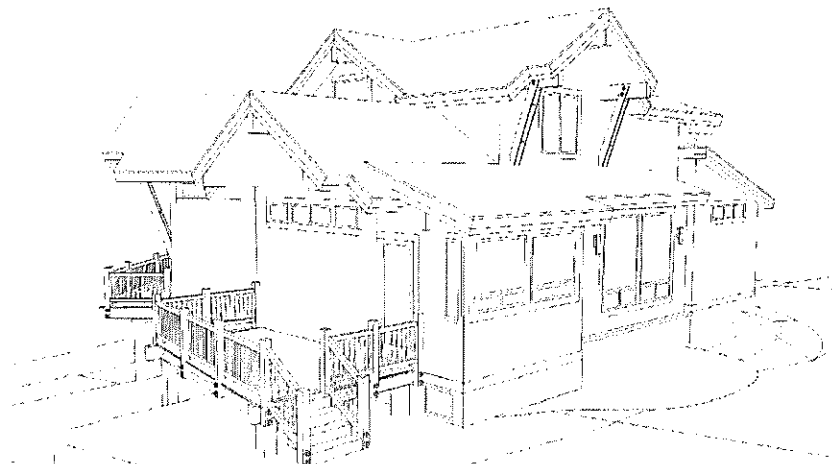


THORNVIEW RETREAT ADDITION



EXTERIOR VIEW OF PROPOSED ADDITION

GENERAL NOTES

- 1) **CONTRACTOR:**
All plans, designs, and concepts shown in these drawings are the exclusive property of bhh Partners, Planners and Architects, LLP, and shall not be used, duplicated, or reproduced for any purpose without the written permission of bhh Partners.
- 2) **CONTRACTOR:**
The project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for obtaining all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) **FIELD VERIFICATION:**
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Verify all dimensions of any structure or discrepancy in the drawings immediately.
- 4) **FIELD VERIFICATION:**
Verify all dimensions shown on the drawings. Do not SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any correction or discrepancy for interpretation or clarification. Plans, drawings, and notes are to be used in conjunction with the drawings. Do not rely on the drawings alone for interpretation or clarification. Do not rely on the drawings alone for interpretation or clarification. Do not rely on the drawings alone for interpretation or clarification.
- 5) **DISCREPANCIES:**
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for completion of any aspect of the project, the Contractor shall notify the Architect. Failure to give timely notice shall relieve the Architect of responsibility. Do not proceed in event of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) **DUTY OF COOPERATION:**
Release of these plans constitutes further cooperation among the Owner, the Contractor, and the Architect. Design and construction is complete. Although the Architect and the Contractor have performed their services with due care and diligence, they cannot guarantee perfection. Communication is required, and every discrepancy must be resolved. Any discrepancy or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect constitutes a breach of the contract. Failure to notify the Architect constitutes a breach of the contract. Failure to notify the Architect constitutes a breach of the contract.
- 7) **CHANGES TO THE WORK:**
Any items described herein that require project budget or time shall be requested from the Contractor via a written change order request prior to such work. The Contractor shall not proceed with any work without a written change order. Changes to the project or drawings shall be requested from the Architect. Changes to the project or drawings shall be requested from the Architect. Changes to the project or drawings shall be requested from the Architect.
- 8) **CONSTRUCTION:**
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, and equipment to complete the job within the recognized standards of the industry.
- 9) **LIABILITIES:**
Retention of "seal" products will be acceptable with Architect's written approval. See specifications.
- 10) **CONSTRUCTION SAFETY:**
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of workers and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) **ERIGEMENT PROCEDURES:**
Upon completion of any construction, the Owner shall retain a soils engineer to inspect the subsoil conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) **FIELD CUTTING OF STRUCTURAL MEMBERS:**
The General Contractor and Subcontractors shall field cut concrete and obtain approval from Engineer before any cutting, sawing or grouting of any cast-in-place concrete, steel framing, or any other structural element shall be made. The structural integrity of the building shall be maintained. See specifications. Structural drawings for foundation requirements.
- 13) **SEALANT CONDITIONS:**
The Owner has been advised that due to harsh winter conditions, seal and sealant shall not be made and sealant shall be applied and applied to ensure proper adhesion with these surfaces. All roofing, roofing materials, and waterproofing shall be approved in writing by product manufacturer prior to installation, and prior to proceeding with any work, failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) **BUILDING AREA:**
Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) **PROJECT STAKES:**
The General Contractor shall verify all existing grades and stakes at building corners and the driveway location for Owner/Architect and Architect approval prior to beginning any site clearing.
- 16) **SITE DISTURBANCE:**
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) **PROJECT CRACKS:**
The General Contractor shall check and verify all ground including paved areas before pouring any foundations. Survey work should be verified in detail. See sections 9 and 10.
- 18) **EXTERIOR MATERIAL STOCK-UP:**
The General Contractor shall provide a stock-up of all exterior materials for review by the Owner, Architect and SOILS ENGINEER. The stock-up shall be provided and signed off in writing prior to any exterior work or exterior materials. The stock-up shall be provided and signed off in writing prior to any exterior work or exterior materials. The stock-up shall be provided and signed off in writing prior to any exterior work or exterior materials.

BID ALTERNATES

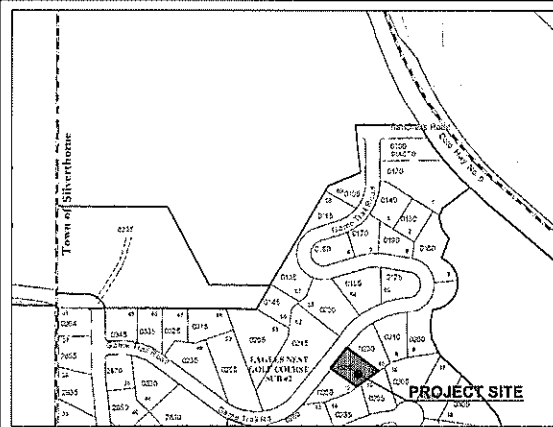
- ALTERNATE NO. 1: ALTERNATE INSULATION SYSTEMS
- ALTERNATE NO. 2: INSULATION UPGRADE
- ALTERNATE NO. 3: FLOORING WALL WATERPROOFING
- ALTERNATE NO. 4: SEALANT UPGRADE
- ALTERNATE NO. 5: EXTERIOR FINISH FLOORING
- ALTERNATE NO. 6: FLOORING UPGRADE
- ALTERNATE NO. 7: EXTERIOR DESIGN OPTIONS
- ALTERNATE NO. 8: EXTERIOR DESIGN OPTIONS
- ALTERNATE NO. 9: EMERGENCY WATER SHUTOFF CONTROL
- ALTERNATE NO. 10: PROGRAMMABLE LIGHTING
- ALTERNATE NO. 11: CENTRAL HEATING
- ALTERNATE NO. 12: EXTERIOR DESIGN OPTIONS
- ALTERNATE NO. 13: EXTERIOR DESIGN OPTIONS
- ALTERNATE NO. 14: STEAM ENGINE
- ALTERNATE NO. 15: EXTERIOR FIRE PIT
- ALTERNATE NO. 16: ELEVATOR
- ALTERNATE NO. 17: CAMERA SYSTEM
- ALTERNATE NO. 18: WIRELESS SATELLITE DISH
- ALTERNATE NO. 19: STONE PATIO
- ALTERNATE NO. 20: MOTORIZED WINDOW SHADERS
- ALTERNATE NO. 21: ASPHALT DRIVE
- ALTERNATE NO. 22: ENVIRONMENTAL PRODUCTS

ORIGINAL PLANS

REFER TO ORIGINAL DRAWING PLANS DATED 07/16 FOR SPECIFICATIONS, DETAILS AND CONSTRUCTION REQUIREMENTS.

THESE DRAWINGS ARE SUPPLEMENTARY TO THE ORIGINAL PLANS.

VICINITY MAP



AREA CALCULATIONS

	UNFINISHED	FINISHED	TOTAL
LOWER	676 SF	123 SF	1,147 SF
MAIN	0 SF	173 SF	173 SF
UPPER	0 SF	743 SF	743 SF
TOTAL	676 SF	1,039 SF	1,715 SF

NOTE: SQUARE FOOTAGE ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

FIRE SPRINKLER SYSTEM

VERIFY SIZE OF WATER SERVICE LINE PROVIDE FDC AT ENTRY AREA AS 6-HOUR PROVIDE NFPA 88B SYSTEM PROVIDE SIZE WALL HEADS TO GREATEST EXTENT POSSIBLE PROVIDE SUFFICIENT FOR AUTOMATIC FIRE SPRINKLER SYSTEM.

FINISHED FLOOR ELEV.

	USG.B. ARCHITECTURAL
LOWER - T.O. CONC.	8'10" 100'-0"
ENTRY - T.O. FLYTUD	8'18" 105'-0"
MAIN - T.O. FLYTUD	8'12" 11'-0"
UPPER - T.O. FLYTUD	8'10" 12'-0"

SHEET INDEX

- T-1 TITLE SHEET & NOTES
- B-1 SITE PLAN
- A-11 MAIN LEVEL PLAN
- A-12 ROOF PLAN
- A-21 BUILDING ELEVATIONS
- A-22 BUILDING ELEVATIONS
- A-31 BUILDING SECTIONS
- A-32 BUILDING SECTIONS AND PERSPECTIVES
- B1 FOUNDATION PLAN

LEGAL DESCRIPTION

LOT 8
RANGE 188T PLUG 13
S. 100S 22.71, 0.095 ACRES
140 EAST TRAIL ROAD
SILVERTHORNE, CO

OWNER:	ARCHITECT:	CONTRACTOR:	STR'L ENGINEER:	SOILS ENGINEER:	SURVEYOR:
JOHANN NICHOLAS/REBECCA REYNOLD P.O. BOX 181 SILVERTHORNE, COLORADO 80558 (303) 750-181 nicholas@reynold.com	bhh Partners, Planners and Architects 160 EAST ADAMS STREET P.O. BOX 181 SILVERTHORNE, CO 80558 (303) 488-8888 info@bhhpartners.com	SPRINT BUILDERS P.O. BOX 4871 SILVERTHORNE, CO 80558 (303) 750-181 sprintbuilders@bhh.com	ENGINEERS DESIGNWORKS, INC. 140 AVENUE ROAD P.O. BOX 181 SILVERTHORNE, CO 80558 (303) 488-8888 info@engdesignworks.com	140 AVENUE ROAD P.O. BOX 181 SILVERTHORNE, CO 80558 (303) 488-8888 info@engdesignworks.com	RANGE 188T SURVEYORS BOB JOHN P.O. BOX 181 SILVERTHORNE, COLORADO 80558 (303) 488-8888 info@engdesignworks.com

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bhh Partners
P.O. BOX 181
SILVERTHORNE, CO 80558
THORNVIEW RETREAT ADDITION
248 GARDEN TRAIL ROAD, LOT 11, PLUG 13, 0.095 ACRES, SILVERTHORNE, CO 80558

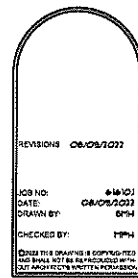
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SHEET NUMBER
T1.1
TITLE SHEET, GENERAL
NOTES, SCHEDULES AND
INFORMATION

1. ELECTRIC, CABLE TV, AND TELEPHONE UNDERPASS IN CONFORM WITH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY NOTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAHIC INFORMATION OBTAINED FROM RAISE LOTS LAND SURVEYING
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1/2 IN)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION CHAIN LOCATION AND SLOPE. DRAINS TO BE ADJUSTED TO DRAINAGE TO NATURAL DRAIN
6. PLANT ALL TREES FOR CULVER, PRIOR TO FINISHING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SHOW FENCE OR OTHER APPROVED BARRIERS DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE ROP RAMP OVER SLOPED BARRIER BARRELS AT EAVES AND VALLEY DRAIN LOCATIONS
9. FINISH HOUSE LOCATION FOR CULVER, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
10. ORIGINAL CONTRACTOR TO REVIEW A COPY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. TREES TO BE REMOVED TO ALLOW FOR BARRIER CHAINING WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY THE HOA AND TOWN OF BELLEVILLE

EXISTING MINOR	_____	DRAINAGE ARROW	_____
EXISTING MAJOR	_____		
PROPOSED	_____	SPOT GRADE AT DOT	<u>8.976</u>

	SG. FT.	PERCENTAGE
BUILDING (INCLUDES OVERHANGS, DECKS AND PATIOS)	3,032 SF.	8%
HAZARDOUS (DRIVEWAY)	1,600 SF.	5.4%
OPEN SPACE	37,617 SF.	73%
TOTAL LOT SIZE	46,309 SF.	100%

	SQ. FT.	PERCENTAGE
LANDSCAPE (PATIOS, WALKS & DRIVEWAY)	1700 SF.	100%
REG'D SNOW STACK (25% OF LANDSCAPE)	425 SF.	25%
TOTAL SNOW STACK PROVIDED	425 SF.	25%



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THORNVIEW RETREAT ADDITION

dh
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P.O. BOX 931 160 EAST ADAMS

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SHEET NUMBER

SP1.1

SITE PLAN

MAINTENANCE NOTE:

MAINTENANCE NOTE:
THE OWNER HAS BEEN ADVISED THAT ALL ROOF AND
DECK SURFACES MUST BE MAINTAINED RELATIVELY FREE
OF SNOW & ICE.

ROOFING NOTE:

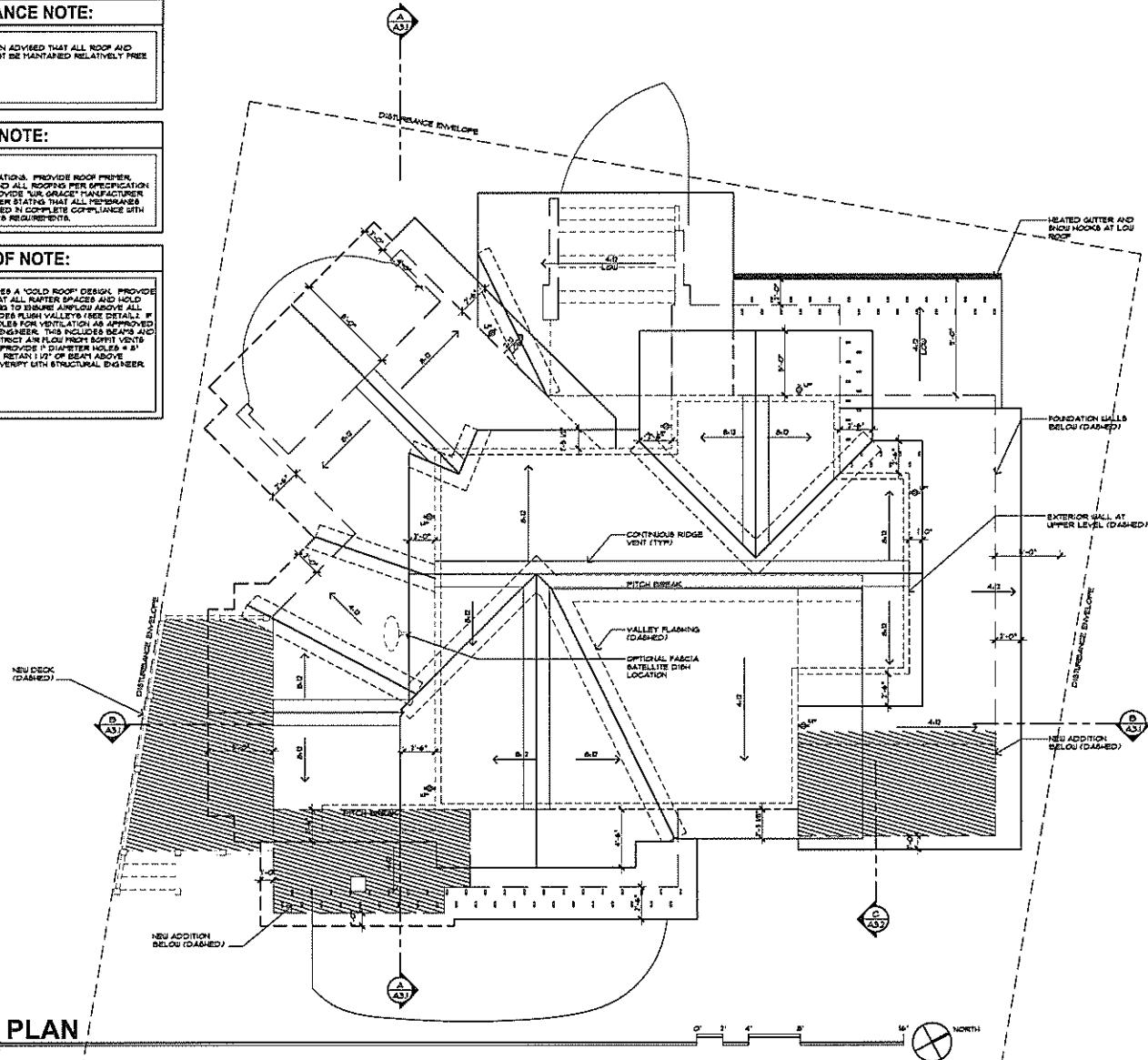
ROOFING NOTE:
REFER TO SPECIFICATIONS. PROVIDE ROOF PRIMER,
ROOF MEMBRANE AND ALL ROOFING PER SPECIFICATION
REQUIREMENTS. PROVIDE "TIE GRACES" MANUFACTURER
CERTIFICATION LETTERS STATING THAT ALL TESTS HAVE
BEEN INSTALLED IN COMPLETE COMPLIANCE WITH
ALL MANUFACTURER'S REQUIREMENTS.

COLD ROOF NOTE:

THIS PROJECT INCLUDES A "COLD ROOF" DESIGN. PROVIDE
INSULATION BATTLES AT ALL RAFTER SPACES AND HOLD
DOWN VALLEY FLASHING TO ENSURE AIRFLOW ABOVE ALL
VALLEYS. THIS INCLUDES FLASH VALLEYS (SEE DETAIL). IF
NECESSARY DRILL HOLES FOR VENTILATION AS APPROVED
BY THE STRUCTURAL ENGINEER. THIS INCLUDES DECKS AND
ALL AREAS THAT RESTRICT AIR FLOW FROM SOFT VENTS
UP TO ROOF VENTS. PROVIDE 1" DIAMETER HOLES @ 8'
O.C. IN THESE AREAS. RETAIN 1/2" OF BEAM ABOVE
VENTILATION HOLES. VERIFY WITH STRUCTURAL ENGINEER.

ROOF PLAN

SCALE: 1/4" = 1'-0"



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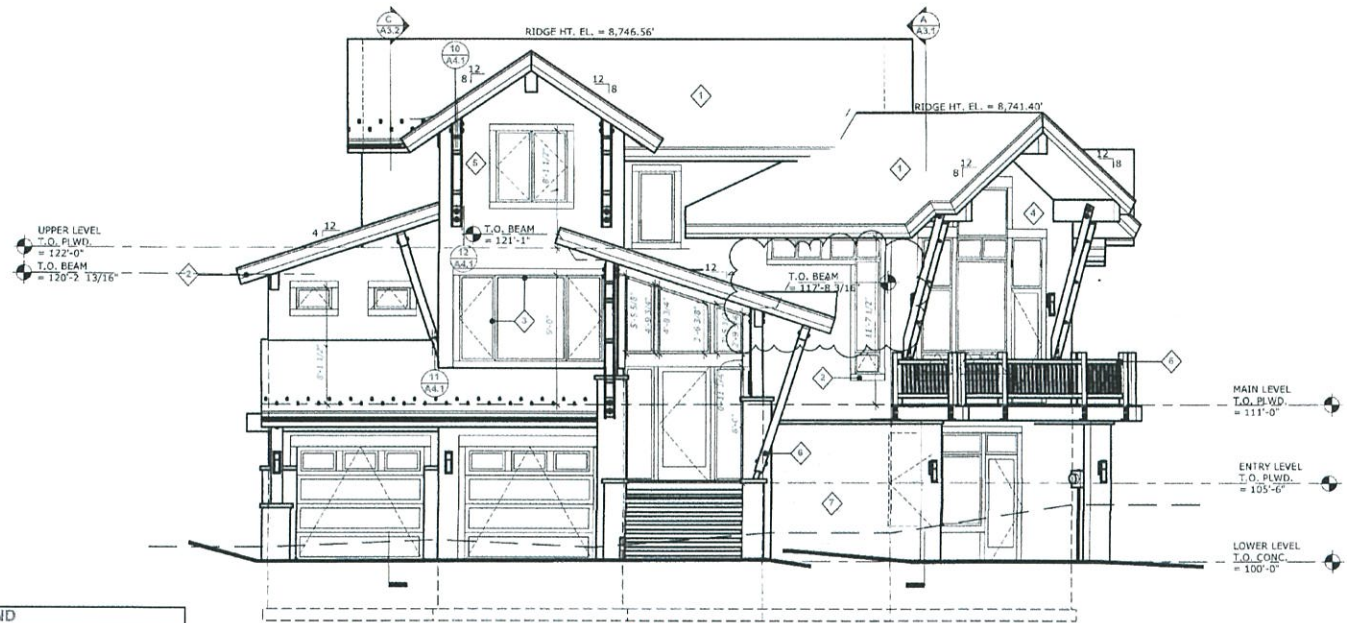
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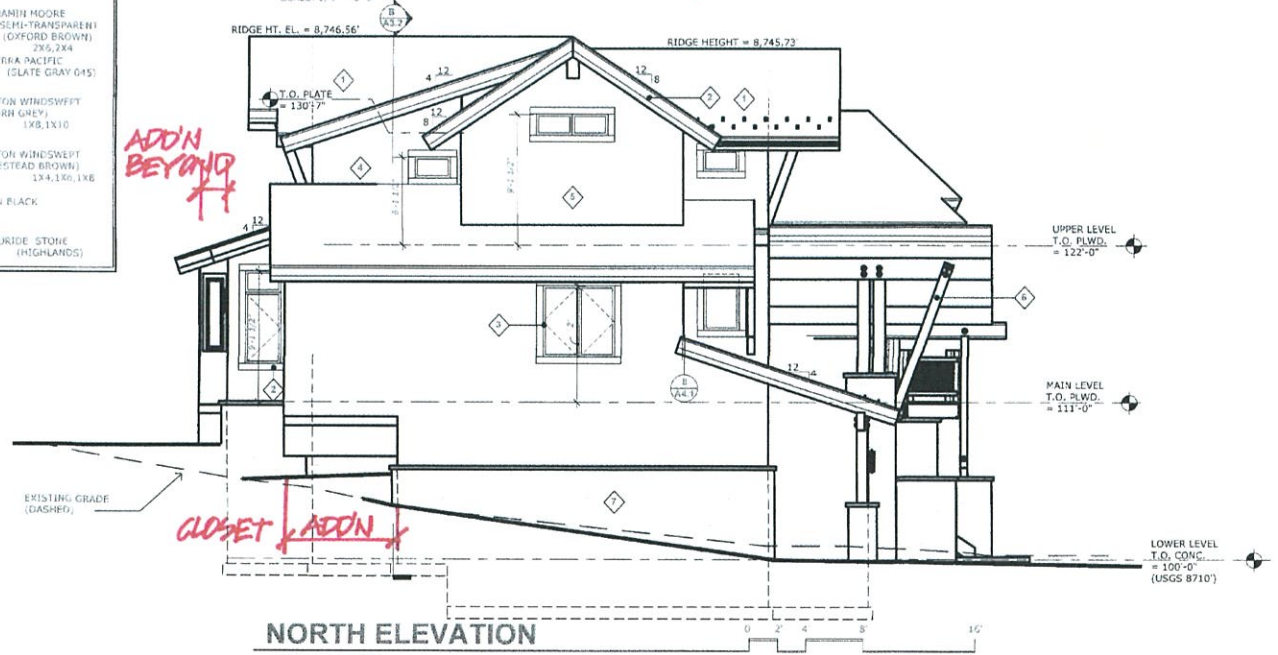
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ARCHITECTS, CO. LLC
240 GAME TRAIL ROAD, LOT 11, FLING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO
THORNVIEW RETREAT ADDITION

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SHEET NUMBER
A1.2
ROOF PLAN



WEST ELEVATION (NO WORK)

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

COLOR LEGEND	
◇ COMPOSITION SHINGLE ROOFING	- OWENS CORNING DURAVENT (ONYX BLACK)
◇ FASCIA & TRIM	- BENJAMIN MOORE SEMI-TRANSPARENT (OXFORD BROWN) 2X6, 2X4
◇ WINDOW CLAD	- STEREA PACIFIC (SLATE GRAY 045)
◇ HORIZONTAL BARNWOOD SIDING	- TETON WINDSWEEP (BARK GREY) 1X8, 1X10
◇ VERTICAL BARNWOOD SIDING	- TETON WINDSWEEP (HOMESTEAD BROWN) 1X4, 1X6, 1X8
◇ STEEL ELEMENTS	- SATIN BLACK
◇ STONE VENEER	- TELLURIDE STONE (HIGHLANDS)

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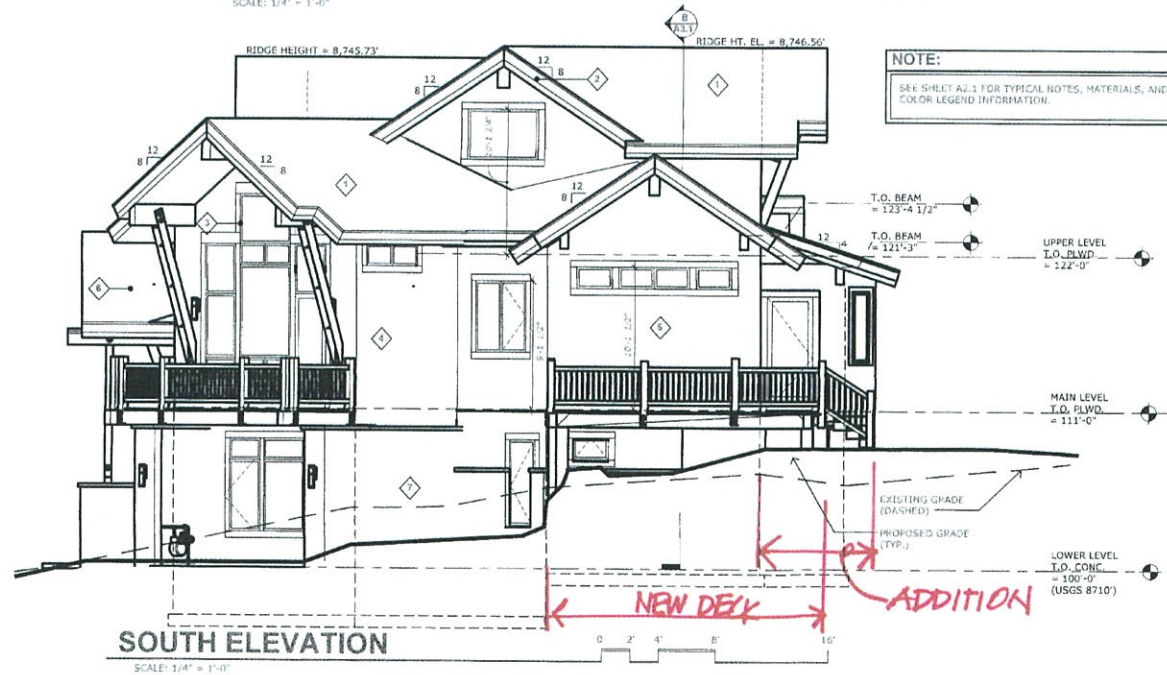
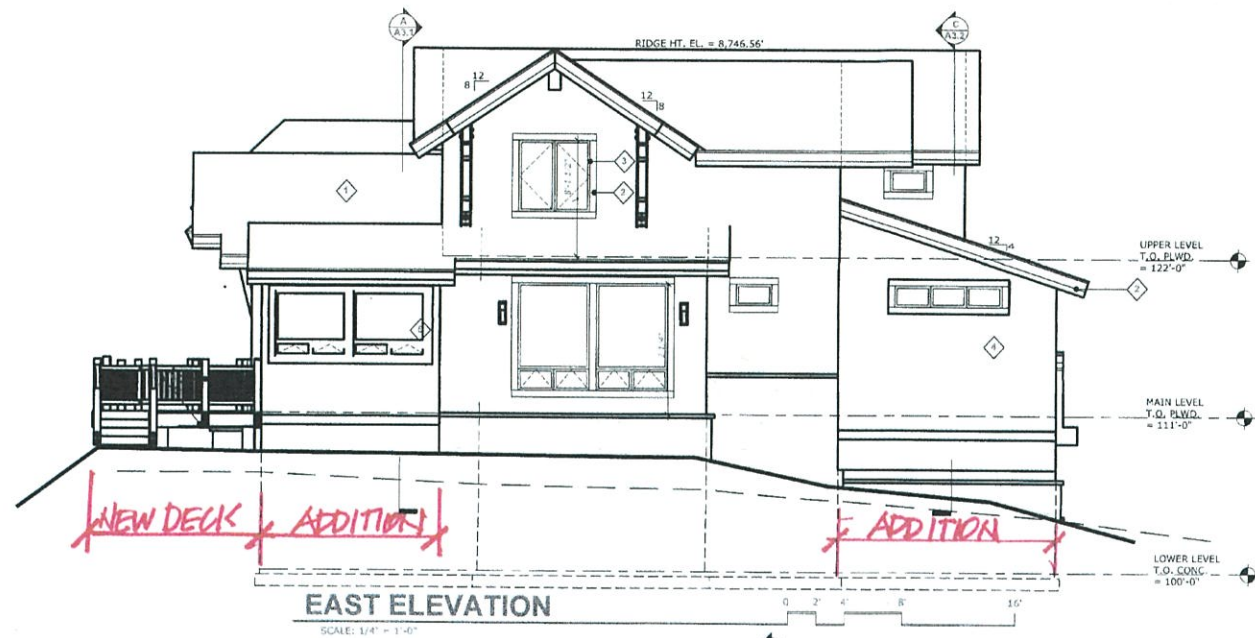
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THORNVIEW RETREAT ADDITION

A2.1
BUILDING ELEVATIONS



PROJECT: 05-0873

JOB NO. 11811.1
DATE 06/02/23
DRAWN BY T. CHAFFER
CHECKED BY M. HOGAN
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240 GOLF TRAIL ROAD, LOT 11, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

THORNVIEW RETREAT ADDITION

A2.2
BUILDING ELEVATIONS

TYPICAL ROOF ASSEMBLY:
SCHEDULED ROOFING (PER SPEC) OVER
WATERPROOF MEMBRANE (HOLD DOWN
3'-0" FROM RIDGES) OVER PLYWOOD
SHEATHING AND FRAMING (PER
STRUCTURAL) WITH R-48 INSULATION. SEE
DETAILS FOR HEADWALL AND ROOF VENTS.

TYPICAL EXTERIOR WALL:
HORIZONTAL OR VERTICAL SIDING (PER SPEC) &
ELEVATIONS OVER 1 LAYER 5 LB FELT OVER 1/2"
SHEATHING 2X6 STUDS # 16" O.C. WR-23 OR
TYVEK BATT INSUL. PROVIDE 5/8" DRYWALL OVER
4 MIL VAPOR BARRIER & INTERIOR.

TYPICAL FLOOR / CEILING:
1/2" GYP. CNTE OVER 3/4" PLYWOOD SUBFLOOR
(PER STRUCT.) OVER WOOD JOISTS (PER STRUCT.)
OR R-11 BATT INSUL. PROVIDE 5/8" GYP. BD AT
CEILING. PROVIDE 5/8" GYP. BD AT GARAGE
CEILING.

TYPICAL FOUNDATION WATERPROOFING:
AT FINISH, ROOF OF FOUNDATION IN WALL 2"
R-10 RIGID INSULATION OVER DRAIN MAT OVER
WATERPROOF MEMBRANE (IF REQUIRED BY
SOILS ENGINEER) PROVIDE DAMPROOFING AT
SIDE WALLS AND DOWNHILL WALLS.

MASS MITIGATION:
PROVIDE CONTINUOUS 4" DIA. RIGID PERFORATED
DRAIN PIPE IN GRAVEL PLACED UNDER SLAB. VENT
UP THRU ROOF TO OUTSIDE 3/4" DIA. PVC PIPE.
PROVIDE ELECTRICAL OUTLET NEAR PIPE FOR
FUTURE FAN IF REQUIRED. FAN (IF REQUIRED) TO BE
PLACED AS HIGH AS POSSIBLE IN ATTIC SPACE.
SEAL ALL SLAB PENETRATIONS AND JUNCTIONS.
VERIFY W/ SOILS ENGINEER.

TYPICAL SLAB:
CONCRETE FINE DRAINING LEVELING COURSE
FOR INSTALLATION OF VAPOR BARRIER OVER
R-10 RIGID POL. FACED (3/4") INSULATION & 6'-0"
WITH PERFORATED FOUNDATION WALL PRIOR TO
R-10 REINFORCED CONCRETE POUR. SEE
STRUCTURAL PLANS.

SECTION A

SCALE: 1/4" = 1'-0"

BUILDING ENVELOPE ENERGY SUMMARY

ROOF INSULATION: R-48
EXTERIOR WALLS: 2X6 (R-13)
WATERPROOF DECK: R-30 (CLOSED CELL FOAM)
HEATED SLAB EDGE: R-5 (VERT.)
HEATED UNDER SLAB: R-10 (HORIZ.)
EXTERIOR FOUNDATION WALLS BELOW GRADE: R-10
FURRED EXTERIOR WALLS BELOW GRADE: (2X4) R-5
EXTERIOR UNDEGROUND: U-FACTOR: 0.08 MAX.
CANTILEVERS: R-48

NOTE: VAPOR BARRIER AND 5/8" GYP. BD. TO BE
INSTALLED THROUGHOUT PRIOR TO ANY
INSTALLATION OF TUBS, DROPPED CEILING,
DROPPED ROOFING, UNDER-FRAME OR OTHER.

SEE PLANS AND SPECIFICATIONS FOR DETAILS
RELATED TO SPECIFIC INSULATION REQUIREMENTS
FOR EXTERIOR BUILDING ENVELOPE.

AIR BARRIERS / VAPOR BARRIERS

IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE
CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION
SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED
AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, ROOF
DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO
THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE
COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND
MAY BE CONTINUOUS AND UNIVERSAL PROVIDE AIR BARRIERS
AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL
OPENINGS. AIR BARRIERS CAN BE 6 MIL POLYETHYLENE
DRYFILM OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS
WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS
OUTLINED IN DIVISION VI. PROVIDE AND SCHEDULE A
PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW
THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.

SECTION B

SCALE: 1/4" = 1'-0"

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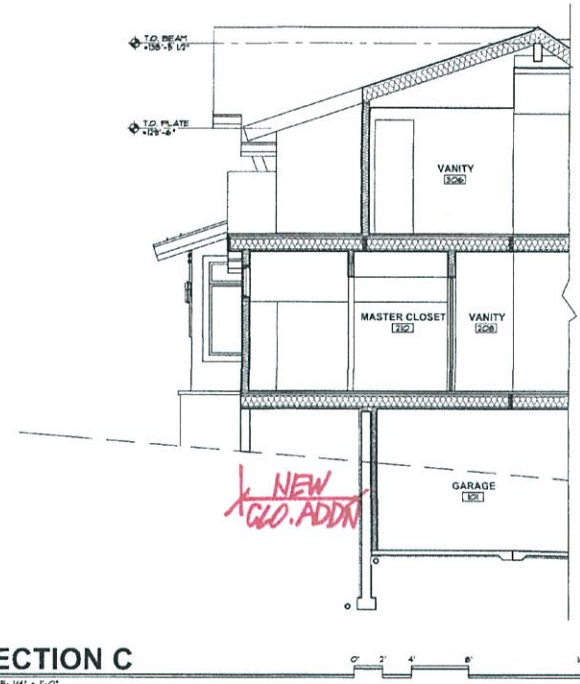
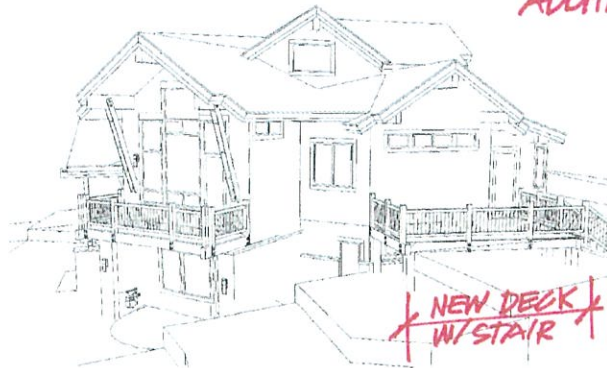
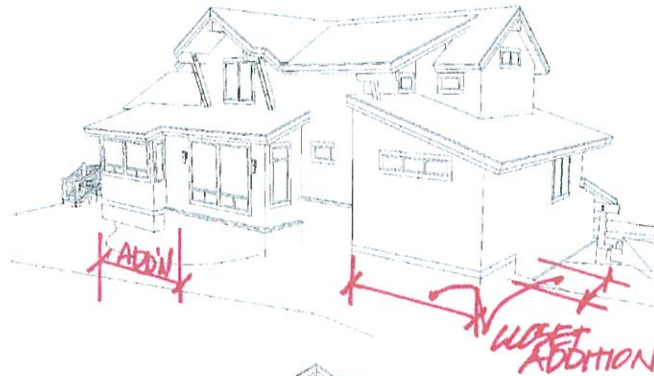
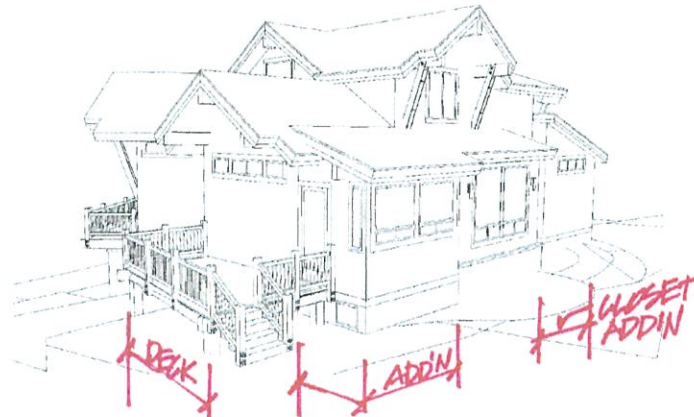
THORNVIEW RETREAT ADDITION
240 GAME TRAIL ROAD, LOT 11, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

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3000 S. WILLOW AVE., SUITE 200, DENVER, CO 80222
(303) 733-4020

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SHEET NUMBER

A3.1
SECTIONS



SECTION C

SCALE: 1/4" = 1'-0"

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PROJECT: BRECCHIONE, CT 06224 (375) 433-2886
FLOOR PLAN: NEW EAST ARMS

bhh Partners
THORNVIEW RETREAT ADDITION
240 GAME TRAIL ROAD, LOT 11, FLING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

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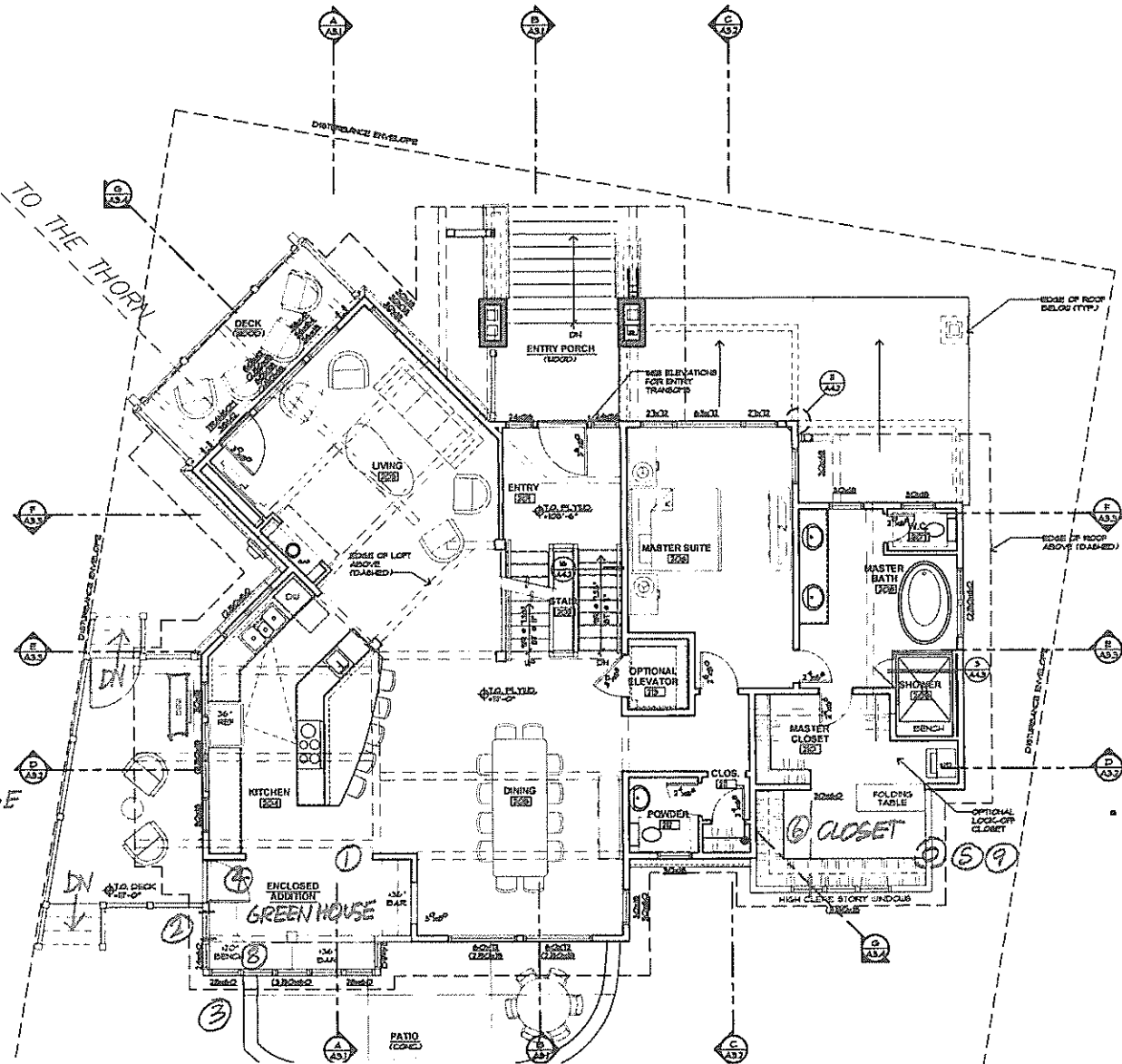
A3.2

SECTIONS
PERSPECTIVES

MAIN LEVEL ROOM FINISH SCHEDULE						
#	ROOM NAME	FLOOR	WALLS	CEILING	REMARKS	
201	ENTRY	WOOD	WOOD	WOOD	1.8	
202	STAIR	WOOD	WOOD	WOOD	1.8	
203	LIVING	WOOD	WOOD	WOOD	1.8, 4.8	
204	KITCHEN	WOOD	WOOD	WOOD	1.8, 4.8	
205	DINING	WOOD	WOOD	WOOD	1.8	
206	MASTER SUITE	CARPET	WOOD	WOOD	1.8	
207	BATH	TILE	WOOD	WOOD	1.8	
208	CL. CLOSET	TILE	WOOD	WOOD	1.8	
209	CL. CLOSET	TILE	WOOD	WOOD	1.8	
210	CL. CLOSET	TILE	WOOD	WOOD	1.8	
211	CL. CLOSET	TILE	WOOD	WOOD	1.8	
212	CL. CLOSET	TILE	WOOD	WOOD	1.8	
213	CL. CLOSET	TILE	WOOD	WOOD	1.8	
214	CL. CLOSET	TILE	WOOD	WOOD	1.8	
215	CL. CLOSET	TILE	WOOD	WOOD	1.8	
216	CL. CLOSET	TILE	WOOD	WOOD	1.8	
217	CL. CLOSET	TILE	WOOD	WOOD	1.8	
218	CL. CLOSET	TILE	WOOD	WOOD	1.8	
219	CL. CLOSET	TILE	WOOD	WOOD	1.8	
220	CL. CLOSET	TILE	WOOD	WOOD	1.8	
221	CL. CLOSET	TILE	WOOD	WOOD	1.8	
222	CL. CLOSET	TILE	WOOD	WOOD	1.8	
223	CL. CLOSET	TILE	WOOD	WOOD	1.8	
224	CL. CLOSET	TILE	WOOD	WOOD	1.8	
225	CL. CLOSET	TILE	WOOD	WOOD	1.8	
226	CL. CLOSET	TILE	WOOD	WOOD	1.8	
227	CL. CLOSET	TILE	WOOD	WOOD	1.8	
228	CL. CLOSET	TILE	WOOD	WOOD	1.8	
229	CL. CLOSET	TILE	WOOD	WOOD	1.8	
230	CL. CLOSET	TILE	WOOD	WOOD	1.8	
231	CL. CLOSET	TILE	WOOD	WOOD	1.8	
232	CL. CLOSET	TILE	WOOD	WOOD	1.8	
233	CL. CLOSET	TILE	WOOD	WOOD	1.8	
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236	CL. CLOSET	TILE	WOOD	WOOD	1.8	
237	CL. CLOSET	TILE	WOOD	WOOD	1.8	
238	CL. CLOSET	TILE	WOOD	WOOD	1.8	
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240	CL. CLOSET	TILE	WOOD	WOOD	1.8	
241	CL. CLOSET	TILE	WOOD	WOOD	1.8	
242	CL. CLOSET	TILE	WOOD	WOOD	1.8	
243	CL. CLOSET	TILE	WOOD	WOOD	1.8	
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298	CL. CLOSET	TILE	WOOD	WOOD	1.8	
299	CL. CLOSET	TILE	WOOD	WOOD	1.8	
300	CL. CLOSET	TILE	WOOD	WOOD	1.8	

WALL LEGEND	
	WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

- NOTES
- 1) PROVIDE NEW HEADER FOR 9'-OPENING LARGER OPENING (OK?)
 - 2) STUDY WINDOWS
 - 3) CRAWL SPACE W/ 2X4 TREATED WALLS AND ACCESS HERE
 - 4) OPTION FOR NEW DOOR HERE
 - 5) DROP IN NEW BEAM - FRAME FLOOR OVER & MATCH CONSTRUCTION TO GREEN HOUSE
 - 6) SUGGEST STORAGE LOFT BUILT INTO UPPER CLOSET AREA
 - 7) E.G. TO VERIFY IF HEATING SYSTEM CAN BE EXTENDED
 - 8) CORNER BENCH W/ PULL OUT DRAWERS
 - 9) CONCRETE PIER (DIG BY HAND)



REVISIONS

DATE: 7/14/22
 DRAWN BY: T. GARDNER
 CHECKED BY: M. HOGAN

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7/14/22
 6/16/10

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ENCLOSURE ADDITION
 BORTLES ADDITION

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 SHEET NUMBER

A1.2
 MAIN LEVEL PLAN