

Building Codes:

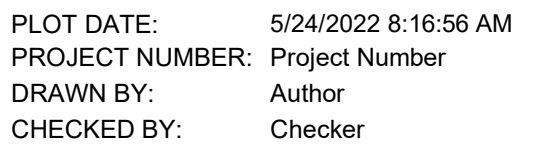
- ### Drawing Legend

Sheet Index

SQUARE FOOTAGES	
Description	Area
1st Flr. A/C	2071 SF
2nd Flr. A/C	1588 SF
Total AC	3659 SF
Garage	791 SF
Patio	33 SF
Porch	56 SF
Total Slab	3048 SF
Total Frame	4662 SF

419 Hazeltine
419 Hazeltine Drive, Lakeway, Texas
78734

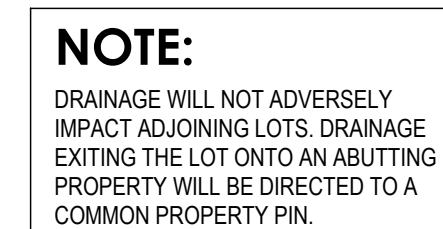
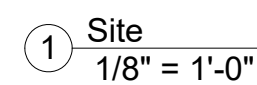
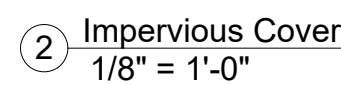
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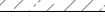


SHEET NUMBER

Abbreviations

ANGLE	COMPO	COMPOSITION	FHS	FIRE HOSE STATION	KPL	KEENE'S CEMENT PLASTER	PAR	PARALLING	STA	STATION
CENTERLINE	COMP	COMPRESS -ED -ION -IBLE	FHL	FIREPLACE	KPK	KICKPLATE	PK	PARKING	ST	STEEL
CHANNEL	CONC	CONCRETE	FP	FIREPROOF	KIT	KITCHEN	PBN	PARTICLE BOARD	SD	STORAGE
PENNY	CMU	CONCRETE MASONRY UNIT	FR	FIRE-RESISTANT COATING	KO	KNOCKOUT	PTD	PARTITION	STO	STORM DRAIN
PERPENDICULAR	CK	CONCRETE	FRIT	FIRE-RETARDANT			PV	PAVE -D -ING	STR	STRUCTURAL
PLATE	CONST	CONSTRUCTION	FLG	FLASHING	LBL	LABEL	PMT	PAVEMENT	STR	STRUCTURAL CLAY TILE
ROUND OR DIAMETER	CONTR	CONTINUOUS OR CONTINUE	FHMS	FLATHEAD MACHINE SCREW	LAB	LABORATORY	PED	PEDESTAL	SUS	SUSPENDED
SQUARE	CONTR	CONTRACT -OR	FHWS	FLATHEAD WOOD SCREW	LAD	LADDER	PERF	PERFORATE -D	SYM	SYMMETRY -ICAL
SQUARE FOOT	CLL	CONTRACT TIME LINE	FLX	FLEXIBLE	LB	LAD BOLT	PERI	PERIMETER	SYN	SYNTHETIC
	CJT	CONTROL JOINT	FLR	FLOOR -ING	LAM	LAMINATE -D	PLAS	PLASTER	SYN	SYSTEM
ABV	CPR	COPPER	FD	FLOOR CLEANOUT	LAV	LABATORY	PLAM	PLASTIC LAMINATE		
AFF	CS	CORNER GUARD	FLD	FLOOR DRAIN	LH	LEFT HAND	PLA	PLATE	TBd	TACKBOARD
ASC	CORR	CORRUGATED	FPL	FLOOR PLATE	L	LENGTH	PG	PLATE GLASS	TKS	TACKSTRIP
ACC	CTR	COUNTER	FLUR	FLUORESCENT	LT	LIGHT	PW	PLYWOOD	TEL	TELEPHONE
ACFL	CFL	COUNTER FLASHING	FJT	FLUSH JOINT	LC	LIGHT CONTROL	PT	POINT	TV	TELEVISION
AP	CS	COUNTER SINK	FJT	FOOTING	LP	LIGHTPROOF	PVC	POLYVINYL CHLORIDE	TC	TERRA COTTA
AC	CTSK	COUNTER SINK SCREW	FRG	FORGED	LW	LIGHTWEIGHT	PE	PORCELAIN ENAMEL	TZ	TERRAZZO
ACT	ACPL	ACRYLIC PLASTER	FRG	FOUNDATION	LWC	LIGHTWEIGHT CONCRETE	PTD	PORCELTEN-IONED CONCRETE	THK	THICK -NESS
ACU	CRS	CROSS GRAIN	FR	FRAME -D -ING	LMS	LIMESTONE	PCF	POUNDS PER CUBIC FOOT	THR	THRESHOLD
ACR	CFT	CUBIC FOOT	FRA	FRESH AIR	LTl	LINTEL	PFL	POUNDS PER LINEAL FOOT	TPTN	TOILET PARTITION
ADD	CYD	CUBIC YARD	FS	FULL SIZE	LL	LIVE LOAD	PSF	POUNDS PER SQUARE FOOT	TPD	TOILET PAPER DISPENSER
ADH		ADHESIVE	FBO	FURNISHED BY OTHERS	LVR	LOUVER	PSI	POUNDS PER SQUARE INCH	T.O.	TOP OF
ADJ	DPR	DAMPER	FUR	FURRED -ING	LPT	LOW POINT	PCC	PRECAST CONCRETE	TOL	TOLERANCE
ADT	DP	DAMP PROOFING	FUT	FUTURE	MB	MACHINE BOLT	PCB	PREFABRIATE -D	T.O. LWC.	TOP OF LIGHT WEIGHT CONCRETE
AGG	DL	DEAD LOAD			MI	MALLEABLE IRON	PFN	PREFINISHED	T.O.C.	TOP OF CURB
AIR	DEM	DEMOLISH, DEMOLITION	GA	GAGE, GAUGE	MH	MANHOLE	PSC	PRESTRESSED CONCRETE	T.O. EBW.	TOP OF EYEBROW
AL	DMT	DISMOUNTABLE	GV	GALVANIZED	MFR	MANUFACTURE -ER	PL	PROPERTY LINE	T.O.P.	TOP OF PLATE
ALU	DEP	DEPRESSED	GI	GALVANIZED IRON	MRB	MARBLE			T.O. PAR.	TOP OF PARAPET
ANC	DTL	DETAIL	GP	GALVANIZED STEEL	MAS	MASONRY	QT	QUARRY TILE	T.O.S.	TOP OF SLAB
AB	DIAG	DIAGONAL	GS	GALVANIZED PIPE	MAS	MASONRY OPENING			T&G	TONGUE AND GROOVE
ANOD	DIAM	DIAMETER	GKT	GASKET -ED	MTK	MATERIAL -S	RBT	RABBIT, REBATE	T.O. ST.	TOP OF ST.
APX	DIM	DIMENSION	GC	GENERAL CONTRACT -OR	MAX	MAXIMUM	RAD	RADIUS	T.O.W.	TOP OF WALL
AREA	DPR	DISPENSER	GL	GLASS / GRADING	MECH	MECHANIC -AL	RL	RAIL -ING	TB	TOWEL BAR
ASB	DIV	DIVISION	GLB	GLASS BLOCK	MC	MEDICINE CABINET	RWC	RAINWATER CONDUCTOR	TR	TRANSOM
ASPH	DR	DOOR	GLF	GLASS FIBER	MD	MEDIUM	REF	REFERENCE	T	TREAD
AT	DA	DOUBLE ACTING	GMU	GLAZED CONCRETE MASONRY	MBE	MEMBER	RFL	REFLECT -ED -IVE -OR	TYP	TYPICAL
AUTO	DH	DOUBLE HUNG	UNITS		MMB	MEMBRANE	REF	REFRIGERATOR		
	DTA	DOVETAIL ANCHOR	GST	GLAZED STRUCTURAL TILE	MET	METAL	REG	REGISTER	UC	UNDERCUT
BP	DTS	DOVETAIL ANCHOR SLOT	GB	GRAB BAR	MFD	METAL FLOOR DECKING	RC	REINFORCE -D -ING	UNF	UNFINISHED
BSMT	DS	DOWNSPOUT	GD	GRADE, GRADING	MTFR	METAL FURRING	RCP	REINFORCED CONCRETE PIPE	UR	URNAL
BRG	DRAIN	DRAIN	GRN	GRANITE	MRO	METAL ROOF DECKING	REM	REMOVE	VJ	V-JOINT -ED
BPL	DRB	DRAINBOARD	GVL	GRAVEL	MEHR	METAL THRESHOLD	RES	RESILIENT	VB	VAPOR BARRIER
BUT	DT	DRAIN TILE	GF	GROUND FACE	M	METER -S	RET	RETURN	VAR	VARNISH
BM	DWR	DRAWER	GT	GROUT	MM	MILLIMETER	RA	RETURN AIR	VNR	VENEER
BE	DWG	DRAWING	GPDW	GYPSUM DRY WALL	MWK	MILLWORK	RVS	REVERSE -SIDE	VRM	VERMICULITE
BET	DF	DRINKING FOUNTAIN	GPL	GYPSUM LATH	MIN	MINIMUM	REV	REVISION -S / REVISED	VERT	VERTICAL
BVL	DW	DUMBWAITER	GPL	GYPSUM PLASTER	MIR	MIRROR	RH	RIGHT HAND	VG	VERTICAL GRAIN
BIT	GPT		GPT	GYPSUM TILE	MISC	MISCELLANEOUS	ROW	RIGHT OF WAY	VIN	VINYL
BLK	E	EACH FACE			MOD	MODULAR	R	RISER		
BLKG	E	EAST	HH	HANDHOLE	MCD	MOLDING, MOULDING	RVT	RIVET	VB	VINYL BASE
BD	ELEC	ELECTRIC -AL	HBD	HARDBOARD	MR	MOP RECEPTOR	RD	ROOF DRAIN	VF	VINYL FABRIC
BS	EP	ELECTRICAL PANELBOARD	HDW	HARDWARE	MT	MOUNT -ED -ING	RFH	ROOF HATCH	VOC	VOLATILE ORGANIC COMPOUND
B.O.	EW	ELECTRICAL WATER COOLER	HWD	HARDWOOD	MOV	MOVABLE	RFG	ROOFING	VT	VINYL TILE
B.W.	EL	ELEVATION	HJT	HEAD JOINT	MULL	MULLION	RM	ROOM		
B.O. PAR.	ELEV	ELEVATOR	HDR	HEADER			RO	ROUGH OPENING	WSC	WANSOC
BRK	EMER	EMERGENCY	HTG	HEATING	NAT	NATURAL	RB	RUBBER BASE	WTW	WALL TO WALL
BRZ	ENC	ENCLOSE -JURE	HVAC	HEATING / VENTILATION	NL	NATURAL	RB	RUBBER TILE	WH	WALL HUNG
BRZ	EQ	EQUAL		/ AIR CONDITIONING	NI	NICKEL	RBL	RUBBER STONE	WC	WATER CLOSET
BLDG	EQP	EQUIPMENT	HD	HEAVY DUTY	NR	NOISE REDUCTION			WP	WATERPROOFING
BUR	ESC	ESCALATOR	HT	HEIGHT	NRC	NOISE REDUCTION COEFFICIENT	SFGL	SAFETY GLASS	WR	WATER REPELLENT
BB	EST	ESTIMATE	HX	HEXAGONAL	NOM	NOMINAL	SKL	SCHEDULE	WS	WATERSTOP
BBD	EXCA	EXCAVATE	HES	HIGH EARLY-STRENGTH CEMENT	NMT	NONMETALLIC	SCN	SCREEN	WWF	WELDED WIRE FABRIC
CAB	EXH	EXHAUST	HC	HOLLOW CORE	N	NORTH	SNT	SEALANT	W	WEST
CAD	EXG	EXISTING	HM	HOLLOW METAL	NIC	NOT IN CONTRACT	STG	SEATING	WHB	WHEEL BUMPER
CPT	EXMP	EXPANDED METAL PLATE	HK	HOOK -S	NTS	NOT TO SCALE	SSK	SECTION	WD	WIDTH, WIDE
CSMT	EB	EXPANSION BOLT	HOR	HORIZONTAL			SEC	SERVICE SINK	WIN	WINDOW
C	EXP	EXPOSED	HSE	HOSE BIB	OBS	OBSCURE	SHH	SHEATHING	WG	WIRED GLASS
CIPC	EXT	EXTERIOR	HWH	HOT WATER HEATER	OC	ON CENTER -S	SHT	SHEET	WM	WIRE MESH
CST	EXS	EXTRA STRENGTH			OP	OPAQUE	SG	SHEET GLASS	WIO	WITHOUT
CB		CATCH BASIN			OPG	OPENING	SH	SHELF / SHELVING	WD	WOOD
CK	FB	FACE BRICK	INCL	INCINERATOR	OJ	OPEN-WEB JOIST	SHO	SHORE -D -ING	WB	WOOD BASE
CLG	FOC	FACE OF CONCRETE	ID	INSIDE DIAMETER	OPP	OPPOSITE	SIM	SIMILAR	WI	WROUGHT IRON
CHT	INS	FACE OF FINISH	INS	INSULATE -D -ION	OPH	OPPOSITE HAND	SKL	SKYLIGHT		
CEM	FOM	FACE OF MASONRY	INSC	INSULATING CONCRETE	OPS	OPPOSITE SURFACE	SL	SLEEVE		
PCPL	FOS	FACE OF STUD	INSF	INSULATING FILL	OD	OUTSIDE DIAMETER	SC	SOLID CORE		
CM	FF	FINISHED FLOOR	INT	INTERIOR	OHMS	OVAL-HEAD MACHINE SCREW	SP	SOUNDPROOF		
CE	FAS	FASTEN / FASTENER	ILK	INTERLOCK	OHWS	OVAL-HEAD WOOD SCREW	S	SOUTH		
CT	FN	FENCE	INTM	INTERMEDIATE	OA	OVERALL	SPC	SPACER		
CMT	FBD	FIBERBOARD	INV	INVERT	OH	OVERHEAD	SPK	SPEAKER		
CHBD	FGL	FIBERGLASS	INS	PIPE SIZE			SPL	SPECIAL		
CHAM	FIN	FINISH -ED			PNT	PAINT -ED	SPEC	SPECIFICATION -S		
CR	FFE	FINISHED FLOOR ELEVATION	JC	JANITOR'S CLOSET	PNL	PANEL	SQ	SQUARE		
CIRC	FFL	FINISHED FLOOR LINE	JT	JOINT	PB	PANIC BAR	SRI	SOLAR REFLECTANCE INDEX		
CLR	FA	FIRE ALARM	JF	JOINT FILLER	PTD	PAPER TOWEL DISPENSER	STD	STAINLESS STEEL		
CLS	FB	FIRE BRICK	J	JOIST	PTR	PAPER TOWEL RECEPTOR	STT	STANDARD		
COL	FE	FIRE EXTINGUISHER								
COMB	FEC	FIRE EXTINGUISHER CABINET								
COMPT										



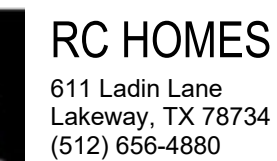
LEGEND:

	CONSTRUCTION ACTIVITY
	TREE PROTECTION
	5' WIDE X 12' LONG LANDSCAPE BUFFER
	CONSTRUCTION FENCE
	SILT FENCE

Southwest Design Studio, Inc.
 3821 Tordera Drive
 Austin, Texas 78738
 512.636.4030
www.sw-ds.com

SQUARE FOOTAGE AND ROOM DIMENSIONS ARE APPROXIMATE. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF SOUTHWEST DESIGN STUDIO, INC. PURCHASERS HEREBY ACKNOWLEDGE AND AGREE TO A ONE-TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE LOT SET FORTH HEREIN. ANY ATTEMPT TO REPRODUCE OR REUSE ANY OF THE INFORMATION CONTAINED HEREIN FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SOUTHWEST DESIGN STUDIO, INC.

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[illegible]

419 Hazeltine

419 Hazeltine Drive, Lakeway, Texas
78734

STAMP:



PLOT DATE: 6/15/2022 3:55:43 PM
PROJECT NUMBER: Project Number
DRAWN BY: Author
CHECKED BY: Checker

SHEET NAME:
Site Plan

SHEET NUMBER:

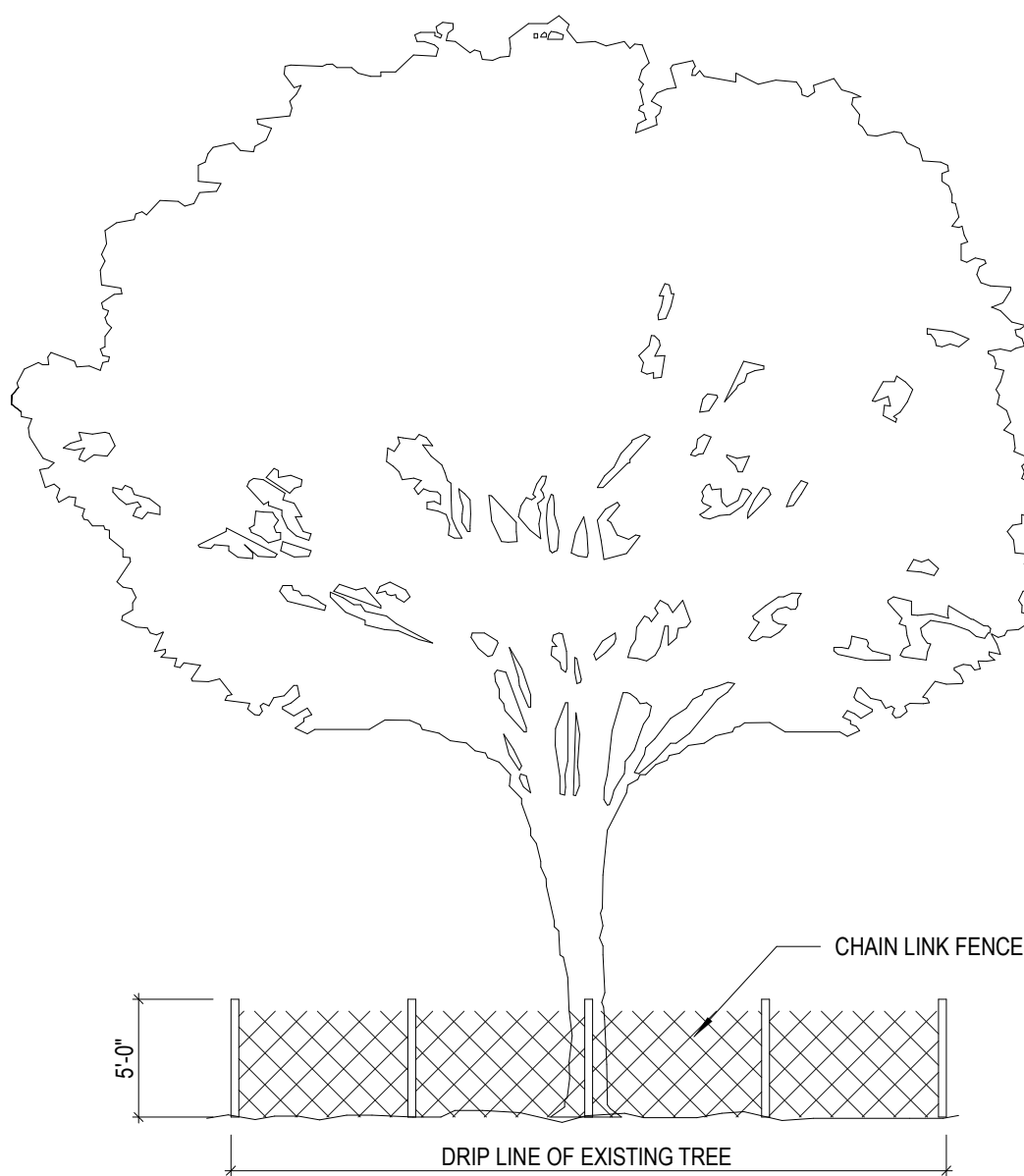
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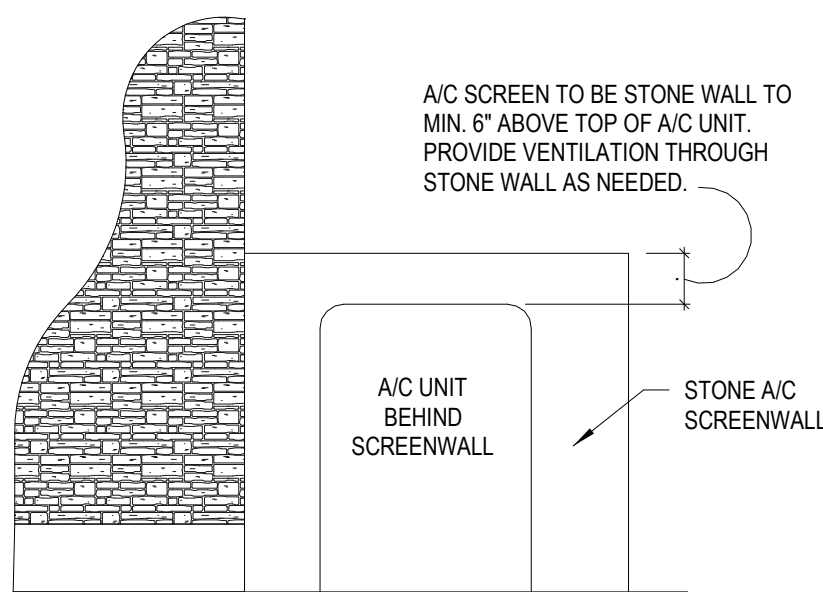


RC HOMES
611 Ladin Lane
Lakeway, TX 78734
(512) 656-4880

CHAIN LINK FENCE TO DRIP LINE

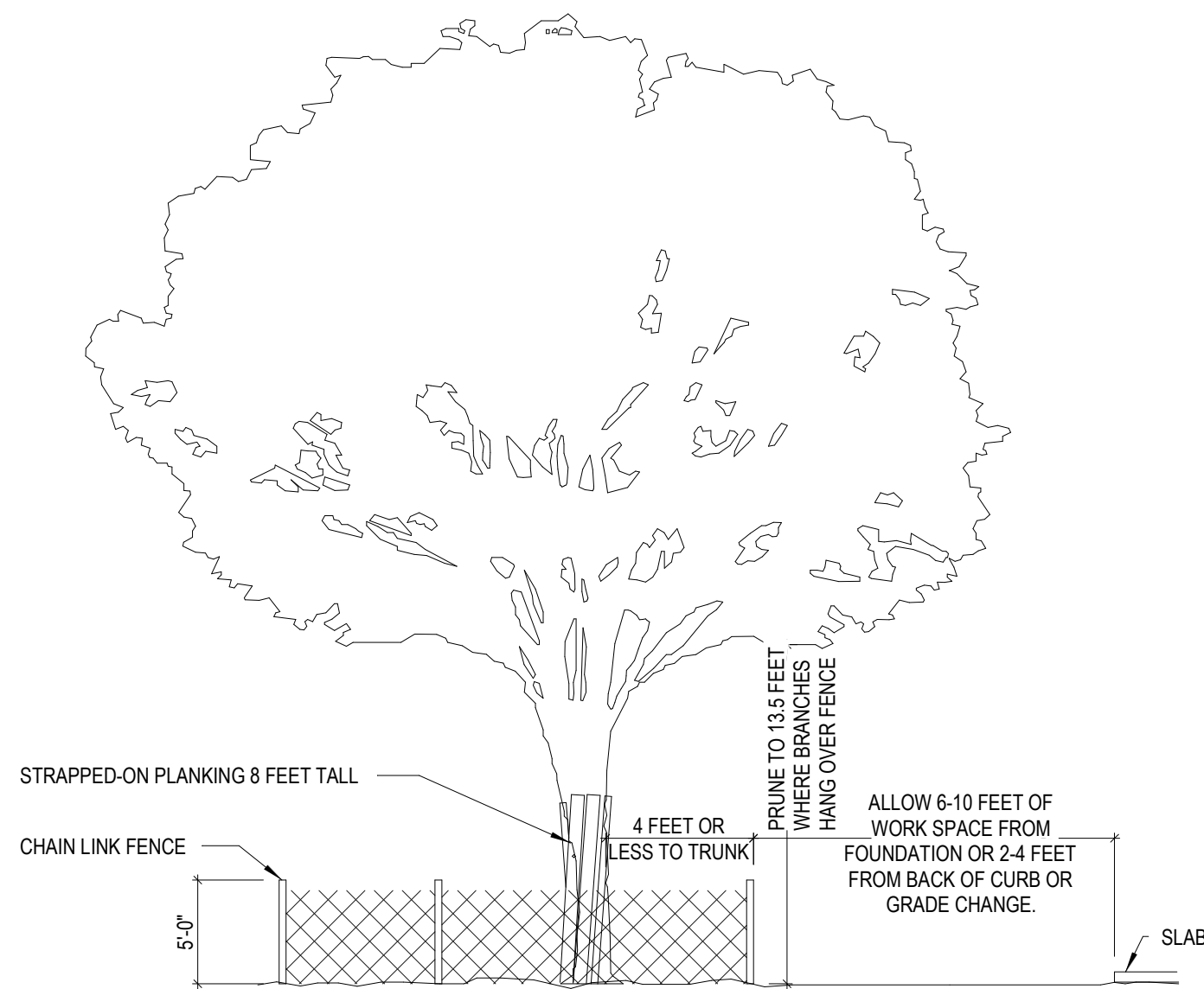


Protective fences should be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.

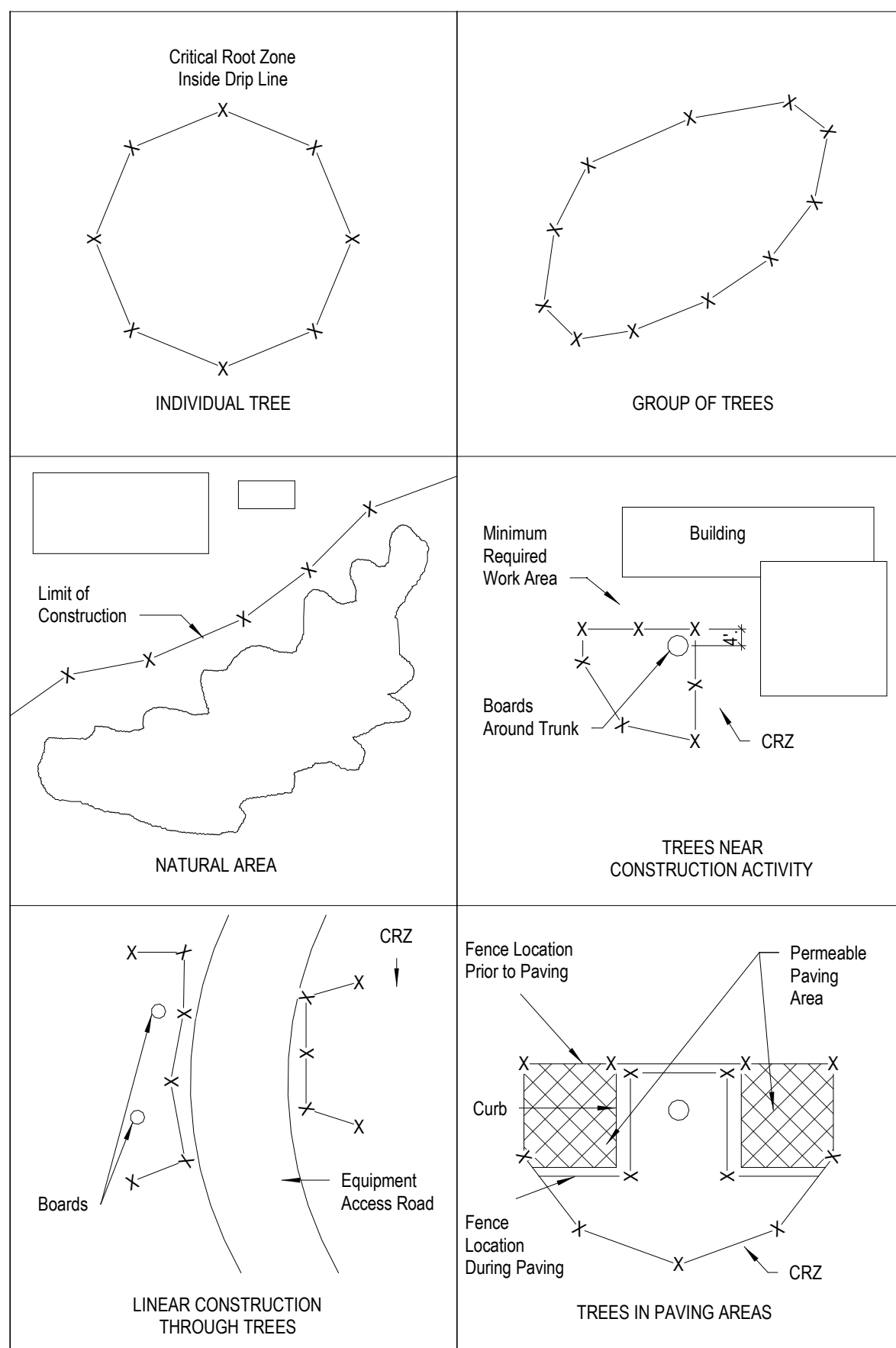


NOT TO SCALE

CHAIN LINK FENCE, PRUNING AND PLANKING



1. Where there is to be an approved grade change, impermeable paving surface, tree well, or other such development, erect the fence approximately 2 to 4 feet behind the area in question.
2. Where permeable paving is to be installed within tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separate prior to paving installation to minimize root damage).
3. Where trees are close to proposed buildings, erect the fence to allow 6 to 10 feet of work space between the fence and the building.
4. Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 feet (or to the limits of lower branching) in addition to the reduced fencing provided.
5. All branches that hang over the fence shall be pruned to a minimum height of 13.5 feet or higher if required for equipment clearance.



TREE PROTECTION NOTES: SECTION 24.02.405 (N)

Protected trees not approved for removal shall be protected in accordance with the following tree protection notes and other applicable regulations of this article. These notes shall be included in each set of construction drawings for both residential and non-residential construction.

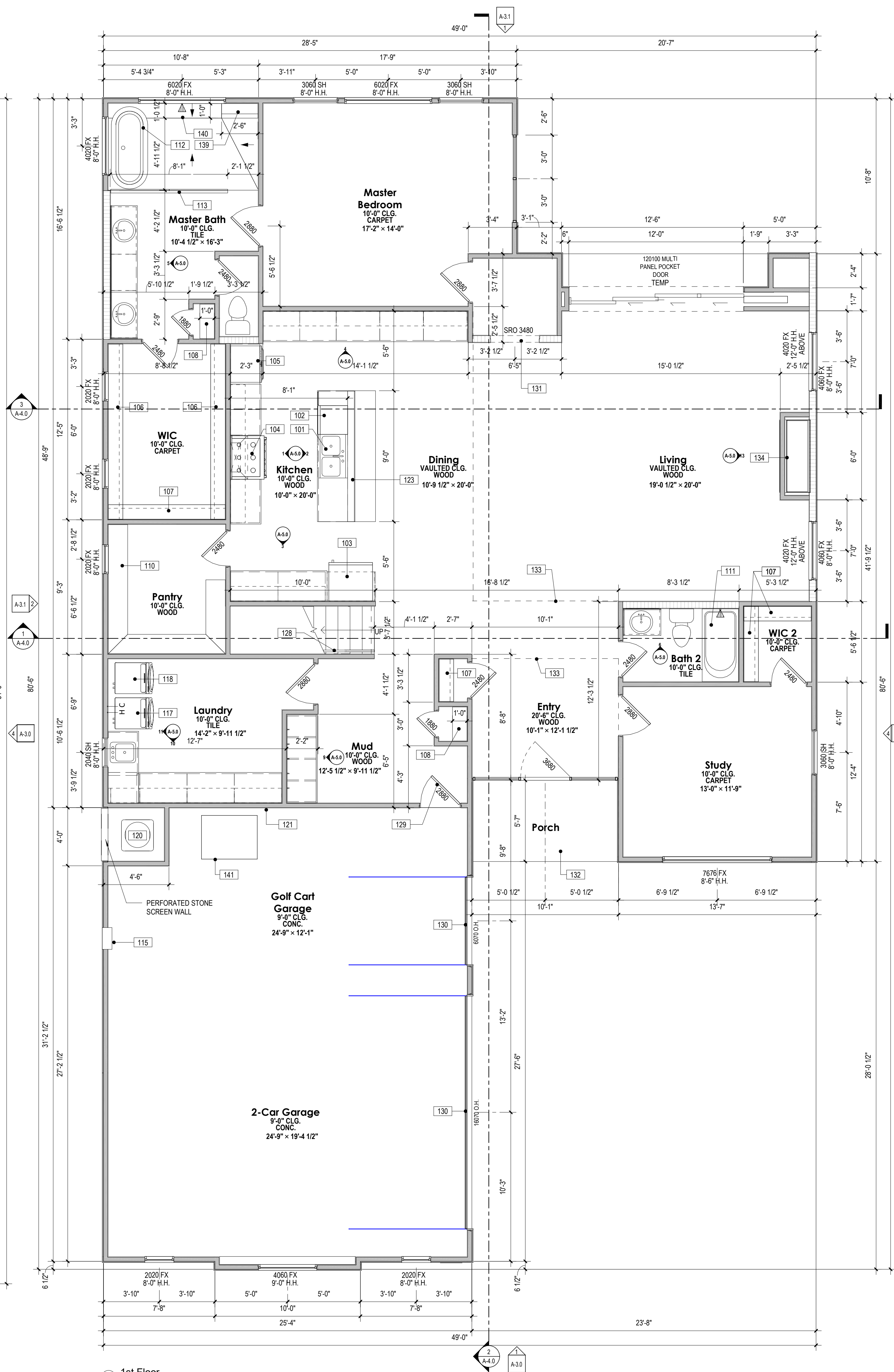
- (1) All trees not located within the limits of construction and outside of disturbed areas shall be preserved.
- (2) All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing.
- (3) Protective fences shall be erected according to City of Austin Standards for Tree Protection as adopted by the city.
- (4) Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing, or grading), and shall be maintained throughout all phases of the construction project.
- (5) Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil buildup within tree drip lines.
- (6) Protective fences shall surround the trees or group of trees and will be located at the outermost limit of branches (drip line), or for natural areas, protective fences shall follow the limit of construction line, in order to prevent the following:
 - (A) Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials.
 - (B) Root zone disturbance due to grade changes.
 - (C) Wounds to exposed roots, trunk or limbs by mechanical equipment.
 - (D) Other activities detrimental to trees such as chemical storage, cement truck cleaning and fires.
- (7) Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - (A) Where there is to be an approved grade change, impermeable paving surface tree well, or other such site development, erect the fence approximately two (2) to four (4) feet behind the area in question.
 - (B) Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately prior to paving installation to minimize root damage).
 - (C) Where trees are close to proposed buildings, erect the fence to allow six (6) to ten (10) feet of work space between the fence and the building.
- (8) Where any of the above exceptions result in a fence being closer than four (4) feet to a tree trunk, protect the trunk with strapped-on planking to a height of eight (8) feet (or to the limits of lower branching) in addition to the reduced fencing provided.
- (9) Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- (10) Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality topsoil as soon as possible. If exposed root areas are not backfilled within two (2) days, cover them with organic material in a manner which reduces soil temperature and minimize water loss due to evaporation.
- (11) No landscape topsoil dressing greater than four (4) inches shall be permitted within the drip line of trees. No soil is permitted on the root flare of any tree.
- (12) Pruning to provide clearance for structures, vehicular traffic and equipment shall take place before damage occurs (ripping of branches, etc.).
- (13) All oak tree cuts, intentional or unintentional, shall be painted immediately (within ten (10) minutes). Tree paint must be kept on site at all times.
- (14) Deviations from the above notes may be considered ordinance violations if there is substantial noncompliance or if a tree sustains damage as a result.
- (15) All branches that hang over the fence shall be pruned to a minimum height of thirteen and one-half (13.5) feet or higher if required for equipment clearance.

419 Hazeltine
419 Hazeltine Drive, Lakeway, Texas
78734

PLOT DATE: 5/24/2022 8:17:01 AM
PROJECT NUMBER: Project Number
DRAWN BY: Author
CHECKED BY: Checker

Tree Protection

A-0.2

[illegible]

[illegible][illegible]

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419 Hazeltine Drive, Lakeway, Texas
78734

STAMP:

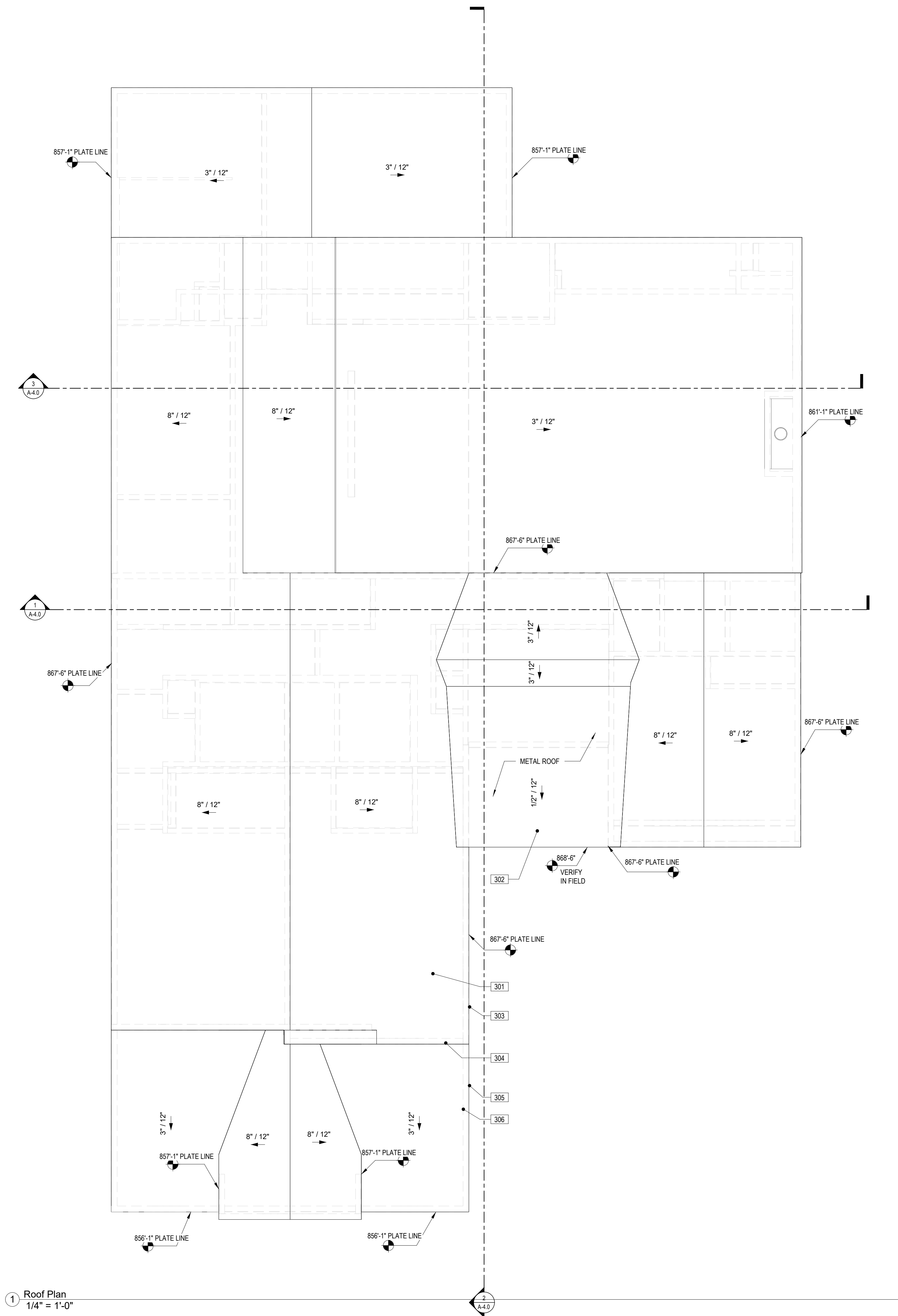


PLOT DATE: 5/24/2022 8:17:07 AM
PROJECT NUMBER: Project Number
DRAWN BY: Author
CHECKED BY: Checker

SHEET NAME:
Roof Plan

SHEET NUMBER:

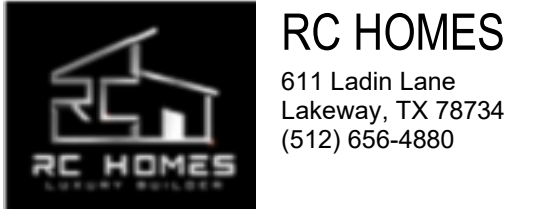
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#	DESCRIPTION
201	ASPHALT SHINGLES PER SPECS
202	STANDING SEAM METAL ROOF PER SPECS
203	HARDIE SIDING 4" - TYP.
204	STUCCO WALL FINISH
205	4" FRIEZE - TYP.
206	4" CORNER TRIM - TYP.
207	4" TRIM BOARD - TYP.
208	BARN LAMP
209	14"x24" LVR. VENT
210	AC UNIT ON CONCRETE PAD - VERIFY SIZE AND LOCATION
211	4" x 16" WOOD TRELLIS BEAMS, ALIGNED TO 2ND FLOOR, SEE SECTION 2 FOR SIZING
212	6"x2" HARDIE GARAGE HEAD TRIM
213	STREET ADDRESS WITH 4" HIGH BLOCK LETTERS

FOOTAGE AND ROOM DIMENSIONS ARE APPROXIMATE. ALL DRAWINGS AND SPECIFICATIONS EXPRESSLY RESERVE THE PROPERTY OF SOUTHWEST DESIGN STUDIO, INC. PURCHASERS RISK IS CONSIDERABLE, AND THE CONTRACTOR IS LIMITED TO A ONE-TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE LOT STATED HEREIN, AND USE OF ANY OTHER DIMENSIONS OR SPECIFICATIONS OF THESE DRAWINGS FOR ANY OTHER PROJECT IS STRICTLY PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSION OF SOUTHWEST DESIGN STUDIO, INC.

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SHEET NAME:

Elevations

SHEET NUMBER:
A-3.0



Keynote Legend - Elevations

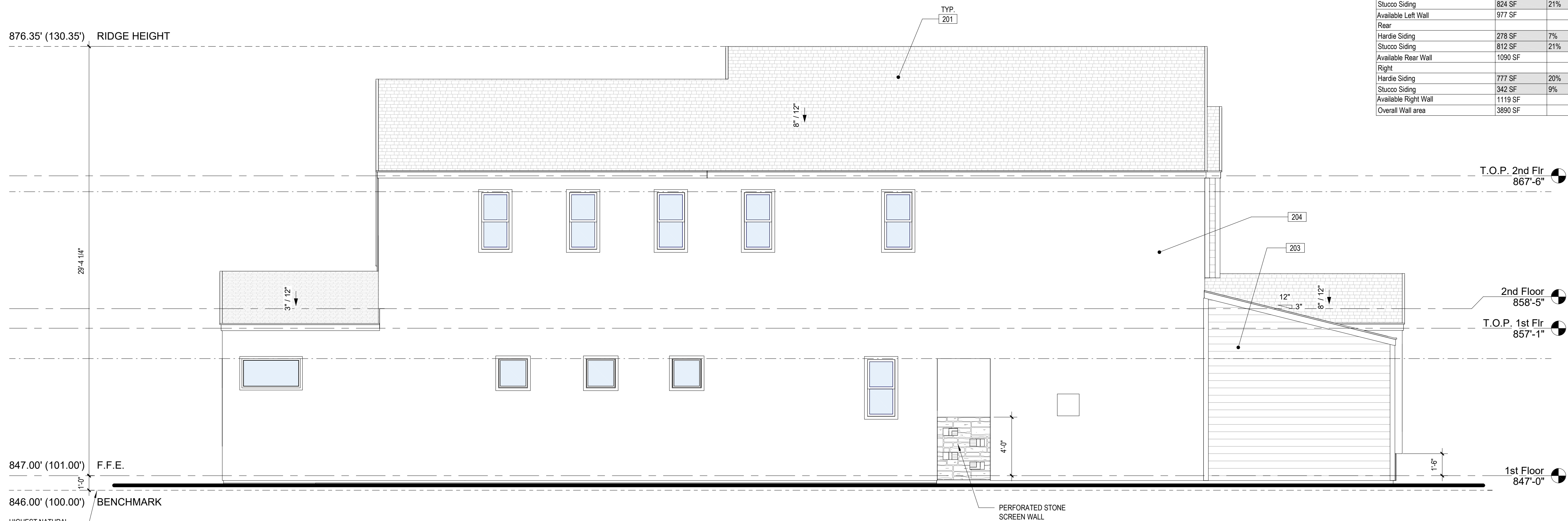
Southwest Design Studio, Inc.
 3821 Tordera Drive
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 512.636.4030
www.sw-ds.com

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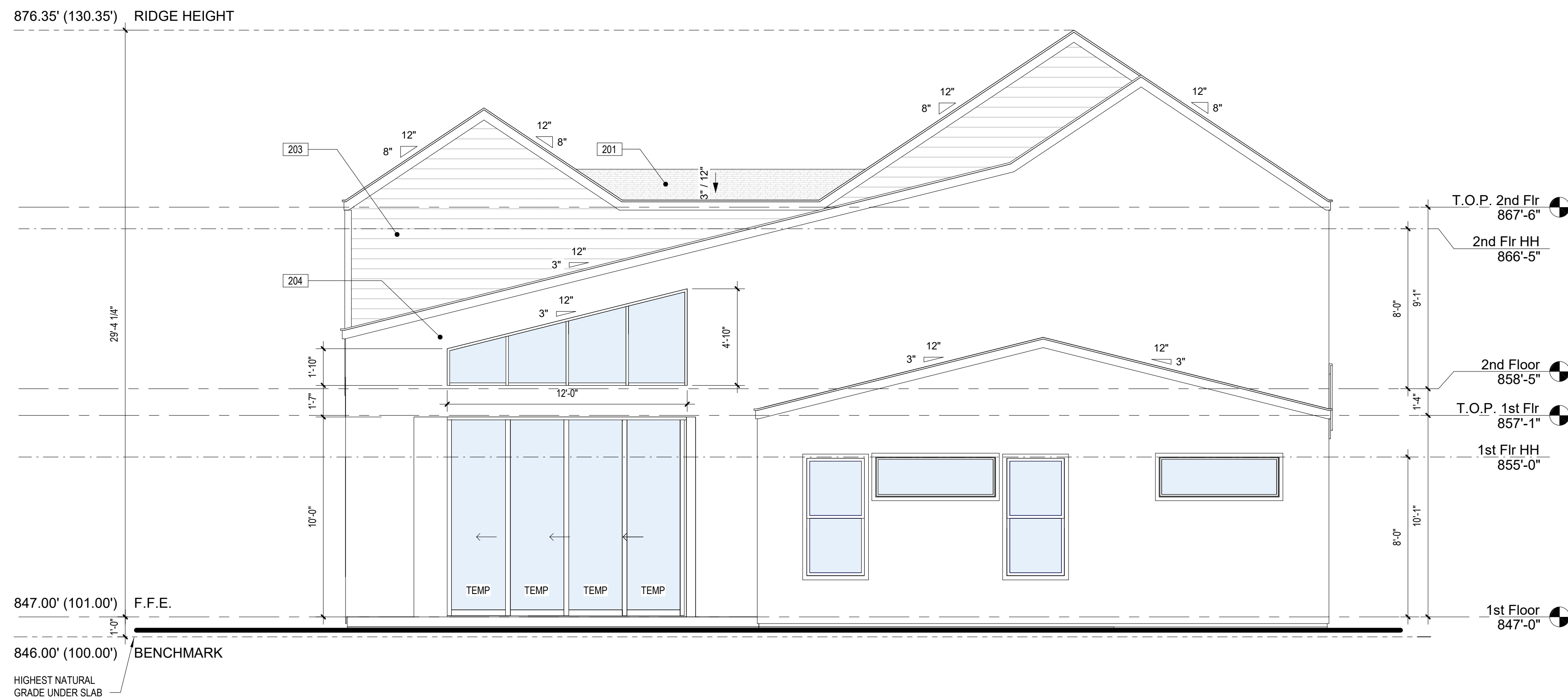
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RC HOMES
611 Ladin Lane
Lakeway, TX 78734
(512) 656-4880



② Left Elevation
1/4" = 1'-0"

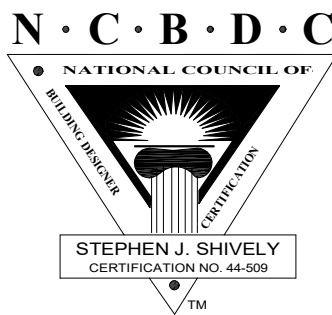


① Rear Elevation
1/4" = 1'-0"

419 Hazeltine

419 Hazeltine Drive, Lakeway, Texas
78734

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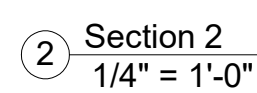
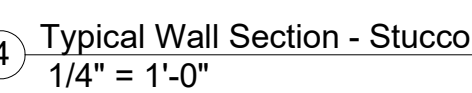
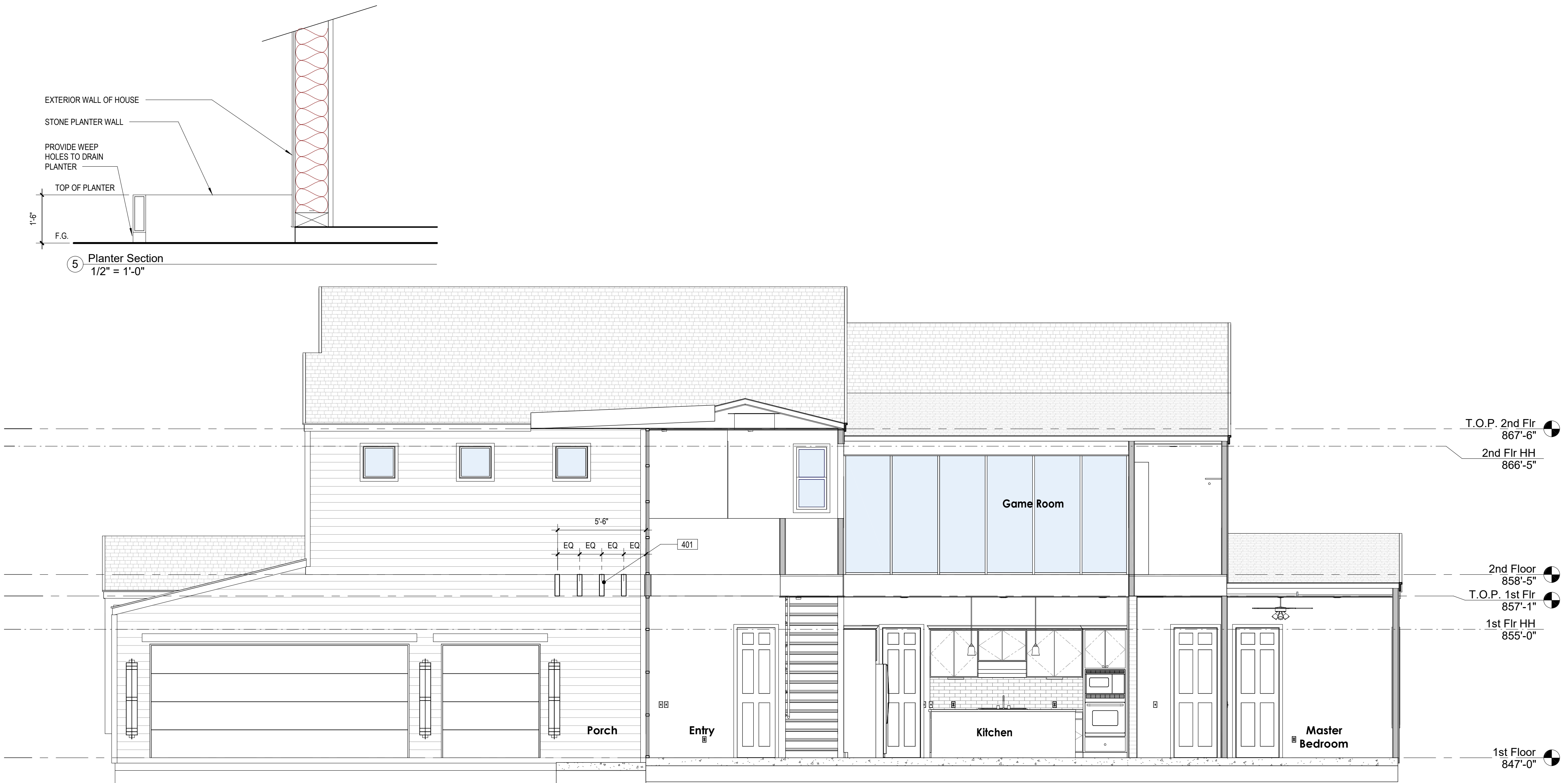
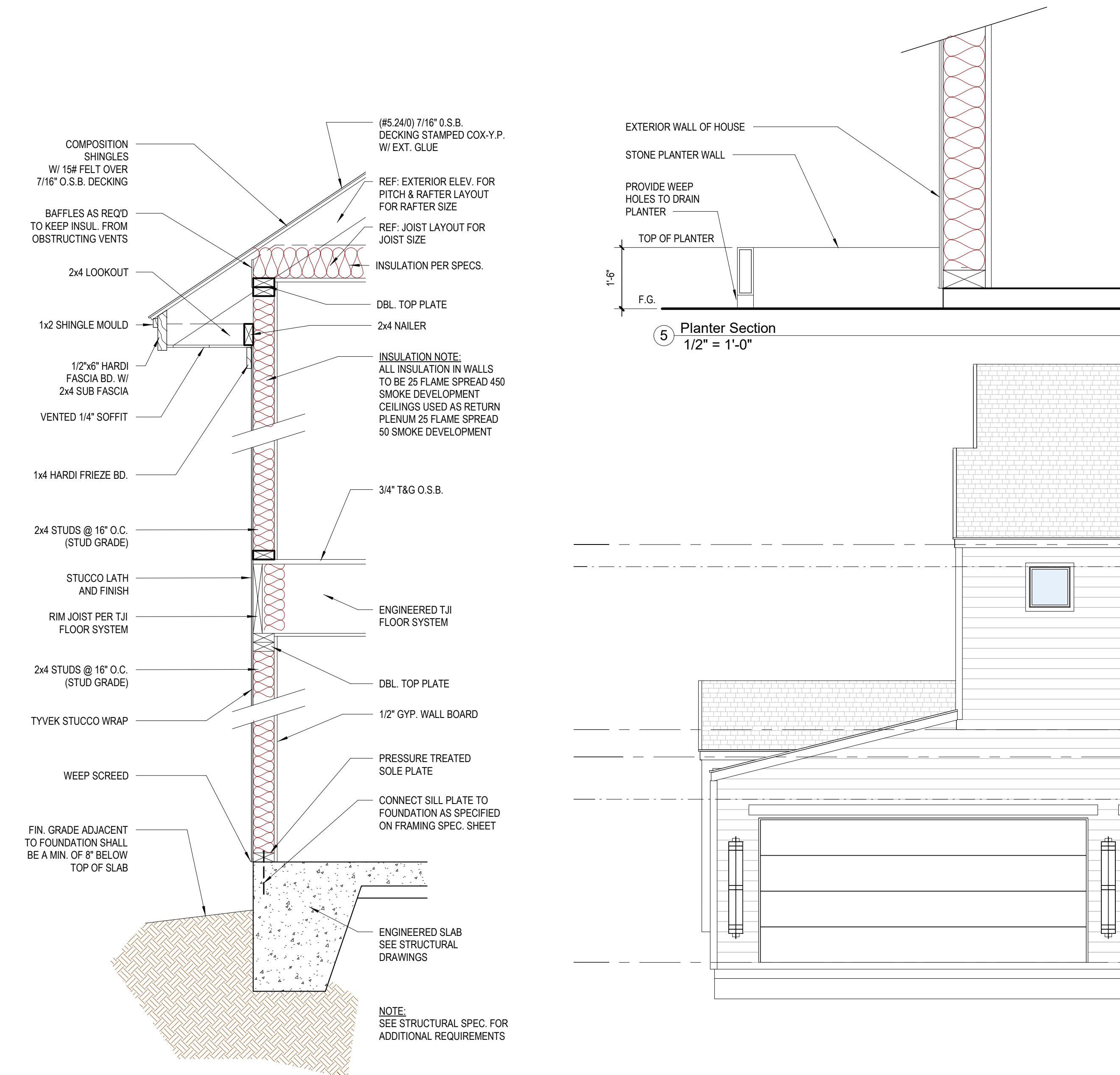
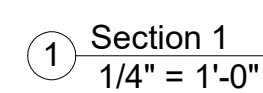
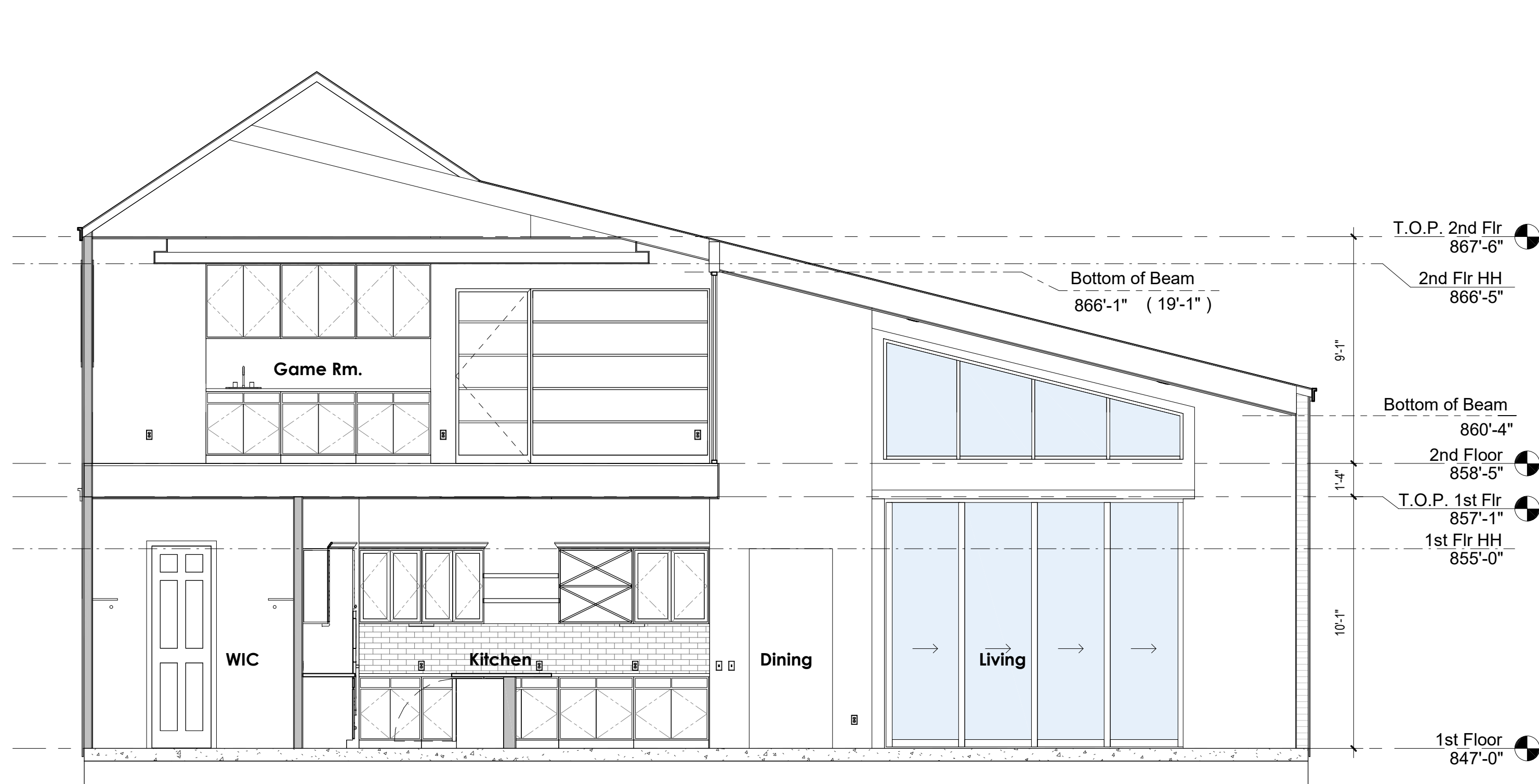


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PROJECT NUMBER: Project Number
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Elevations

SHEET NUMBER:


A-3.1



Keynote Legend

#	DESCRIPTION
401	4" X 16" WOOD TRELLIS BEAMS, ALIGNED TO 2ND FLOOR
402	CEILING BEAMS


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LUXURY BUILDER

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SHEET NAME:
Sections

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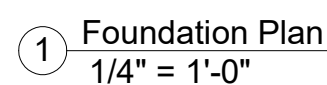
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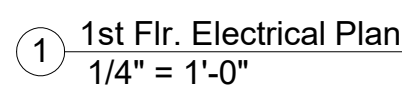
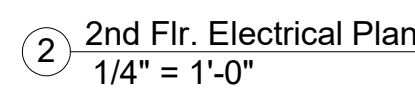
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SHEET NAME:
Foundation Plan

A-6.0





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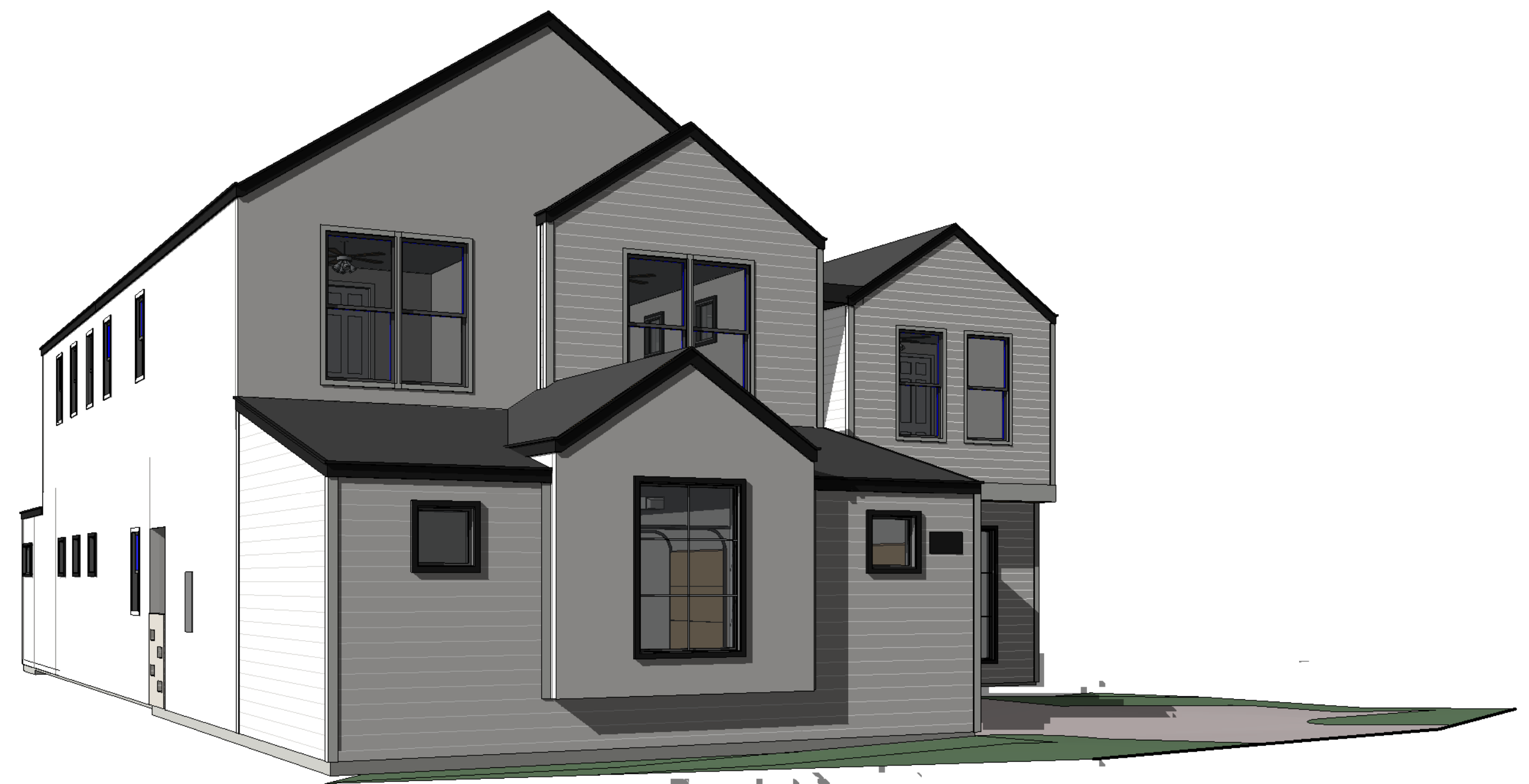
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SHEET NAME:
Electrical Plans

E-1.0



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SHEET NAME:
3D Renders

SHEET NUMBER:

R-1.0