRUCTURAL TILE
3P	BACK PLASTER -ED	DTS	DOVETAIL ANCHOR SLOT	GB	GRAB BAR
BSMT	BASEMENT	DS	DOWNSPOUT	GD	GRADE, GRADING
3RG	BEARING	D	DRAIN	GRN	GRANITE
3PL	BEARING PLATE	DRB	DRAINBOARD	GVL	GRAVEL
3JT	BED JOINT	DT	DRAIN TILE	GF	GROUND FACE
3M	BENCH MARK	DWR	DRAWER	GT	GROUT
BEL	BELOW	DWG	DRAWING	GPDW	GYPSUM DRY WALL
BET .	BETWEEN	DF	DRINKING FOUNTAIN	GPL	GYPSUM LATH
3VL	BEVELED	DW	DUMBWAITER	GPPL	GYPSUM PLASTER
3IT	BITUMINOUS			GPT	GYPSUM TILE
BLK	BLOCK	EF	EACH FACE		
BLKG	BLOCKING	E	EAST	HH	HANDHOLE
3D	BOARD	ELEC	ELECTRIC -AL	HBD	HARDBOARD
3S	BOTH SIDES	EP	ELECTRICAL PANELBOARD	HDW	HARDWARE
3W	BOTH WAYS	EWC	ELECTRICAL WATER COOLER	HWD	HARDWOOD
3.0.	BOTTOM OF	EL	ELEVATION	HJT	HEAD JOINT
3.0. PAR.	BOTTOM OF PARAPET	ELEV	ELEVATOR	HDR	HEADER
BOT	BOTTOM	EMER	EMERGENCY	HTG	HEATING
BRK	BRICK	ENC	ENCLOSE -URE	HVAC	HEATING / VENTILATION
BRZ	BRONZE	EQ	EQUAL		/ AIR CONDITIONING
BLDG	BUILDING	EQP	EQUIPMENT	HD	HEAVY DUTY
BUR	BUILT-UP ROOFING	ESC	ESCALATOR	HT	HEIGHT
BBD	BULLETIN BOARD	EST	ESTIMATE	HX	HEXAGONAL
	B 0 2 2 2 7 11 1 B 0 7 11 1 B	EXCA	EXCAVATE	HES	HIGH EARLY-STRENGTH CEM
CAB	CABINET	EXH	EXHAUST	HC	HOLLOW CORE
CAD	CADMIUM	EXG	EXISTING	HM	HOLLOW METAL
CPT	CARPET -ED	EXMP	EXPANDED METAL PLATE	HK	HOOK -S
CSMT	CASEMENT	EB	EXPANSION BOLT	HOR	HORIZONTAL
CI	CAST IRON	EXP	EXPOSED	HB	HOSE BIB
CIPC	CAST-IN-PLACE CONCRETE	EXT	EXTERIOR	HWH	HOT WATER HEATER
CST	CAST STONE	EXS	EXTRA STRENGTH	ПИМП	HOT WATER HEATER
		EVO	EXTRASTRENGTH	INICINI	INCINEDATOR
CB CK	CATCH BASIN	FB	EVCE BDICK	INCIN	INCINERATOR
CK	CALK -ING / CAULK -ING		FACE OF CONCRETE	INCL	INCLUDE -D -ING
CLG	CEILING	FOC	FACE OF CONCRETE	ID	INSIDE DIAMETER
CHT	CEILING HEIGHT	FOF	FACE OF MASONEY	INS	INSULATE -D -ION
CEM	CEMENT	FOM	FACE OF MASONRY	INSC	INSULATING CONCRETE
PCPL	CEMENT PLASTER / PORTLAND	FOS	FACE OF STUD	INSF	INSULATING FILL
CM	CENTIMETER -S	FF	FINISHED FLOOR	INT	INTERIOR
CER	CERAMIC	FAS	FASTEN / FASTENER	ILK	INTERLOCK
CT_	CERAMIC TILE	FN	FENCE	INTM	INTERMEDIATE
CMT	CERAMIC MOSAIC	FBD	FIBERBOARD	INV	INVERT
CHBD	CHALKBOARD	FGL	FIBERGLASS	IPS	IRON PIPE SIZE
CHAM	CHAMEER	FIN	FINISH -FD		

FINISH -ED

FIRE ALARM

FIRE BRICK

FA

FINISHED FLOOR ELEVATION

FIRE EXTINGUISHER CABINET

FINISHED FLOOR LINE

FIRE EXTINGUISHER

KCPL	KEENE'S CEMENT PLASTER	PAR
KPL	KICKPLATE	PK
KIT	KITCHEN	PBD
KO	KNOCKOUT	PTN
		PV
LBL	LABEL	PVMT
LAB	LABORATORY	PED
LAD	LADDER	PERF
LB	LAD BOLT	PERI
LAM	LAMINATE -D	PLAS
LAV	LAVATORY	P-LAM
LH	LEFT HAND	PL

:W	LAB	LABORATORY
	LAD	LADDER
	LB	LAD BOLT
	LAM	LAMINATE -D
	LAV	LAVATORY
	LH	LEFT HAND
	L	LENGTH
	LT	LIGHT
	LC	LIGHT CONTROL
	LP	LIGHTPROOF
	LW	LIGHTWEIGHT
	LWC	LIGHTWEIGHT CON
	LMS	LIMESTONE
	LTL	LINTEL
	LL	LIVE LOAD
	LVR	LOUVER
	LPT	LOW POINT
	MB	MACHINE BOLT
	MI	MALLEABLE IRON
	MH	MANHOLE
	MFR	MANUFACTURE -
	MRB	MARBLE
	MAS	MASONRY
Ē	MO	MASONRY OPENIN
	MTK	MATERIAL -S
	MAX	MAXIMUM
	MECH	MECHANIC -AI

	IVIII	IVIAINTULE
	MFR	MANUFACTURE -ER
	MRB	MARBLE
	MAS	MASONRY
PLATE	MO	MASONRY OPENING
	MTK	MATERIAL -S
T -OR	MAX	MAXIMUM
	MECH	MECHANIC -AL
	MC	MEDICINE CABINET
	MED	MEDIUM
MASONRY	MBE	MEMBER
	MMB	MEMBRANE
AL TILE	MET	METAL
	MFD	METAL FLOOR DECKING
	MTFR	METAL FURRING
	MRD	METAL ROOF DECKING
	MEHR	METAL THRESHOLD
	M	METER -S
	MM	MILLIMETER
	MWK	MILLWORK
	MIN	MINIMUM
	MIR	MIRROR

•••	
ASTER	MIR
E	MISC
	MOD
	MLD
)	MR
,	MT
	MOV
	MULL
	NL
ENTILATION	NAT
DITIONING	NI
/	NR
	NRC
	NOM
-STRENGTH CEMENT	NMT
RE	N
TAL	NIC
.IAL	NTS
	IVIO
_	000
	OBS
HEATER	OC

OLLOW CORE IOLLOW METAL OOK -S	N
ORIZONTAL OSE BIB	C
IOT WATER HEATER	C
NCINERATOR NCLUDE -D -ING NSIDE DIAMETER NSULATE -D -ION NSULATING CONCRETE NSULATING FILL NTERIOR NTERLOCK NTERMEDIATE IVERT	

JOINT FILLER

JANITOR'S CLOSET PNL JOINT PB

NOT IN CONTRACT NOT TO SCALE OBSCURE ON CENTER -S OPAQUE OPENING **OPEN-WEB JOIST** OPPOSITE OPPOSITE HAND OPPOSITE SURFACE OUTSIDE DIAMETER OVAL-HEAD MACHINE SCREW OVAL-HEAD WOOD SCREW OVERALL OVERHEAD PAINT -ED PANEL

PANIC BAR

PAPER TOWEL DISPENSER

PAPER TOWEL RECEPTOR

PTD

PTR

MISCELLANEOUS

MOP RECEPTOR

MOUNT -ED -ING

NOISE REDUCTION

NOISE REDUCTION COEFFICIENT

MOLDING, MOULDING

MODULAR

MOVABLE

MULLION

NAILABLE

NATURAL

NICKEL

NOMINAL

NONMETALLIC

RIGHT HAND RIGHT OF WAY RISER RVT RIVET RD **ROOF DRAIN** RFH **ROOF HATCH** RFG ROOFING ROOM **ROUGH OPENING** RUBBER BASE RUBBER TILE RUBBER STONE SFGL SCH SCN SAFETY GLASS SCHEDULE SCREEN SNT SEALANT STG SEATING SECTION SSK SERVICE SINK SHEATHING SHEET SHEET GLASS SHELF / SHELVING SHO SIM SHORE -D -ING SIMILAR SKYLIGHT SLEEVE SOLID CORE SOUNDPROOF

SPACER

SPEAKER

SPECIFICATION -S

STAINLESS STEEL

SOLAR REFLECTANCE INDEX

SPECIAL

SQUARE

STANDARD

SST

STD

PARKING

PAVEMENT

PLASTER PLASTIC LAMINATE

PLATE GLASS

PREFINISHED

QUARRY TILE

RADIUS

RAIL -ING

REFERENCE

REGISTER

REMOVE

RETURN

RESILIENT

RETURN AIR

REVERSE-SIDE

REVISION -S / REVISED

REFRIGERATOR

REINFORCE -D, -ING

PROPERTY LINE

RABBET, REBATE

PRESTRESSED CONCRETE

RAINWATER CONDUCTOR

REFLECT -ED -IVE -OR

REINFORCED CONCRETE PIPE

PSC

RAD

RWC

RCP

REM

RES RET

POLYVINYL CHLORIDE

PERFORATE -D

PARTICLE BOARD

STORAGE STORM DRAIN STRUCTURAL STRUCTURAL CLAY TILE SUSPENDED SYMMETRY -ICAL SYNTHETIC **TACKSTRIP** TELEPHONE **TELEVISION** TERRA COTTA

STEEL

THICK -NESS THRESHOLD **TOILET PARTITION TOILET PAPER DISPENSER** TOLERANCE TOP OF LIGHT WEIGHT CONCRETE T.O.P. T.O. PAR. T.O.S. T&G T.O. ST. T.O.W.

TOP OF CURB TOP OF EYEBROW TOP OF PLATE TOP OF PARAPET TOP OF SLAB **TONGUE AND GROOVE** TOP OF STEEL TOP OF WALL TOWEL BAR TRANSOM TREAD **TYPICAL** UNDERCUT

VRM

VERT

VOC

WTW

WD

WIN

W/O

UNFINISHED URINAL V-JOINT -ED VAPOR BARRIER VARNISH VENEER VERMICULITE VERTICAL VERTICAL GRAIN VINYL VINYL BASE VINYL FABRIC

VOLATILE ORGANIC COMPOUND VINYL TILE WAINSCOT WALL TO WALL WALL HUNG WATER CLOSET WATERPROOFING WATER REPELLENT

WATERSTOP WELDED WIRE FABRIC WEST WHEEL BUMPER WIDTH, WIDE WINDOW WIRED GLASS WIRE MESH WITHOUT WOOD WOOD BASE WROUGHT IRON

Building Codes:

	3
•	INTERNATIONAL BUILDING CODE - 2015 EDITION
•	INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY
	DWELLINGS - 2015 EDITION, INCLUDING APPENDICES J, O, U.
•	UNIFORM PLUMBING CODE - 2015 EDITION OR AS ADOPTED BY THE SERVICE
	PROVIDER.
•	INTERNATIONAL MECHANICAL CODE - 2015 EDITION
•	NATIONAL ELECTRICAL CODE - 2014 EDITION
•	INTERNATIONAL ENERGY CONSERVATION CODE - 2015 EDITION
•	INTERNATIONAL FIRE CODE - 2015 EDITION AS AMENDED BY TRAVIS COLINTY

INTERNATIONAL FIRE CODE - 2015 EDITION AS AMENDED BY TRAVIS COUNTY

EMERGENCY SERVICE DISTRICT NO. 6 OR NO. 8 • INTERNATIONAL FUEL GAS CODE - 2015 EDITION

• INTERNATIONAL EXISTING BUILDING CODE - 2015 EDITION • INTERNATIONAL PROPERTY MAINTENANCE CODE - 2015 EDITION

Project Information:

URISDICTION:	CITY OF LAKEWAY, TEXAS
ROJECT ADDRESS:	419 Hazeltine Drive, Lakeway,
SSESSOR'S PARCEL#:	Texas 78734
ITE AREA:	7,900 SF
LDG. FOOTPRINT AREA:	3,048 SF
OCCUPANCY GROUP CLASS:	RESIDENTIAL GROUP R3

CONSTRUCTION TYPE: TYPE V SUBDIVISION: BLOCK LOT:

Building Department Notes:

Deferred Submittals:

Project Team:

BUILDER	SEAMLESS RESIDENTIAL 1, LLC 610 LADIN LANE, LAKEWAY, TX 78734 P 512.656.4880 E reggie@icowart.com
DESIGNER:	SOUTHWEST DESIGN STUDIO, INC. 3824 CEDAR SPRINGS RD. #801-5064 DALLAS, TX 75219 P 512.636.4030

SURVEYOR: WINDROSE SURVEYING 4120 COMMERCIAL CENTER DRIVE, SUITE 300 AUSTIN, TX 78744 512.326.2100

STRUCTURAL ENGINEER:

FELDT CONSULTING ENGINEERS, INC. 10601 PECAN PARK BLVD. #301B AUSTIN, TX 78758 512.583.1399 ben@feldtconsulting.com

steve@sw-ds.com

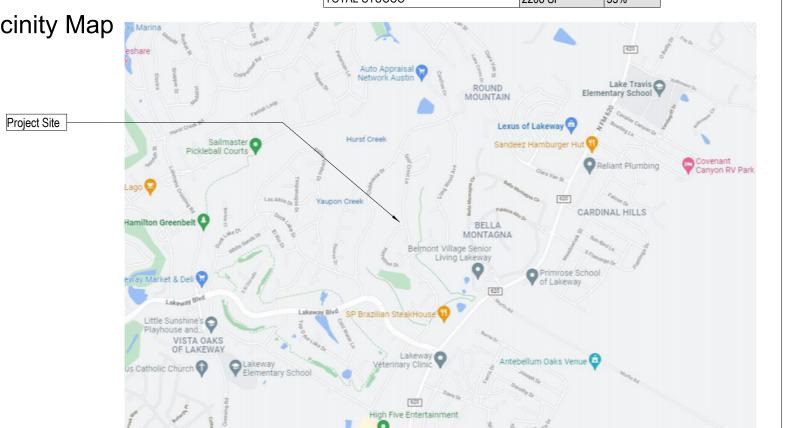
Sheet Index **Drawing Legend**

419 Hazeltine Drive, Lakeway, Texas 78734

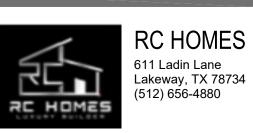
Officer frack		
Sheet Number	Sheet Name	
A-0.0	Cover	
A-0.1	Site Plan	
A-0.2	Tree Protection	
A-1.0	Floor Plans	
A-2.0	Roof Plan	
A-3.0	Elevations	
A-3.1	Elevations	
A-4.0	Sections	
A-5.0	Interior Elevations	
A-6.0	Foundation Plan	
E-1.0	Electrical Plans	
R-1.0	3D Renders	
SQUARE FOOTAGES		

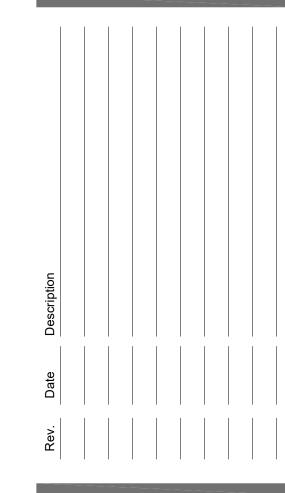
SQUARE FOOTA	GES
Description	Area
1st Flr. A/C	2071 SF
2nd Flr. A/C	1588 SF
Total AC	3659 SF
Garage	791 SF
Patio	33 SF
Porch	56 SF
Total Slab	3048 SF
Total Frame	4662 SF

MATERIAL CHART			
Material	Area	%	
ront			
lardie Siding	475 SF	12%	
tucco Siding	229 SF	6%	
vailable Front Wall	704 SF		
eft			
lardie Siding	153 SF	4%	
tucco Siding	824 SF	21%	
vailable Left Wall	977 SF		
lear			
lardie Siding	278 SF	7%	
tucco Siding	812 SF	21%	
vailable Rear Wall	1090 SF		
tight			
lardie Siding	777 SF	20%	
tucco Siding	342 SF	9%	
vailable Right Wall	1119 SF		
overall Wall area	3890 SF		
OTAL SIDING	1815 SF	45%	
OTAL STUCCO	2208 SF	55%	



Southwest Design Studio, Inc.





Hazeltine 0

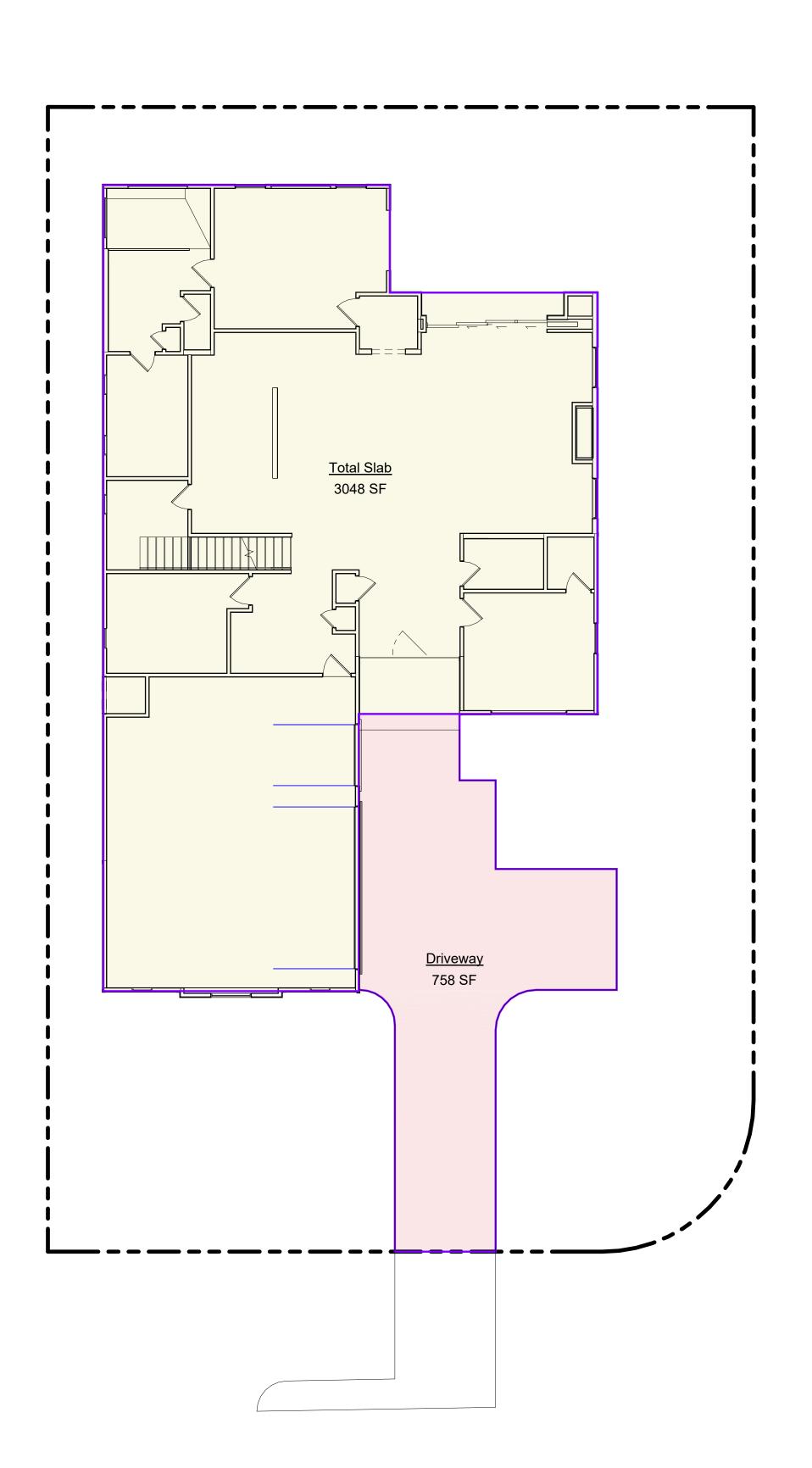
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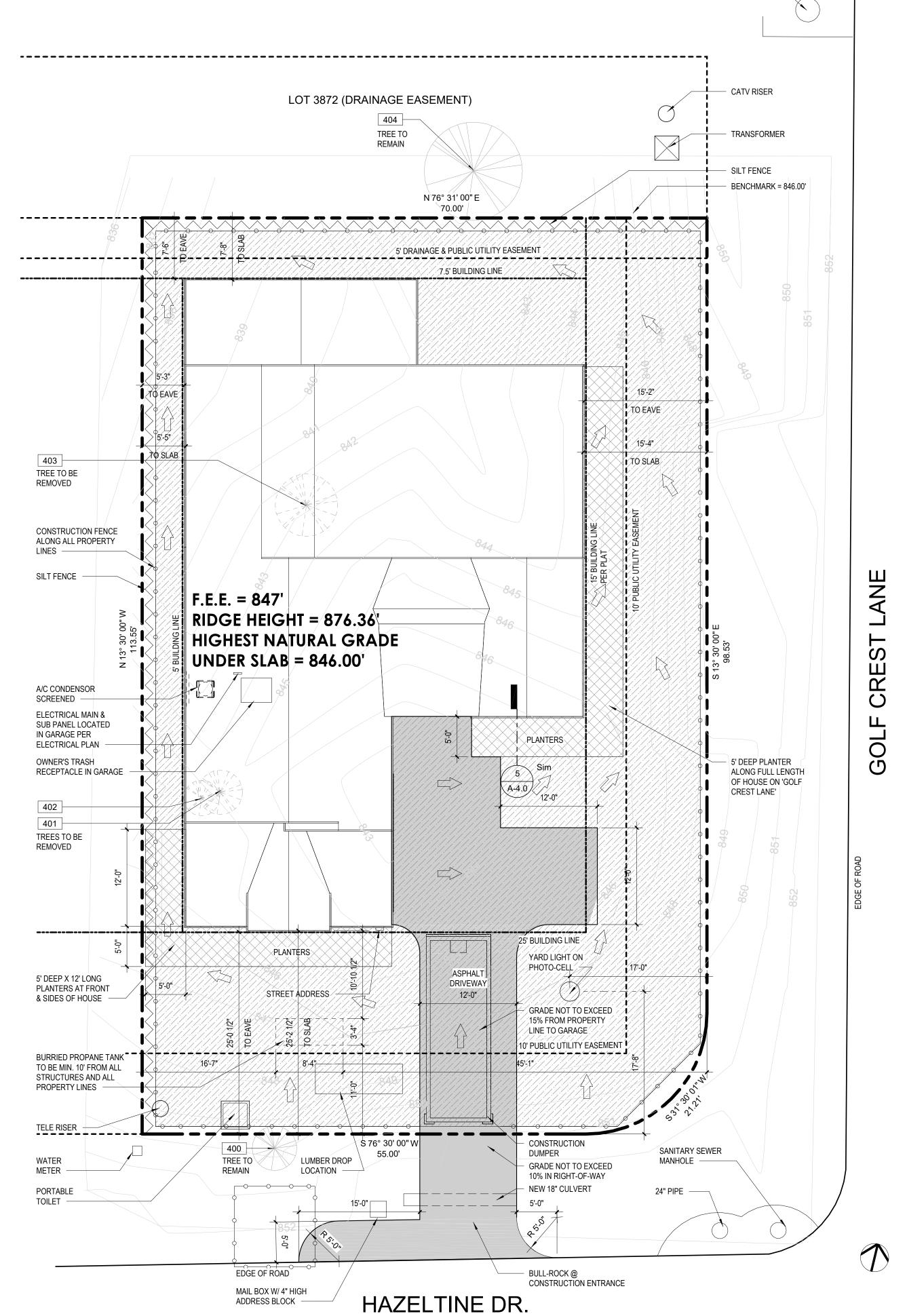
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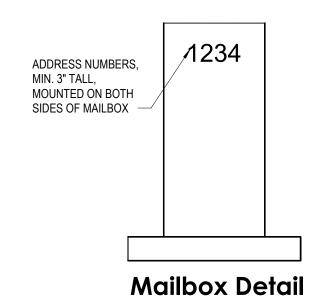
SHEET NAME: Cover

SHEET NUMBER:



2 Impervious Cover 1/8" = 1'-0"

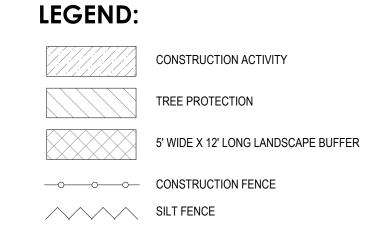




NOTE:

DRAINAGE WILL NOT ADVERSELY IMPACT ADJOINING LOTS. DRAINAGE EXITING THE LOT ONTO AN ABUTTING PROPERTY WILL BE DIRECTED TO A COMMON PROPERTY PIN.

Impervious	Cover
Name	Area
Lot Area	7900 SF
Total Slab	3048 SF
Driveway	758 SF
Total Coverage	3805 SF
Impervious Cover	47.9%



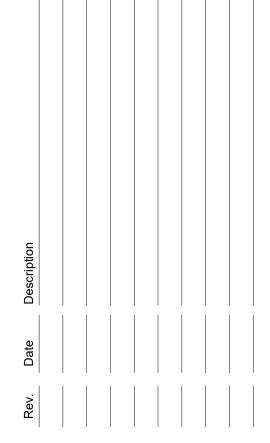
	Tree Schedule		
Tree No.	Species	Size	Remarks
400	Oak	10"	To remain
401	Oak	11"	To be removed
402	Oak	8"	To be removed
403	Oak	14"	To be removed
404	Multi-trunk oak	22"	To remain

Lakeway, TX 78734 (512) 656-4880

Southwest Design Studio, Inc.

3821 Tordera Drive Austin, Texas 78738

512.636.4030 www.sw-ds.com



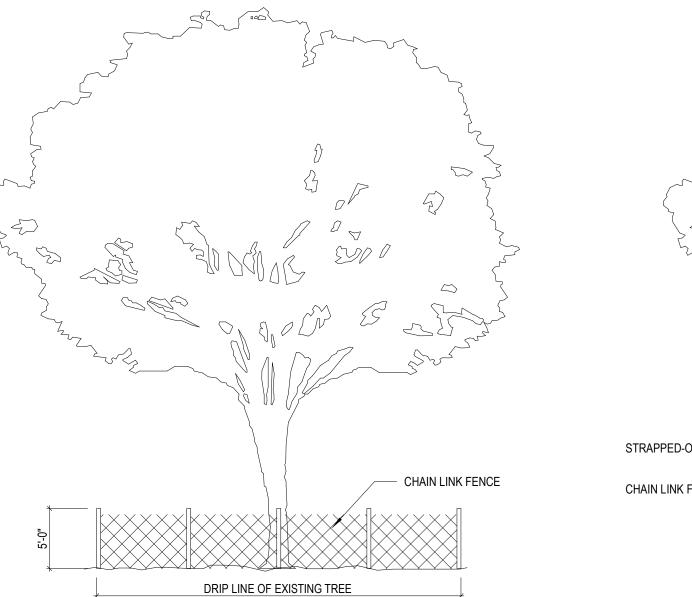
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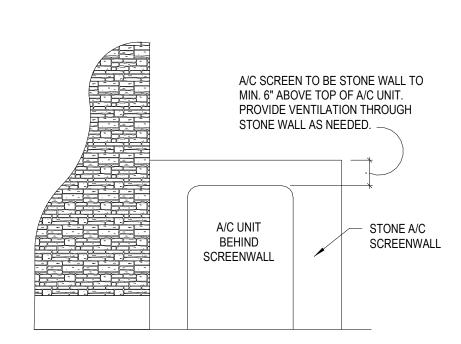
6/15/2022 3:55:43 PM PLOT DATE: PROJECT NUMBER: Project Number DRAWN BY: Author CHECKED BY: Checker

SHEET NAME: Site Plan

CITY OF LAKEWAY TREE PROTECTION NOTES CHAIN LINK FENCE TO DRIP LINE

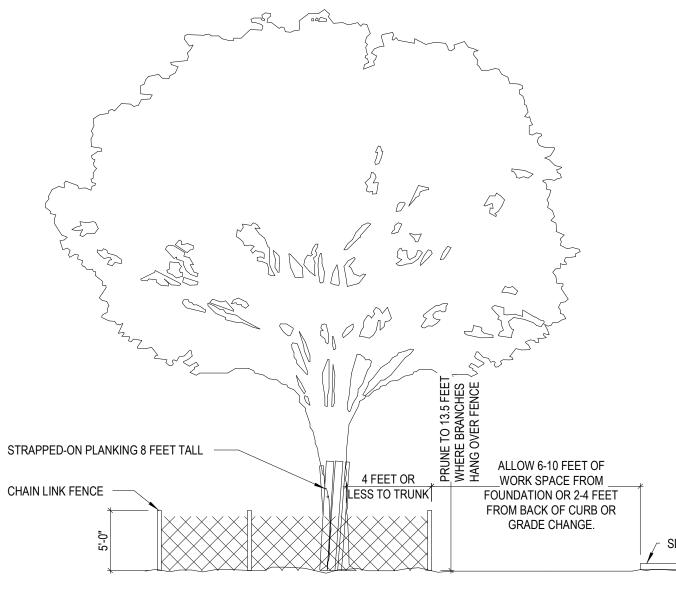


Protective fences should be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction



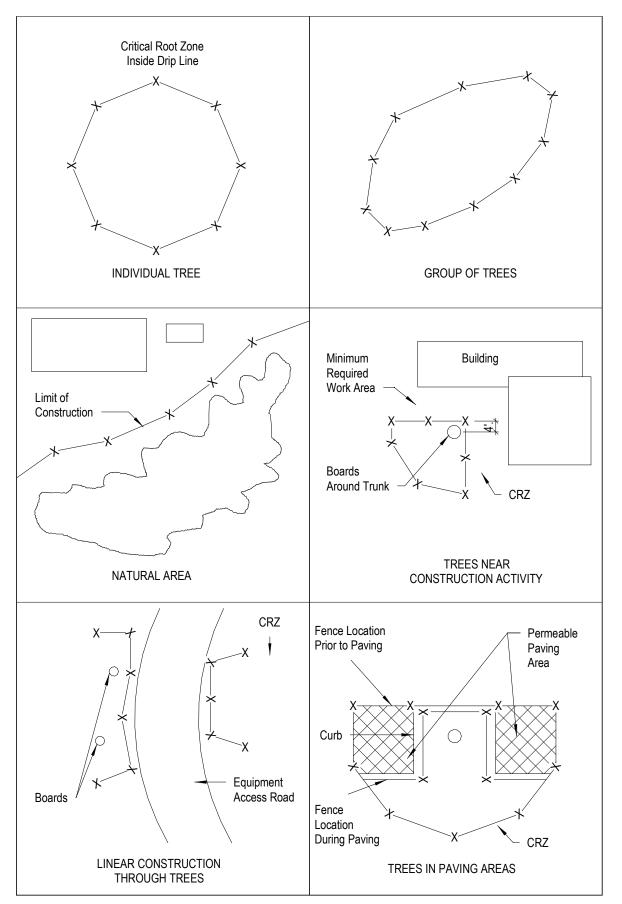
HVAC SCREEN DETAILS NOT TO SCALE

CITY OF LAKEWAY TREE PROTECTION NOTES CHAIN LINK FENCE, PRUNING AND PLANKING



Exceptions to installing fences at tree drip lines may be permitted in the following cases:

- Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site
- development, erect the fence approximately 2 to 4 feet behind the area in question.
- Where permeable paving is to be installed within tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimize root damage).
- Where trees are close to proposed buildings, erect the fence to allow 6 to 10 feet of work space between the fence and the
- 4. Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 feet (or to the limits of lower branching) in addition to the reduced fencing provided.
- 5. All branches that hang over the fence shall be pruned to a minimum height of 13.5 feet or higher if required for equipment



LAKEWAY TREE PROTECTION NOTES

TREE PROTECTION NOTES: SECTION 24.02.405 (N)

Protected trees not approved for removal shall be protected in accordance with the following tree protection notes and other applicable regulations of this article. These notes shall be included in each set of construction drawings for both residential and non-residential construction.

- All trees not located within the limits of construction and outside of disturbed areas shall be preserved.
- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
- Protective fences shall be erected according to City of Austin Standards for Tree Protection as adopted by the city.

Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing, or grading), and shall be maintained throughout all phases of

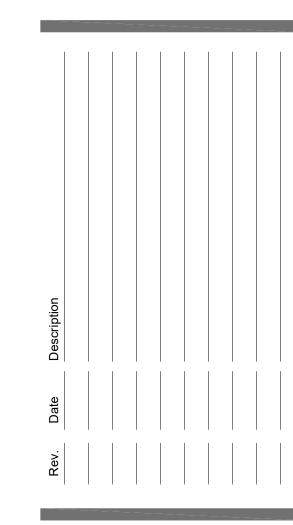
Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil buildup within tree drip lines.

Protective fences shall surround the trees or group of tress and will be located at the outermost limit of branches (drip line), or for natural areas, protective fences shall follow the limit of construction line, in order to prevent the following:

- Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials,
- Root zone disturbance due to grade changes,
- Wounds to exposed roots, trunk or limbs by mechanical equipment,
- Other activities detrimental to trees such as chemical storage, cement truck cleaning and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
- Where there is to be an approved grade change, impermeable paving surface tree well, or other such site development, erect the fence approximately two (2) to four (4) feet behind the area in question,
- Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimize root damage),
- Where trees are close to proposed buildings, erect the fence to allow six (6) to ten (10) feet of work space between the fence and the building.
- Where any of the above exceptions result in a fence being closer than four (4) feet to a tree trunk, protect the trunk with strapped-on planking to a a height of eight (8) feet (or to the limits of lower branching) in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality topsoil as soon as possible. If exposed root areas are not backfilled within two (2) days, cover them with organic material in a manner which reduces soil temperature and minimize water loss due to evaporation.
- No landscape topsoil dressing greater than four (4) inches shall be permitted within the drip line of trees. No soil is permitted on the root flare of any tree.
- Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before damage occurs (ripping of branches, etc.).
- All oak tree cuts, intentional or unintentional, shall be painted immediately (within ten (10) minutes). Tree paint must be kept on site at all times.
- Deviations from the above notes may be considered ordinance violations if there is substantial noncompliance or if a tree sustains damage as a result.
- All branches that hang over the fence shall be pruned to a minimum height of thirteen and one-half (13.5) feet or higher if required for equipment clearance.

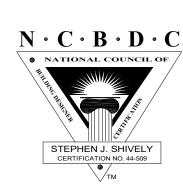
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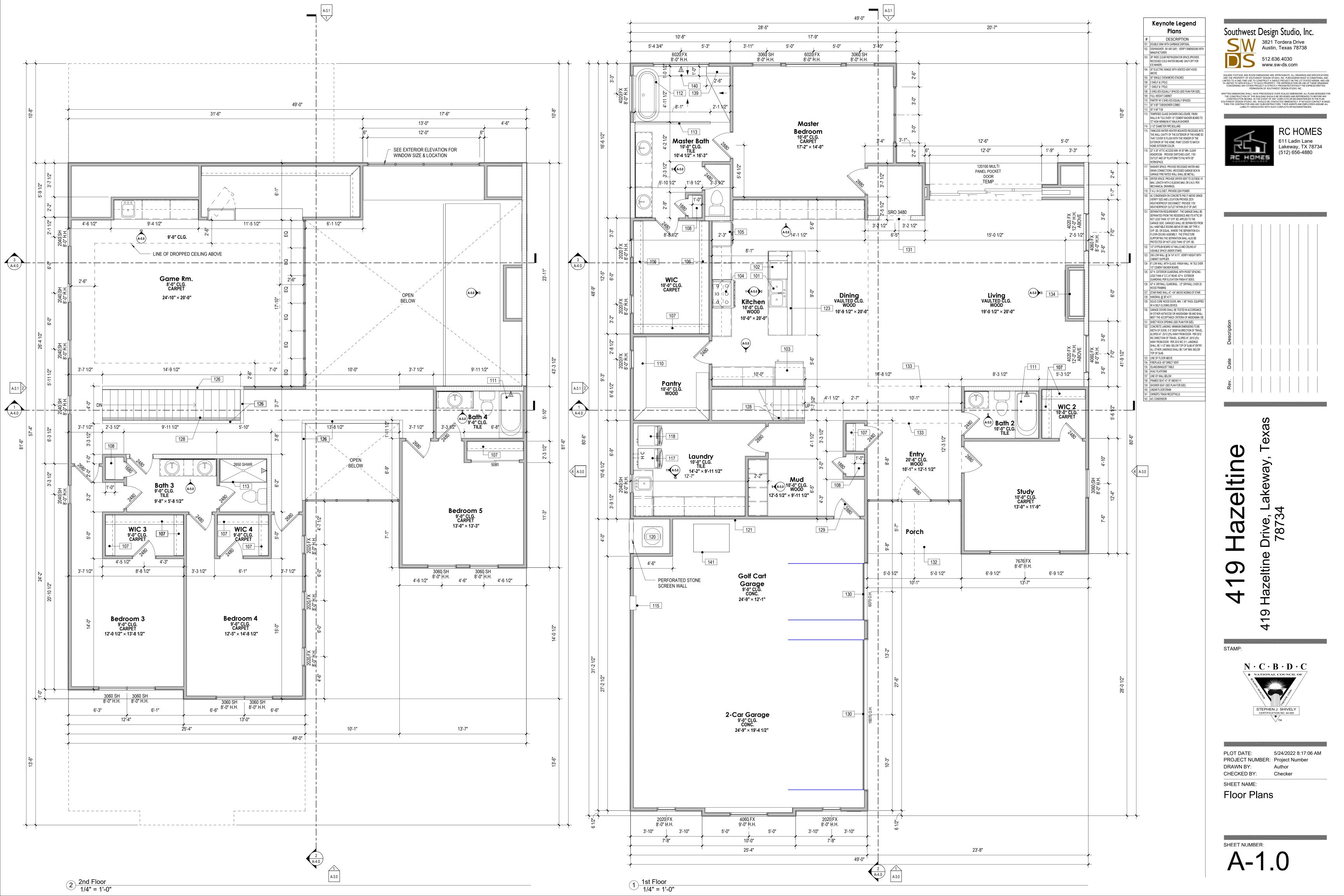


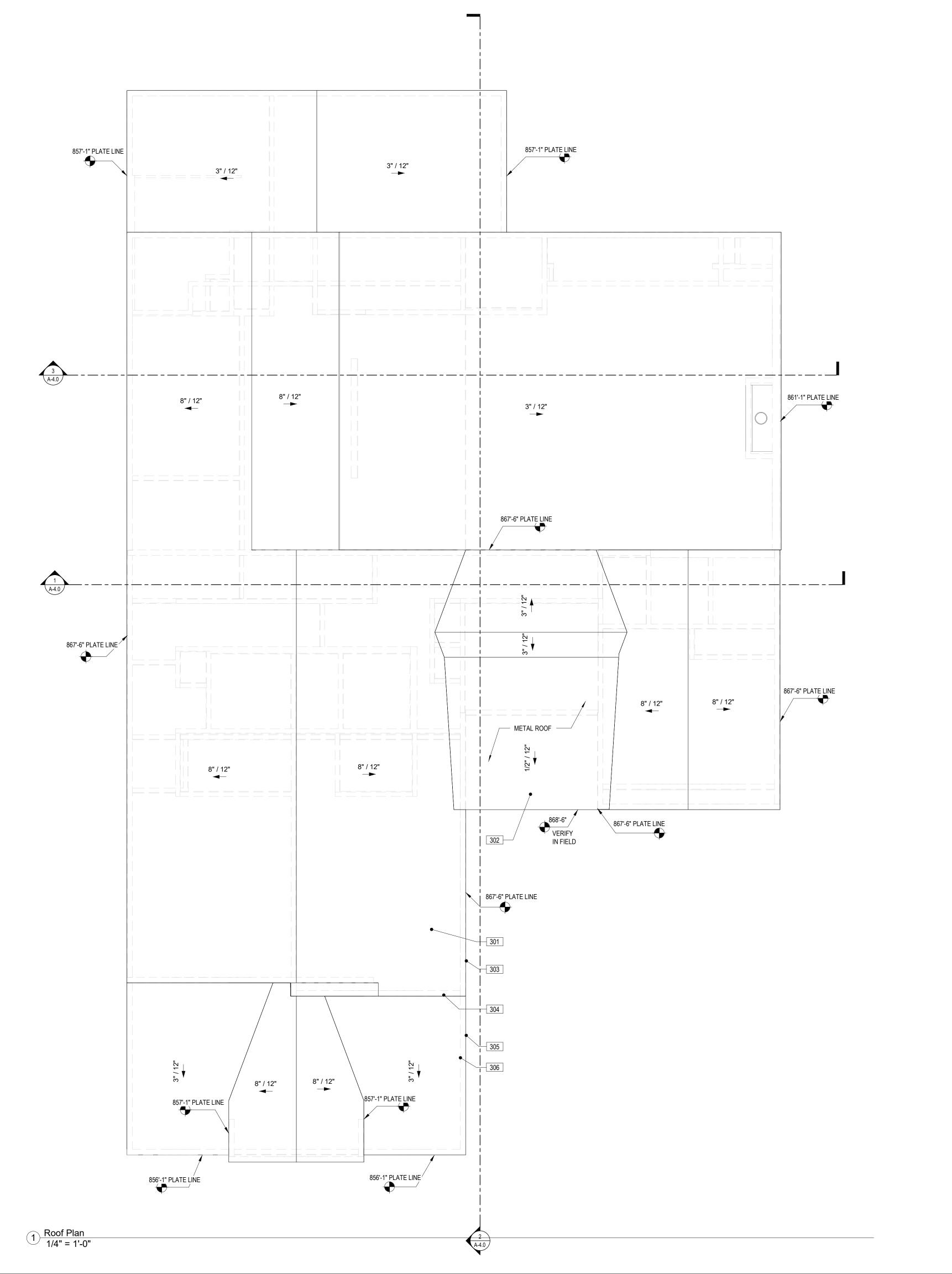
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Checker

SHEET NAME: Tree Protection

SHEET NUMBER:





Keynote Legend Roof DESCRIPTION # DESCRIPTION

301 ASPHALT SHINGLES AS PER SPECS

302 STANDING SEAM METAL ROOF PER SPECS

303 TYP EAVE - 1-1/2" OVERHANG

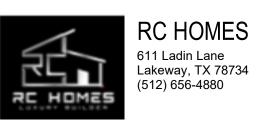
304 TYP RAKE - 1-1/2" OVERHANG

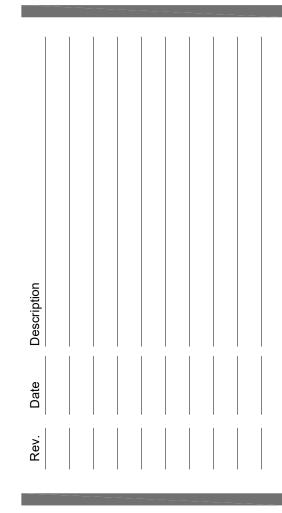
305 LINE OF ROOF

306 LINE OF WALL

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SHEET NAME: Roof Plan

SHEET NUMBER:
A-2.0

MATERIAL CHART			
Material	Area	%	
Front			
Hardie Siding	475 SF	12%	
Stucco Siding	229 SF	6%	
Available Front Wall	704 SF		
Left			
Hardie Siding	153 SF	4%	
Stucco Siding	824 SF	21%	
Available Left Wall	977 SF		
Rear			
Hardie Siding	278 SF	7%	
Stucco Siding	812 SF	21%	
Available Rear Wall	1090 SF		
Right			
Hardie Siding	777 SF	20%	
Stucco Siding	342 SF	9%	
Available Right Wall	1119 SF		
Overall Wall area	3890 SF		

Keynote Legend -Elevations

#	DESCRIPTION
201	ASPHALT SHINGLES PER SPECS
202	STANDING SEAM METAL ROOF PER SPECS
203	HARDIE SIDING 4" - TYP.

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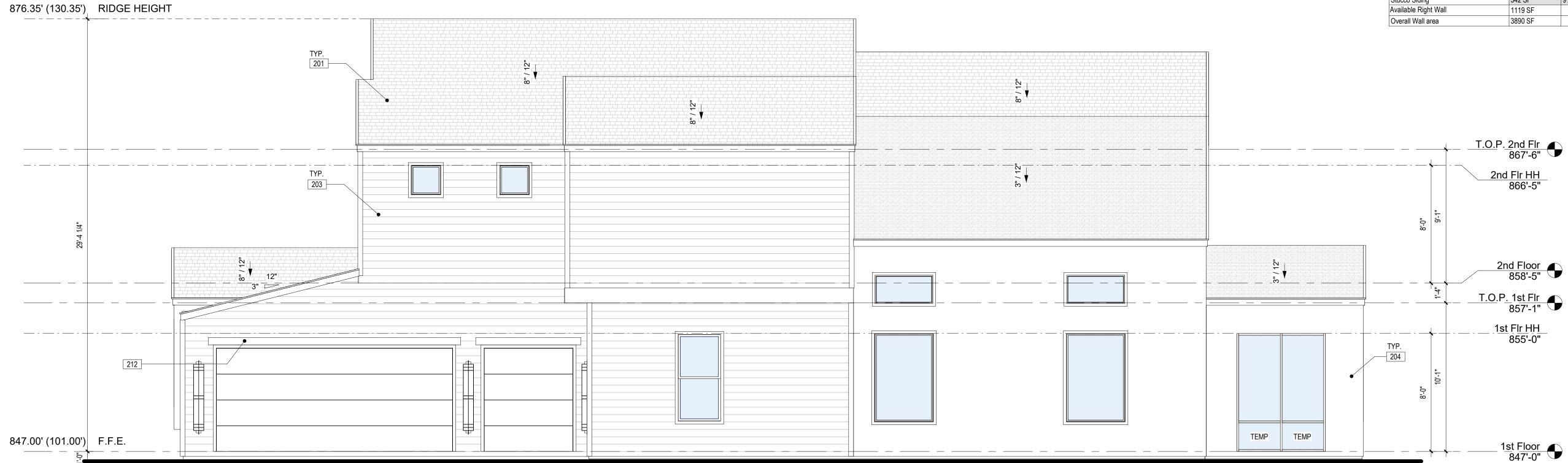
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RU HOMES

203 HARDIE SIDING 4" - TYP.
204 STUCCO WALL FINISH
205 4" FRIEZE - TYP.
206 4" CORNER TRIM - TYP.
207 4" TRIM BOARD - TYP.
208 BARN LAMP

209 14"x24" LVR. VENT
210 AC UNIT ON CONCRETE PAD - VERIFY
SIZE AND LOCATION
211 4" X 16" WOOD TRELLIS BEAMS,
ALIGNED TO 2ND FLOOR, SEE SECTION
2 FOR SPACING

212 6"x2" HARDIE GARAGE HEAD TRIM
213 STREET ADDRESS WITH 4" HIGH
BLOCK LETTERS



846.00' (100.00') BENCHMARK

HIGHEST NATURAL GRADE UNDER SLAB



419 Hazeltine

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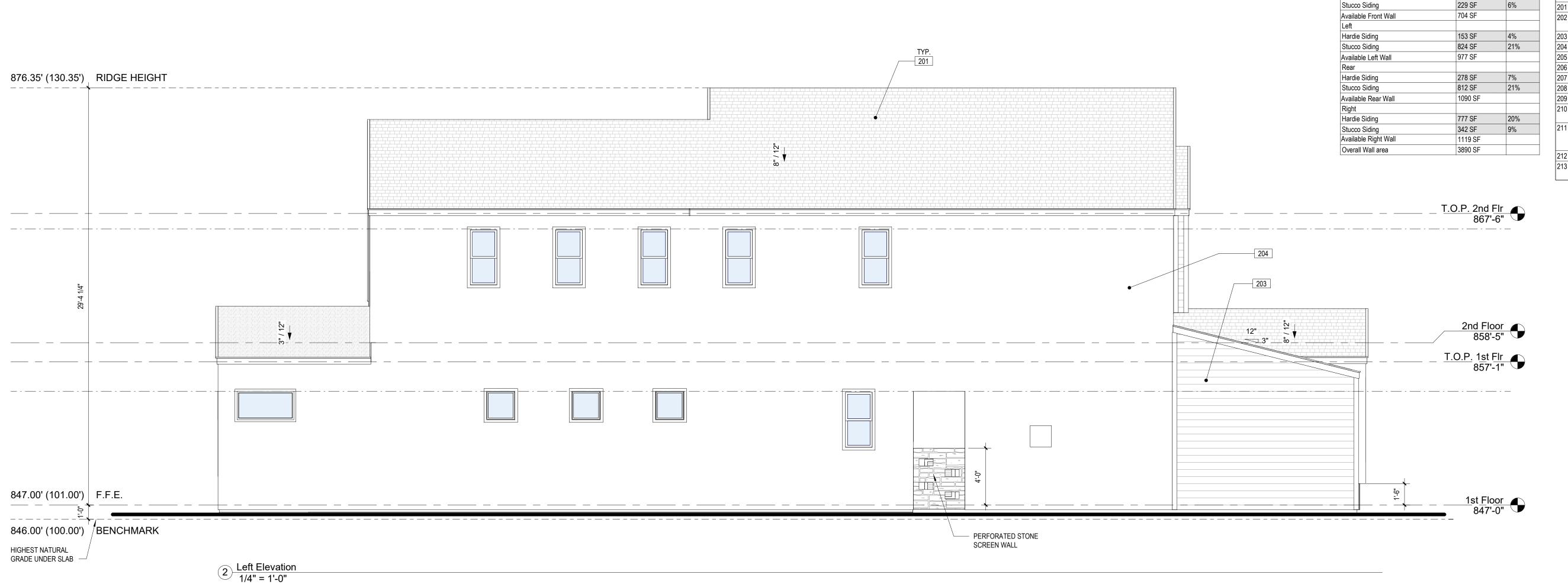
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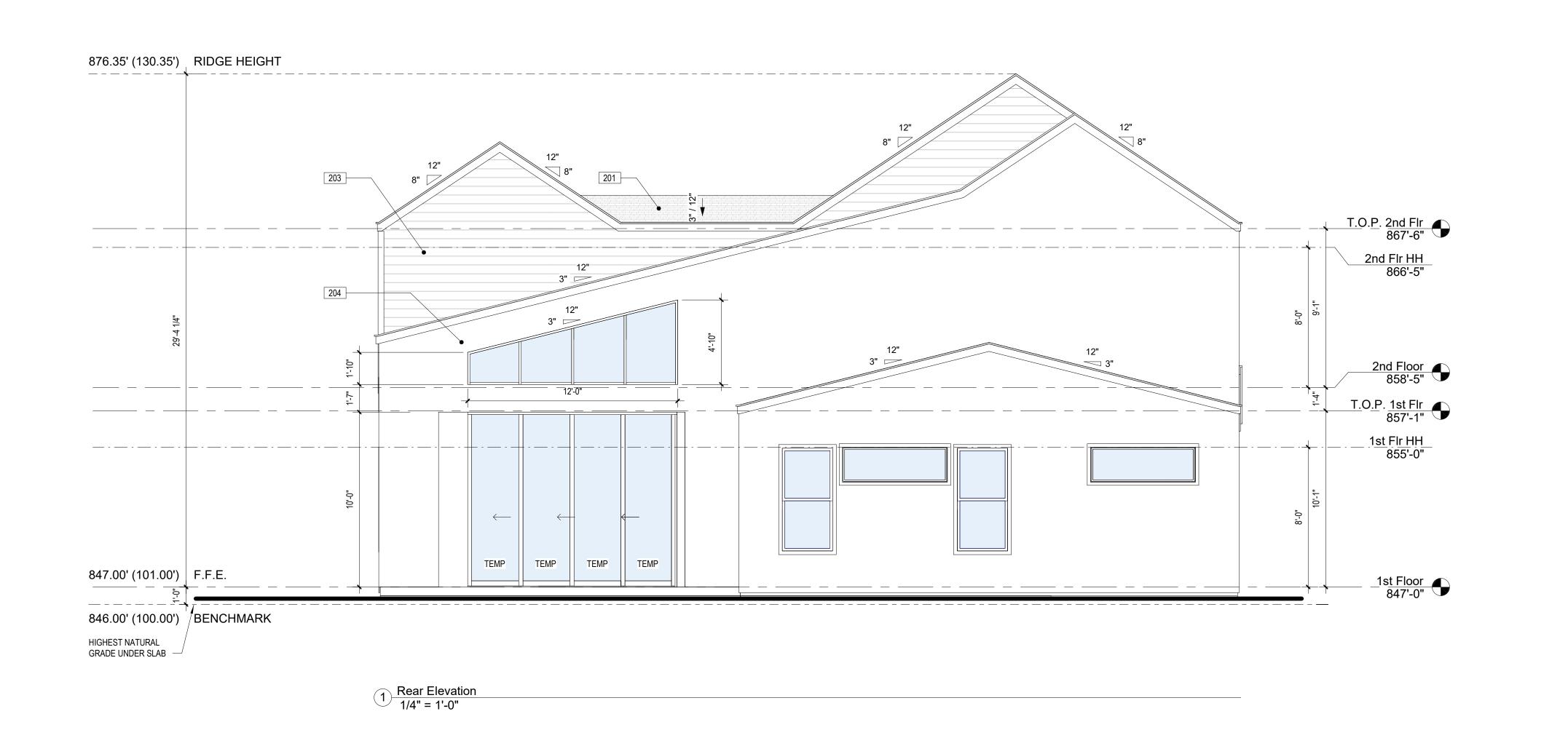
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PROJECT NUMBER: Project Number
DRAWN BY: Author
CHECKED BY: Checker

SHEET NAME:
Elevations

SHEET NUMBER:

A-3.0





Keynote Legend -**Elevations**

MATERIAL CHART

%

12%

Area

475 SF

Material

Hardie Siding

#	DESCRIPTION
201	ASPHALT SHINGLES PER SPECS
202	STANDING SEAM METAL ROOF PER SPECS
203	HARDIE SIDING 4" - TYP.
204	STLICCO WALL FINISH

204 STUCCO WALL FINISH 205 4" FRIEZE - TYP. 206 4" CORNER TRIM - TYP. 207 4" TRIM BOARD - TYP. 208 BARN LAMP

209 14"x24" LVR. VENT 210 AC UNIT ON CONCRETE PAD - VERIFY SIZE AND LOCATION 4" X 16" WOOD TRELLIS BEAMS, ALIGNED TO 2ND FLOOR, SEE SECTION 2 FOR SPACING

6"x2" HARDIE GARAGE HEAD TRIM 213 STREET ADDRESS WITH 4" HIGH BLOCK LETTERS

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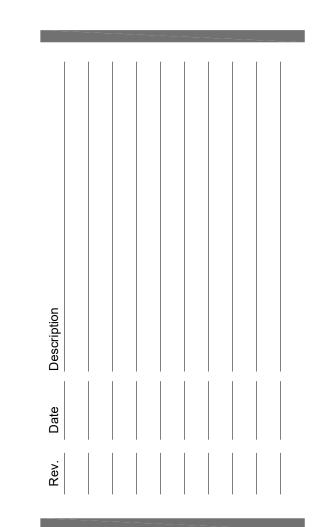
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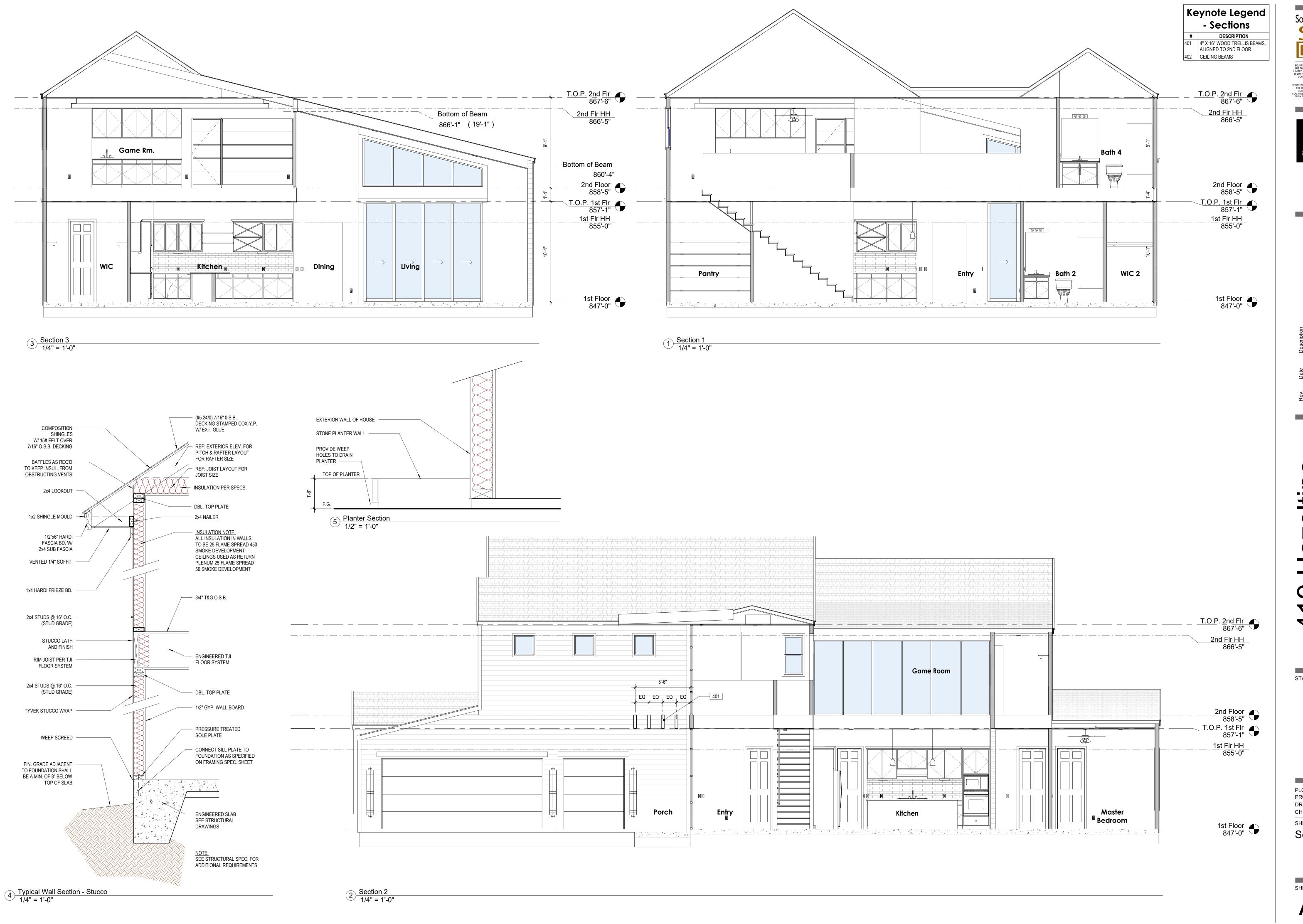


PLOT DATE: PROJECT NUMBER: Project Number DRAWN BY: CHECKED BY: SHEET NAME:

Checker

Elevations

SHEET NUMBER:



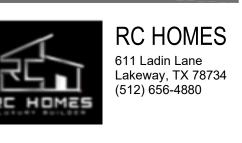
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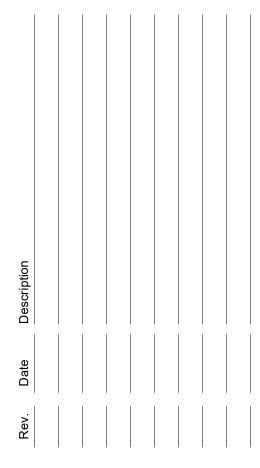
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PLOT DATE: 5/24/2022 8:17:14 AM
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SHEET NAME:

Sections

SHEET NUMBER:

A-4.C

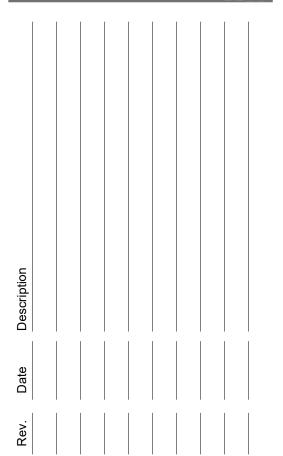


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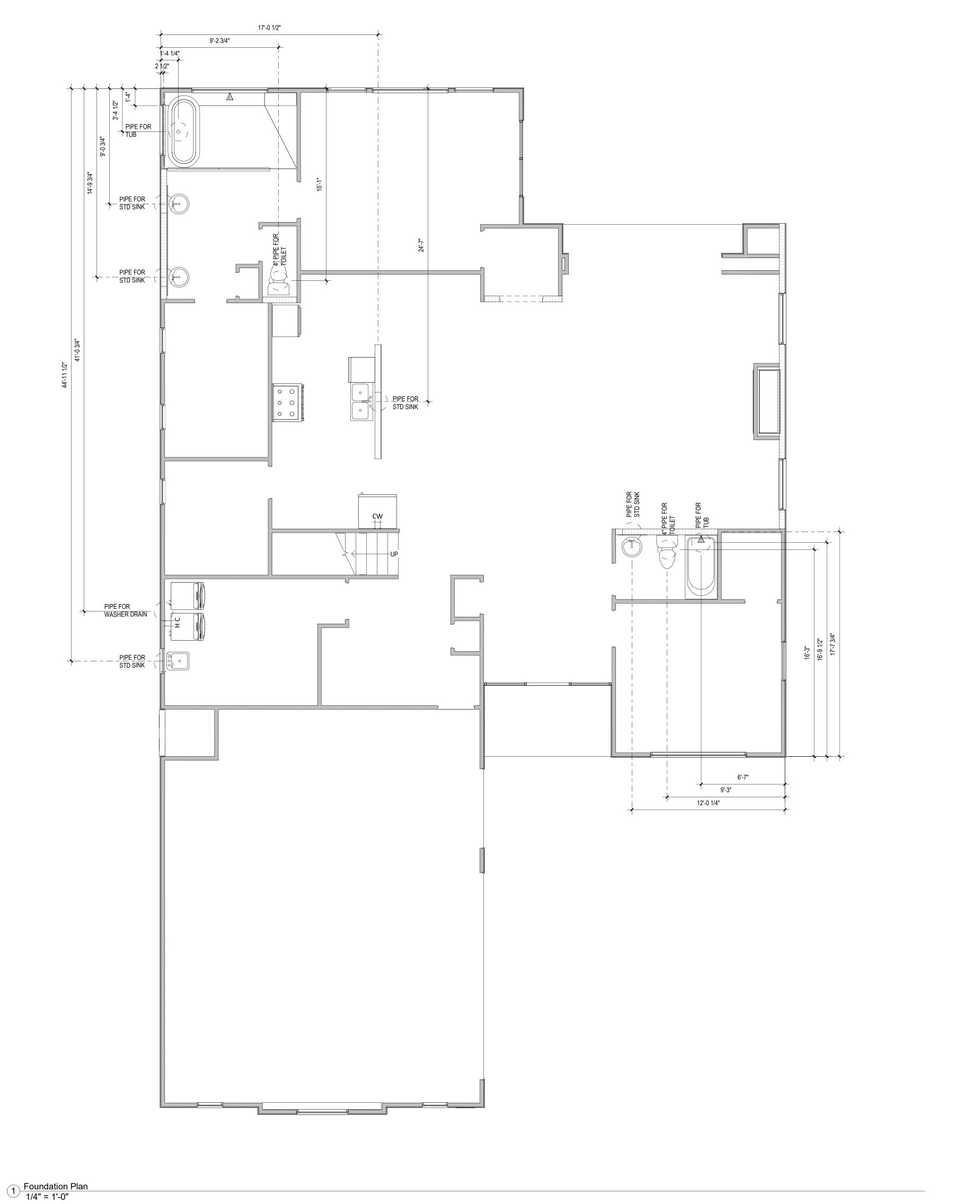
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Interior Elevations

SHEET NUMBER:

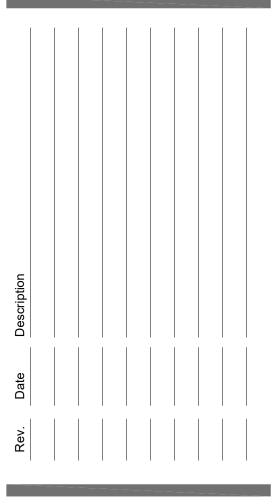
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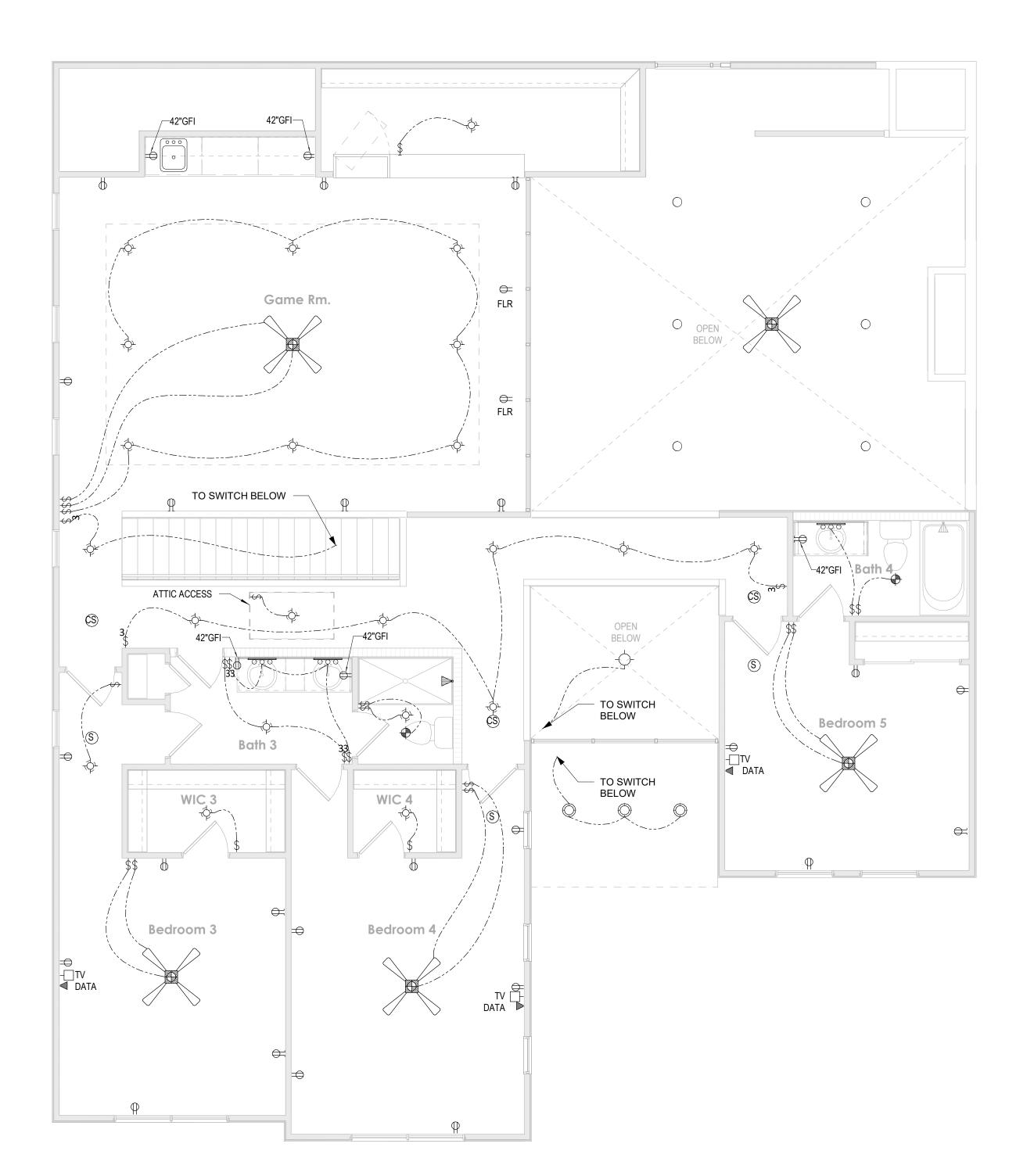
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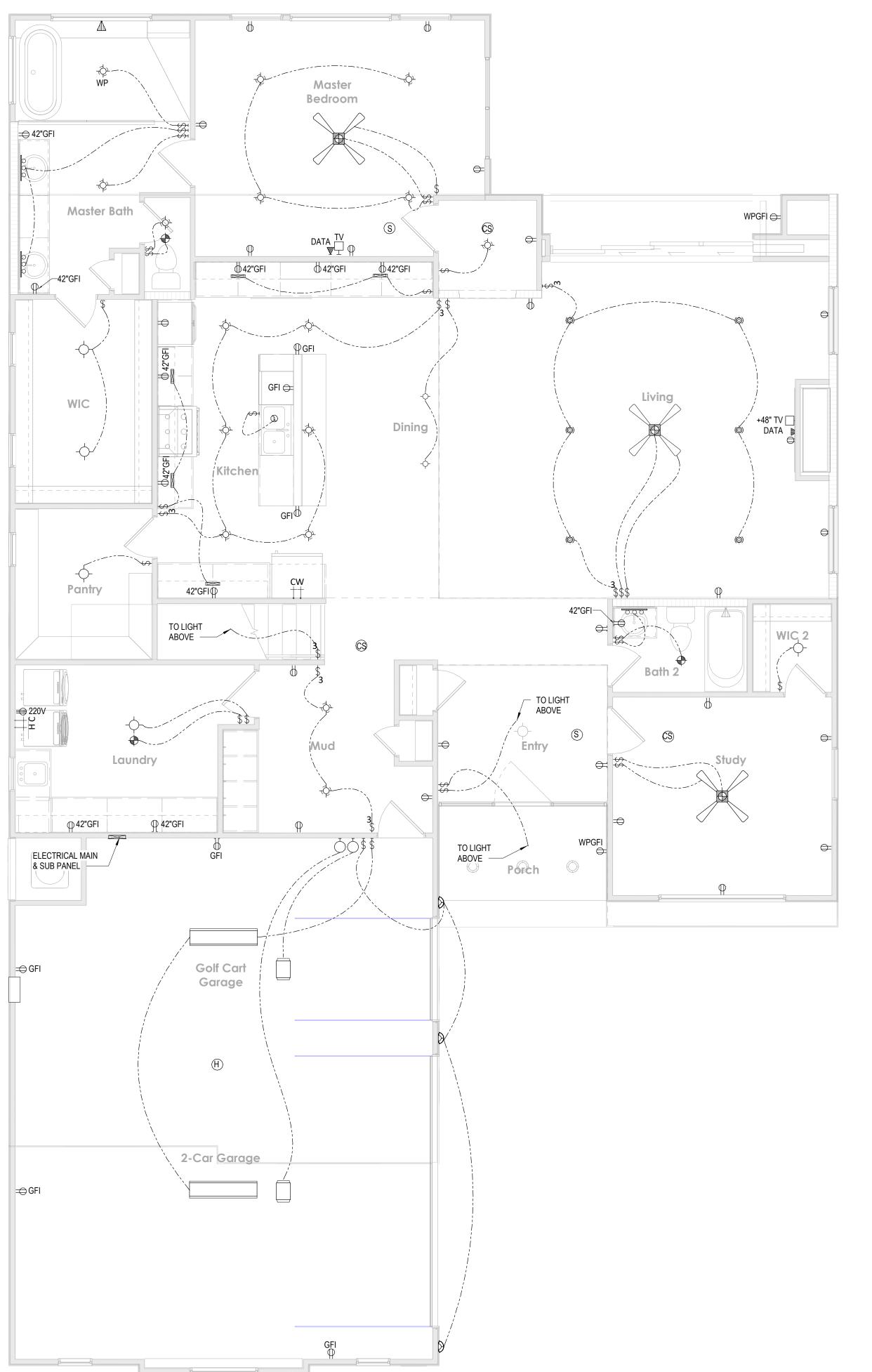
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Foundation Plan

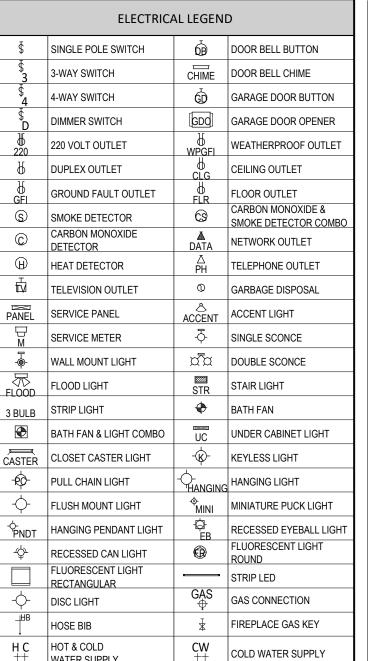
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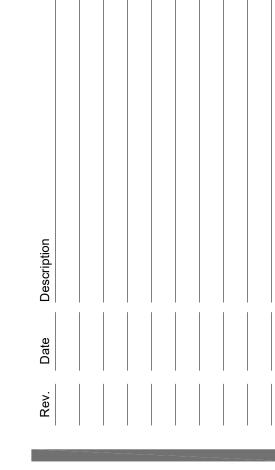
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\$	SINGLE POLE SWITCH	Ġ	DOOR BELL BUTTON
\$ 3	3-WAY SWITCH	CHIME	DOOR BELL CHIME
\$ 4	4-WAY SWITCH	Ō	GARAGE DOOR BUTTON
\$ D	DIMMER SWITCH	GDO	GARAGE DOOR OPENER
₩ 220	220 VOLT OUTLET	₩PGFI	WEATHERPROOF OUTLET
Ъ	DUPLEX OUTLET	ф CLG	CEILING OUTLET
∯ GFI	GROUND FAULT OUTLET	b FLR	FLOOR OUTLET
<u>s</u>	SMOKE DETECTOR	69	CARBON MONOXIDE & SMOKE DETECTOR COMBO
©	CARBON MONOXIDE DETECTOR	∆ DATA	NETWORK OUTLET
\oplus	HEAT DETECTOR	∆ PH	TELEPHONE OUTLET
ū	TELEVISION OUTLET	0	GARBAGE DISPOSAL
PANEL	SERVICE PANEL	& ACCENT	ACCENT LIGHT
M	SERVICE METER	-₹	SINGLE SCONCE
	WALL MOUNT LIGHT	α <u>α</u>	DOUBLE SCONCE
FLOOD	FLOOD LIGHT	STR	STAIR LIGHT
3 BULB	STRIP LIGHT	•	BATH FAN
	BATH FAN & LIGHT COMBO	UC	UNDER CABINET LIGHT
CASTER	CLOSET CASTER LIGHT	- \$ -	KEYLESS LIGHT
-ф-	PULL CHAIN LIGHT		HANGING LIGHT
	FLUSH MOUNT LIGHT		MINIATURE PUCK LIGHT
- PNDT	HANGING PENDANT LIGHT	₽ EB	RECESSED EYEBALL LIGHT
\$	RECESSED CAN LIGHT	•	FLUORESCENT LIGHT ROUND
	FLUORESCENT LIGHT RECTANGULAR		STRIP LED
- ф-	DISC LIGHT	GAS 	GAS CONNECTION
_НВ	HOSE BIB	*	FIREPLACE GAS KEY
н с ††	HOT & COLD WATER SUPPLY	CW ††	COLD WATER SUPPLY
CF CF	CEILING FAN		LIGHT w/ FAN ROUGH
CLO	F LIGHTED CEILING FAN	LCF	SH LIGHT & FAN ROUGH





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Electrical Plans

SHEET NUMBER:

E-1.0



4 3D Living-Gameroom



2 3D Front Right

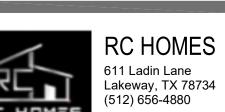


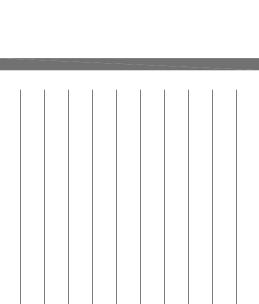
1 3D Front Left



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SHEET NAME:

3D Renders

SHEET NUMBER:
R-1.0