

THORNVIEW RETREAT

GENERAL NOTES

1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the property of BH Partners Planners and Architects, AIA/PC, and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.

2) CODES:
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.

3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.

4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for immediate clarification. Final dimensions are to the face of framing members, face of wood turing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.

5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of any responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.

6) DUTY OF COOPERATION:
Reliance of these plans anticipates further cooperation among the Owner, the Contractor and the Architect. Design and construction are complex. Although the Architect and His Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to notify the Architect results in a mutual misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect of responsibility for all consequences.

7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgement of increase in contract sum or time. Changes from plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.

8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and General Contractor provide all labor, materials, transportation, supplies, equipment, etc. to obtain a complete job within the recognized standards of the industry.

9) SUBSTITUTION:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.

10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.

11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of any backfill. See specifications.
CONTRACTOR SHALL NOT FILL ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.

12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any steel, plate, or timber members, including any structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.

13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer, grade, or thickness, etc. prior to proceeding with any work. Failure to provide this written approval removes all responsibility for the work from the Architect.

14) BUILDING AREA:
Building areas are shown for code purposes only and shall be recalculated for any other use.

15) PROJECT STAKING:
The general contractor shall verify all existing grades and stake all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.

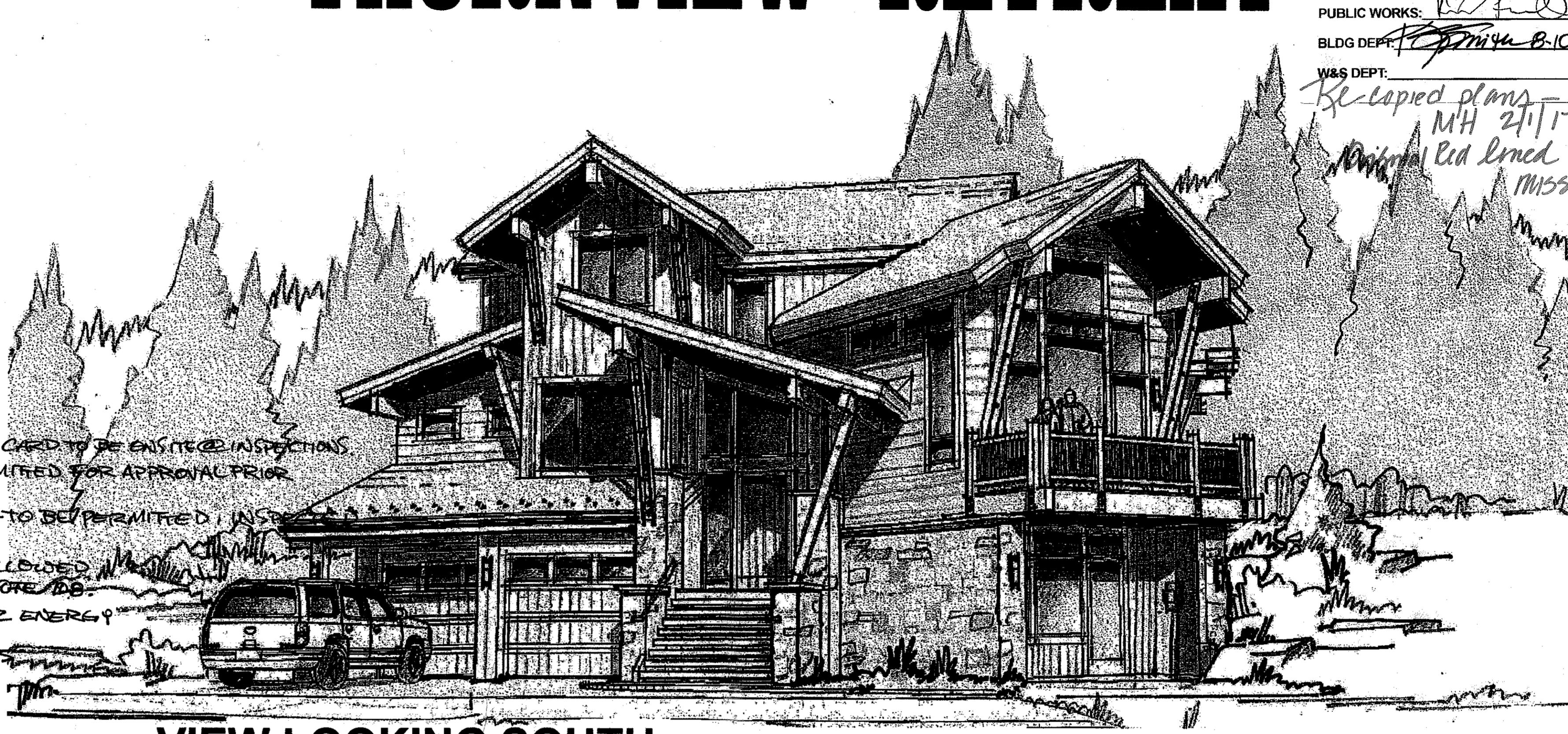
16) SITE DISTURBANCE:
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.

17) PROJECT GRADES:
The general contractor shall check and verify all grades including paved areas/slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.

18) EXTERIOR MATERIAL MOCK UP:
The General Contractor shall provide a mock up of all exterior materials for review by the Owner, Architect and HOA Review Committee. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3'-0" x 3'-0" (min) sample of exterior stonework if applicable. This mock up shall be retained on site until the final punch.

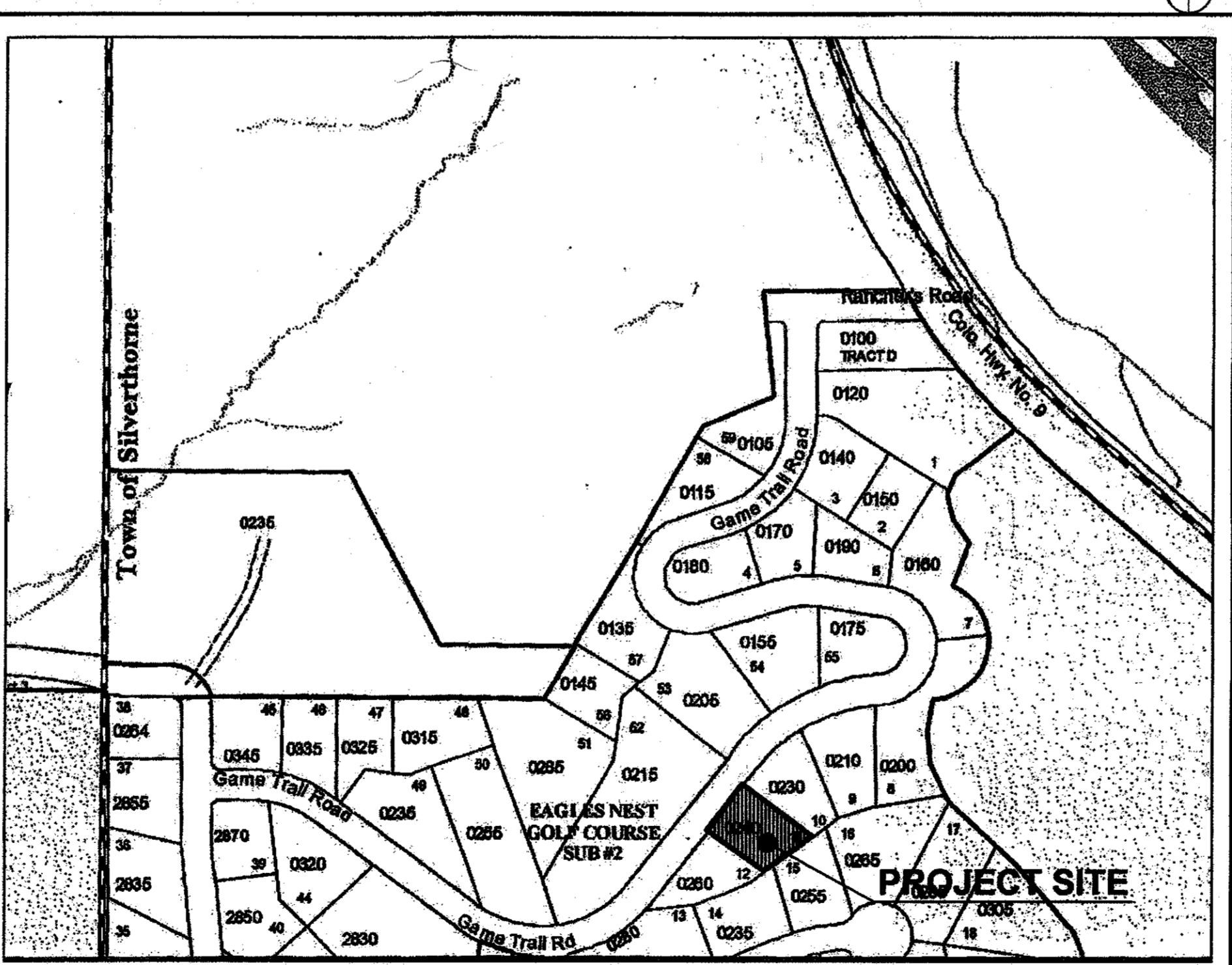
BID ALTERNATES

ALTERNATE NO. 1 - ALTERNATE INSULATION SYSTEMS
ALTERNATE NO. 2 - INSULATION UPGRADING
ALTERNATE NO. 3 - FOUNDATION WALL WATERPROOFING
ALTERNATE NO. 4 - SEALANT PACKAGE UPGRADE
ALTERNATE NO. 5 - COPPER PIPING/PEX PIPING
ALTERNATE NO. 6 - WOOD CEILING OPTIONS
ALTERNATE NO. 7 - EXTERIOR DECKING OPTIONS
ALTERNATE NO. 8 - EPOXY FLOOR
ALTERNATE NO. 9 - EMERGENCY WATER SHUTOFF CONTROL
ALTERNATE NO. 10 - PROGRAMMABLE LIGHTING
ALTERNATE NO. 11 - CENTRAL HUMIDIFIER
ALTERNATE NO. 12 - AUTOMATIC SNOW MELT OPTIONS
ALTERNATE NO. 13 - EXHAUST SYSTEM
ALTERNATE NO. 14 - STEAM SHOWER
ALTERNATE NO. 15 - EXTERIOR FIRE PIT
ALTERNATE NO. 16 - ELEVATOR
ALTERNATE NO. 17 - CAMERA SYSTEM
ALTERNATE NO. 18 - WIRELESS SATELLITE DISH
ALTERNATE NO. 19 - STONE PATIO
ALTERNATE NO. 20 - MOTORIZED WINDOW SHADES
ALTERNATE NO. 21 - ASPHALT DRIVE
ALTERNATE NO. 22 - ENVIRONMENTAL PRODUCTS



VIEW LOOKING SOUTH

VICINITY MAP



SITE NOTES

1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST LAND SURVEYING, INC.
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1:12 MIN.)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND SLOPE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. FLAG ALL TREES FOR OWNER. PRIOR TO THINNING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY THE HOA AND TOWN OF SILVERTHORNE.

CONTOUR LEGEND

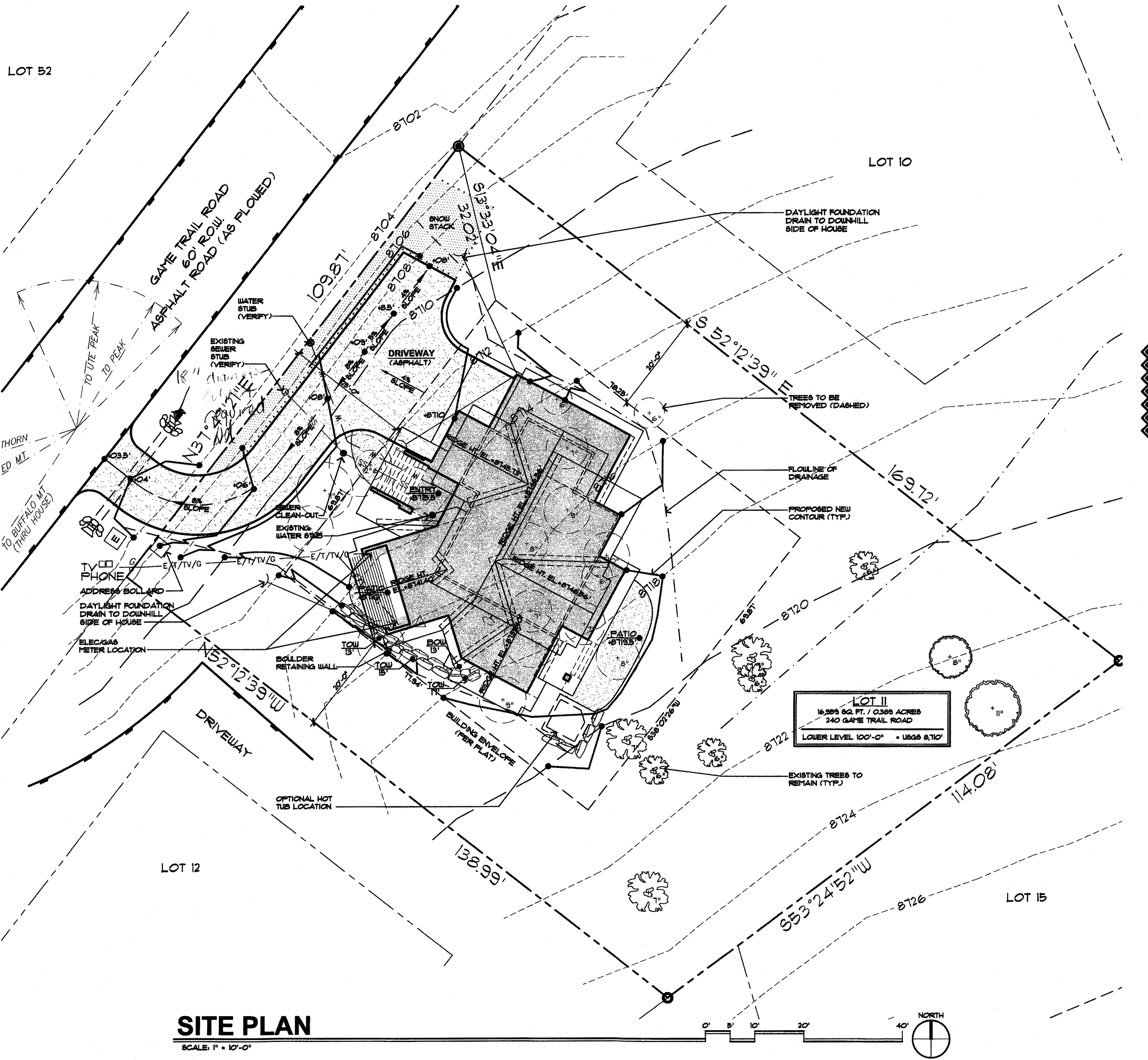
EXISTING MINOR	_____	DRAINAGE ARROW	→
EXISTING MAJOR	_____	SPOT GRADE AT DOT	8.976'
PROPOSED	● _____		

LOT COVERAGE

	SQ. FT.	PERCENTAGE
BUILDING (INCLUDES OVERHANGS, DECKS AND PATIOS)	3,092 S.F.	18%
Hardscape (Driveway)	1,600 S.F.	9.4%
Open Space	12,267 S.F.	72%
TOTAL LOT SIZE	16,959 S.F.	100%

REQUIRED SNOWSTACK

	SQ. FT.	PERCENTAGE
Hardscape (PatioS, Walks & Driveway)	1,790 SF.	100%
Req'd Snow Stack (25% of Hardscape)	448 SF.	25%
Total Snow Stack Provided	454 SF.	25.4%

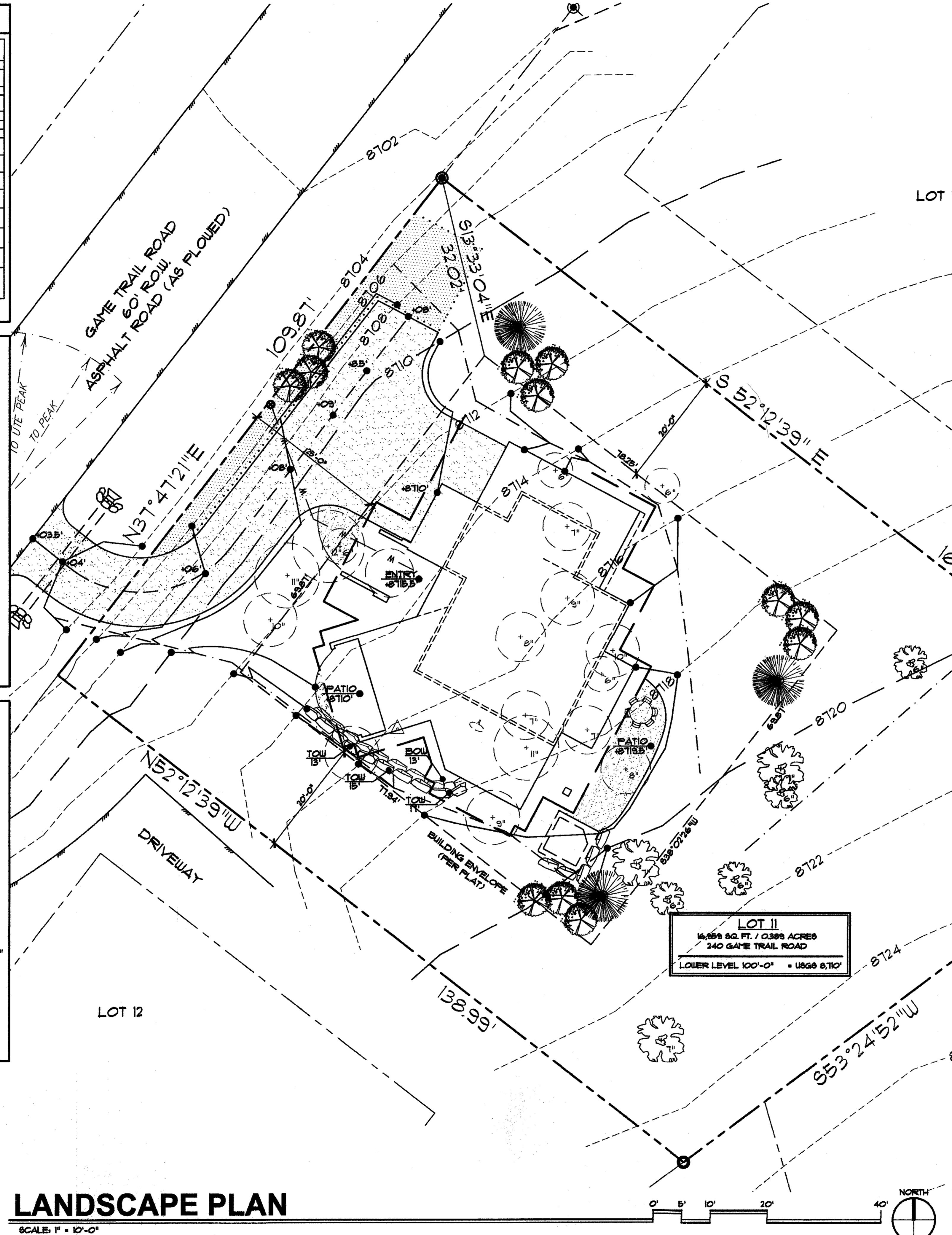
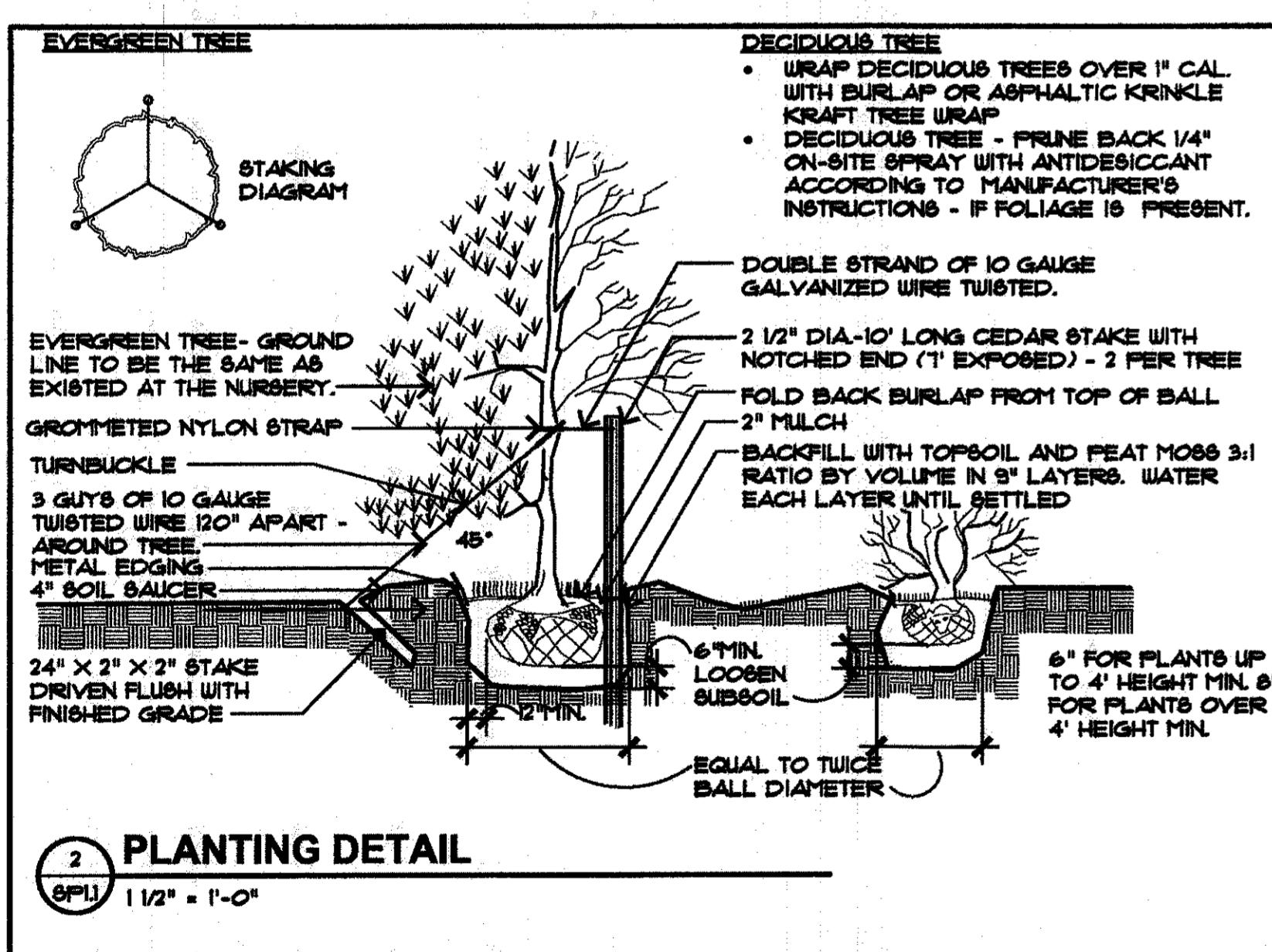
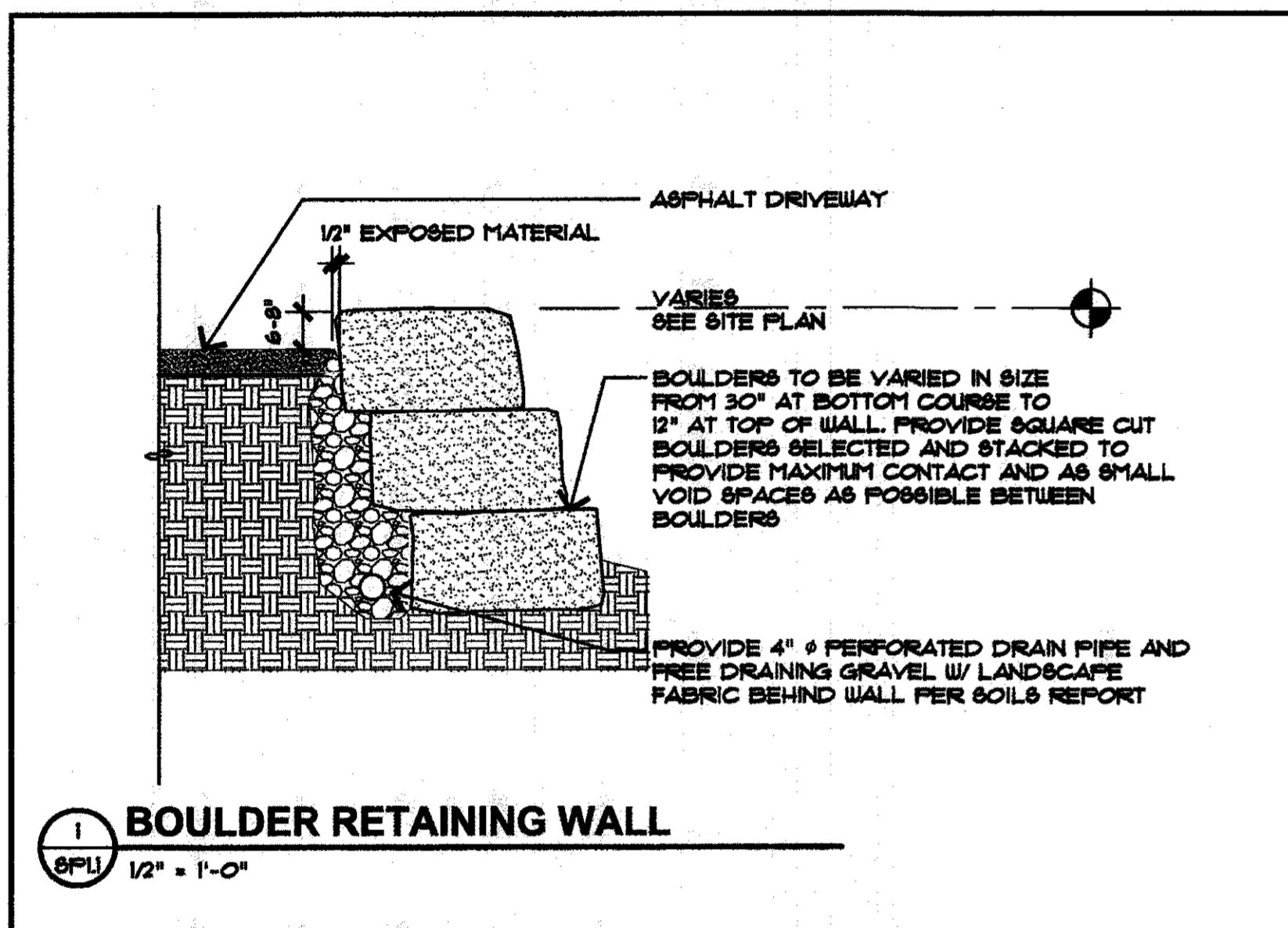


hh *Partners*
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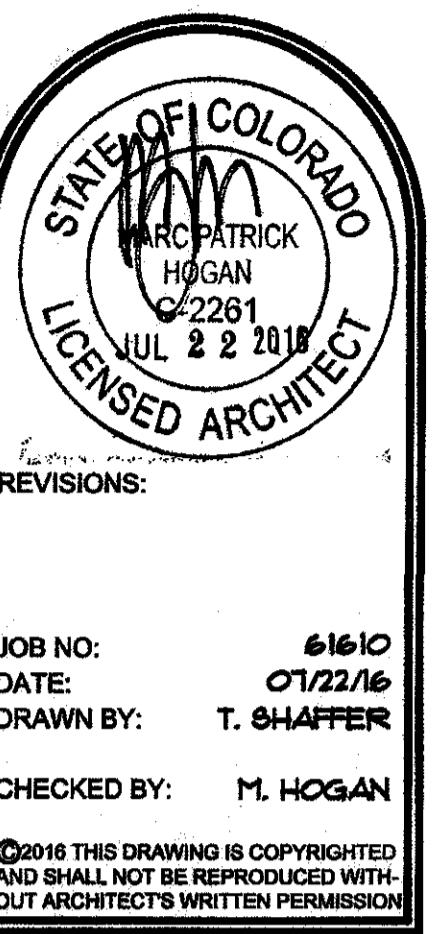
HORNVIEW RETREAT
10 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION

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SHEET NUMBER:
SP1.1
SITE PLAN
OF: 2

PLANTING LIST					
KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
•	EXISTING	VARIETY -	--	SEE SITE PLAN	
EXISTING TREES TO BE REMOVED					
○	VARIETY -	VARIETY -	--	SEE SITE PLAN	
PROPOSED TREES/SHRUBS TO BE ADDED					
●	COLORADO SPRUCE	PICEA CONICA ENGELMANNI	3	12' TALL	
●	ASPEN	ASPENUS TREMULOIDES	12	12' MIN. CAL. 50' & MULTI-STEM	
●	COLORADO COTTONWOOD	POPULUS TRICHOCORYNTHUS	8'-10' TALL		
●	POTENTILLA	POTENTILLA FRUTICOSA	8' GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)	
●	BUFFALO JUNIPER	JUNIPERUS SABINA	8' GAL.	NEEDS SUN (12' TALL, 8'-0" WIDE)	
●	SILVER BUFFALO BERRY	SHEPHERIA ARGENTEA	8' GAL.	GROWS TO 6'-10' TALL	
○	PRICKLY COTONEASTER	COTONEASTER DIPLOPHYLLUS	8' GAL.	GROWS TO 6'-10' TALL	
○	ALPINE CurrANT	RIBES ALPINUM	8' GAL.	GROWS TO 3'-6' TALL	
●	NATIVE GROUND COVER AND PERENNIALS	PROVIDE DIVERSITY	1 FLAT	PROVIDE TO ALL DISTURBED AREAS	



S160088

ISSUED FOR
CONSTRUCTION: 07/22/16

bhh Partners
PO BOX 891 180 EAST ADAMS
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240 GAME TRAIL ROAD, LOT 11, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

THORNVIEW RETREAT

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SHEET NUMBER:
A1.2
MAIN LEVEL PLAN
OF: 15

MAIN LEVEL ROOM FINISH SCHEDULE

#	ROOM NAME	FLOOR	WALLS	CEILING	REMARKS
201	ENTRY		TILE	WOOD	1 VARIES 1, 9
202	STAIR		WOOD	WOOD	1 VARIES 1, 9
203	LIVING		WOOD	WOOD	1, 5, 6, 8
204	KITCHEN		WOOD	WOOD	1, 4, 5, 12
205	DINING		WOOD	WOOD	1, 5, 10
206	MASTER SUITE		CARPET	WOOD	1, 5, 10
207	WATER CLOSET		TILE	WOOD	1, 2, 4, 7, 13
208	MASTER BATH		TILE	WOOD	2, 5, 13
209	SHOWER		TILE	WOOD	1, 4, 13
210	MASTER CLOSET		CARPET	WOOD	1, 4, 13
211	CLOSET	12	TILE	WOOD	1, 16
212	POUDER		TILE	WOOD	1, 16
213	OPTIONAL ELEVATOR		WOOD	WOOD	1, 16

ROOM FINISH NOTES

NOTE: VERIFY INTERIOR FINISHES W/ OWNER
 1. 1/8" TYPE "X" GYPSUM BOARD WITH LIGHT HAND TROWELED FINISH (PAINT)
 2. 1/2" CEMENT BACK WITH TILE FINISH
 3. PROVIDE OPTION FOR EPOXY FLOOR FINISH
 4. VERIFY MILLWORK WITH OWNER - PROVIDE SUBMITTAL
 5. PROVIDE BEAM WORK WITH FINISHES APPROVED BY OWNER
 6. SPECIFIED STONE VENEER
 7. VERIFY FREE STANDING SOAKING TUB WITH OWNER
 8. WOOD CEILING OPTION VERIFY WITH OWNER
 9. WALL MOUNTED STEEL HANDRAILS
 10. DOCKING STATION/LANDING TOP
 11. FRONT LOAD WASHER/DRYER
 12. APPLIANCES AS APPROVED BY OWNER
 13. PROVIDE CUSTOM SHOWER WITH FRAMELESS GLASS ENCLOSURE AND BUILT-IN FLOATING
 BENCH AND STANDARD SHAMPOO NICHE, DROP CEILING TO 7'-6"
 14. TUB, SHOWER, TILE NICHE, AND SHOWER CURTAIN
 15. VERIFY CLOSET SYSTEMS WITH OWNER
 16. SPECIAL LAVATORY AND POWDER ROOM FINISHES AS APPROVED BY OWNER
 17. PROVIDE MODERN RIBBED FIREPLACE WITH TILE AND/OR METAL PANEL SURROUNDS
 18. PROVIDE FOR ELEVATOR ROUGH-IN FOR FUTURE ELEVATOR
 19. PROVIDE FOR OPTIONAL STACKED WASHER/DRYER

MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"

1,113 SQ. FT. FINISHED

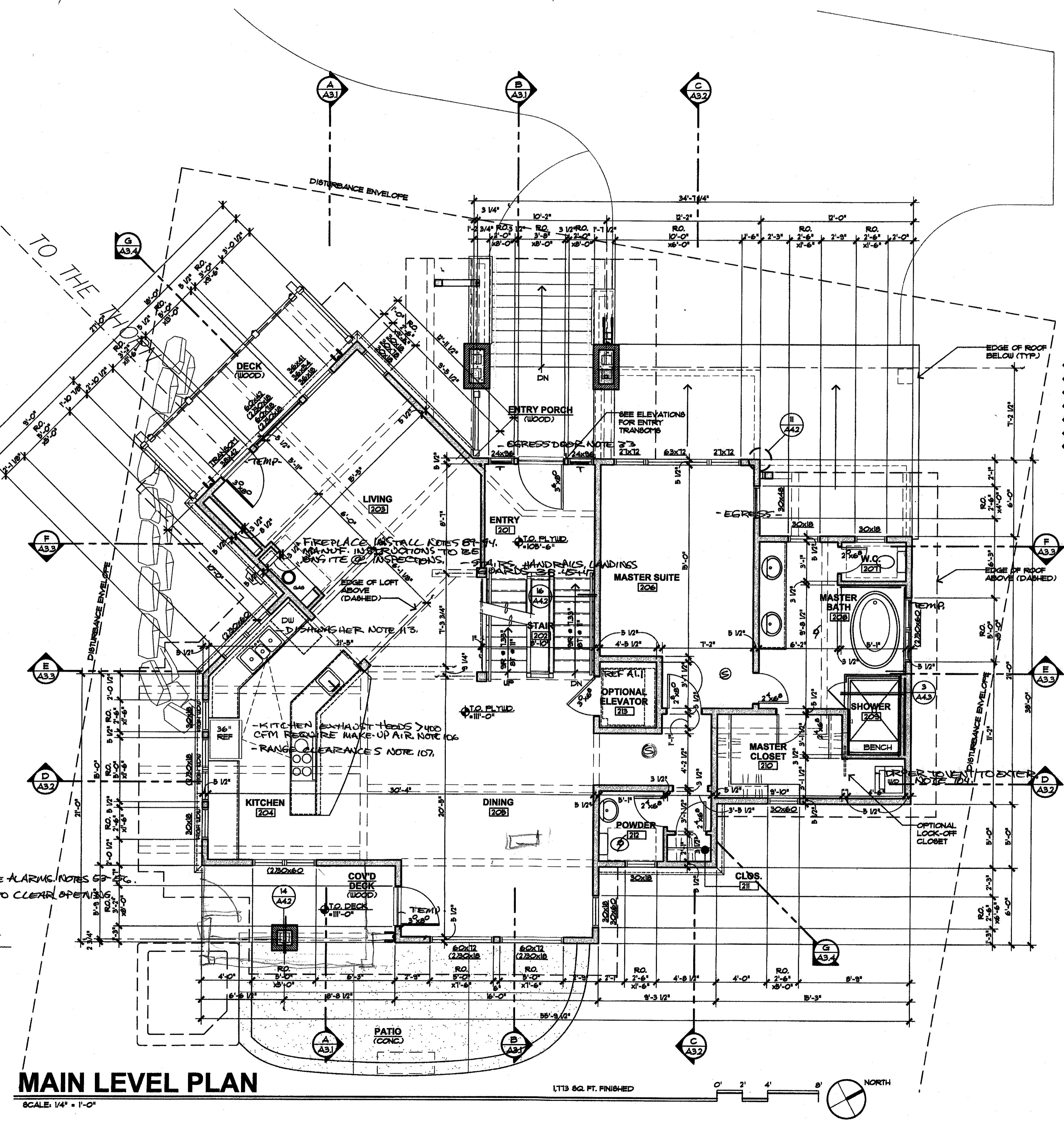
NORTH

SEE ATTACHED H.T. NOTES.

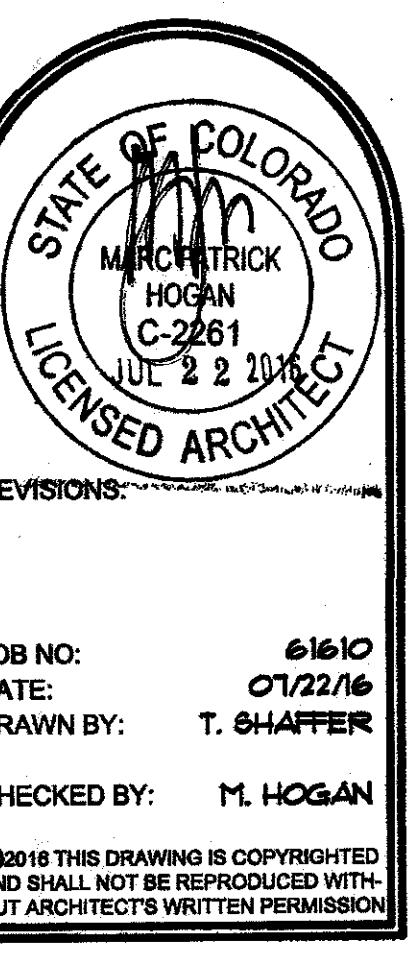
UPPER PATIO

SCALE: 1/4" = 1'-0"

SMOKE DETECTORS/CARBON MONOXIDE ALARMS NOTES G9-EGC.
 - EGRESS PER NOTE 31. MAX 44" A.F.F. TO CLEAR OPENING
 - GLAZING/TEMPERING NOTES 14-25.
 - TYPICAL BATHROOM REGS.
 - MECHANICAL VENTILATION NOTE 13.
 - FIXTURE CLEARANCES NOTE 16.
 - NON-ABSORBENT SURFACES NOTE 17.
 - WATER RESISTIVE 64D NOTE 18.



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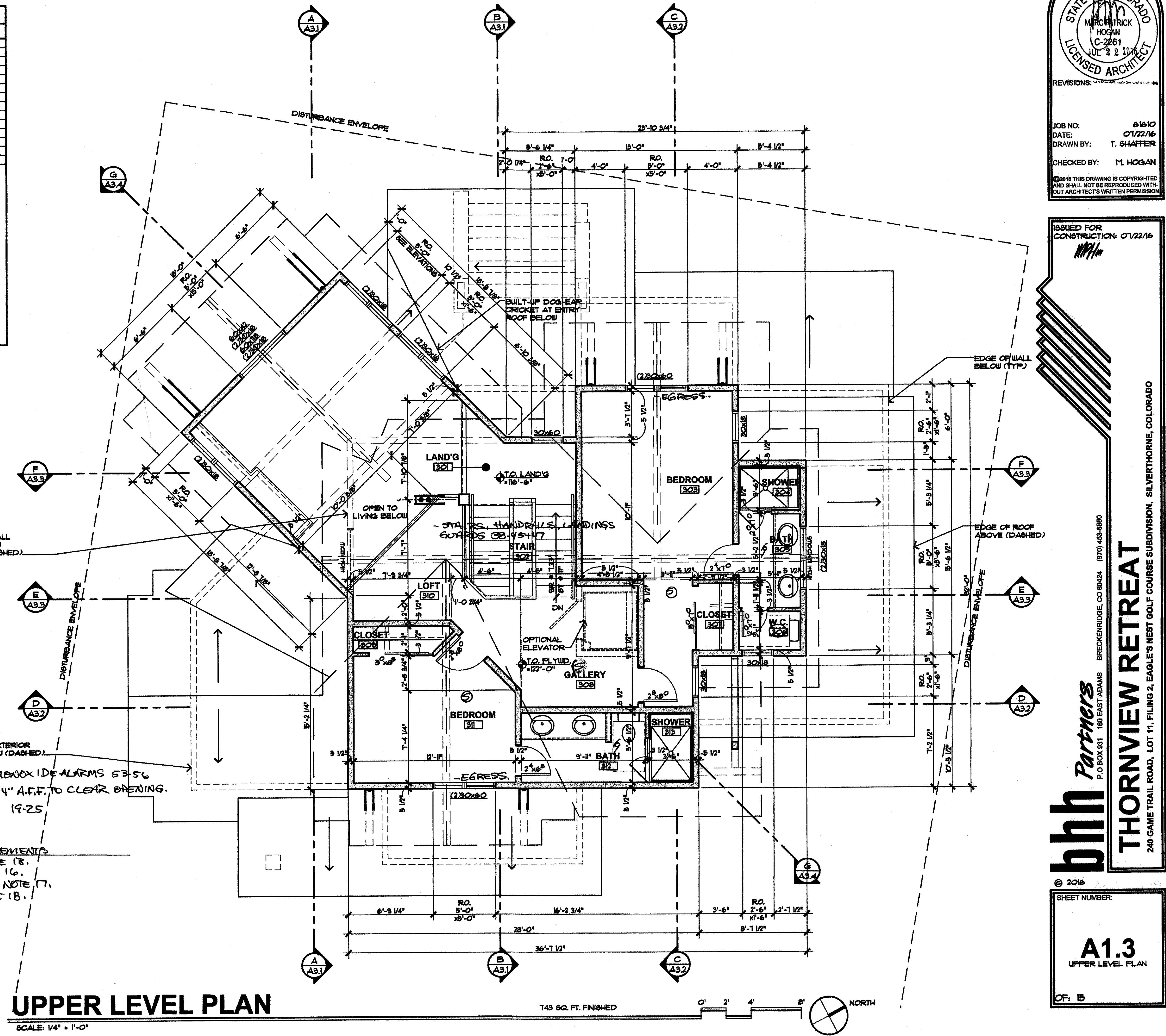
UPPER LEVEL ROOM FINISH SCHEDULE

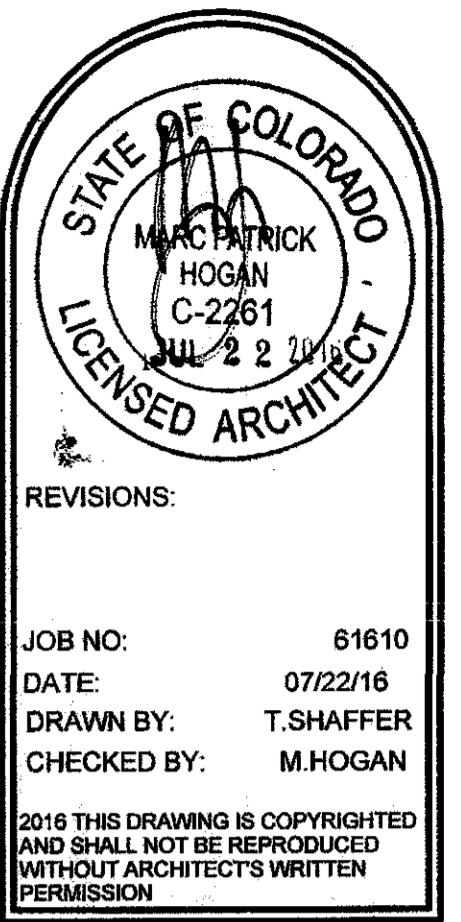
#	ROOM NAME	FLOOR	WALLS	CEILING	REMARK		
		MATERIAL	BASE	MATERIAL	MATERIAL	HEIGHT	NOTE
301	LANDING	WOOD	WOOD	1	1	VARIABLE	1
302	STAIR	WOOD	WOOD	1	1	VARIABLE	1, 9
303	BEDROOM	CARPET	WOOD	1	1	VARIABLE	1
304	SHOWER	TILE	TILE	1	1	8'-0"	2, 13
305	BATH	TILE	WOOD	1	1	VARIABLE	1, 4
306	WATER CLOSET	TILE	WOOD	1	1	8'-0"	1
307	CLOSET	CARPET	WOOD	1	1	8'-0"	1, 15
308	GALLERY	CARPET	TILE	1	1	VARIABLE	1, 15
309	CLOSET	CARPET	WOOD	1	1	8'-0"	1
310	LOFT	CARPET	WOOD	1	1	VARIABLE	1
311	BEDROOM	CARPET	WOOD	1	1	VARIABLE	1
312	BATH	TILE	WOOD	1	1	VARIABLE	1, 4
313	SHOWER	TILE	TILE	1	1	8'-0"	2, 13

ROOM FINISH NOTES

NOTE: VERIFY INTERIOR FINISHES W/ OWNER

1. 5/8" TYPE 'X' GYPSUM BOARD WITH LIGHT HAND TROWELED FINISH (PAINT)
2. 1/2" CEMENT BOARD WITH TILED FINISH
3. PROVIDE OPTION FOR EPOXY FLOOR FINISH
4. VERIFY MILLWORK WITH OWNER - PROVIDE SUBMITTAL
5. PROVIDE BEAM WORK WITH FINISHES APPROVED BY OWNER
6. SPECIFIED STONE VENEER
7. VERIFY FREE STANDING SOAKING TUB WITH OWNER
8. WOOD CEILING OPTION VERIFY WITH OWNER
9. WALL MOUNTED STEEL HANDRAILS
10. DOCKING STATION/LANDING TOP
11. FRONT LOAD WASHER/DRYER
12. PROVIDE APPLIANCES AS APPROVED BY OWNER
13. PROVIDE CUSTOM SHOWER WITH FRAMELESS GLASS ENCLOSURE AND BUILT-IN FLOATING BENCH AND STANDARD SHAMPOO NICHE. DROP CEILING TO 7'-6"
14. TUB, SHOWER, TILE NICHE, AND SHOWER CURTAIN
15. VERIFY CLOSET SYSTEMS WITH OWNER
16. SPECIAL LAVATORY AND POWDER ROOM FINISHES AS APPROVED BY OWNER
17. PROVIDE MODERN RIBBON FIREPLACE WITH TILE AND/OR METAL PANEL SURROUNDS
18. PROVIDE FOR ELEVATOR ROUGH-IN FOR FUTURE ELEVATOR
19. PROVIDE FOR OPTIONAL STACKED WASHER/DRYER





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**VIEW
LINE**
240 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

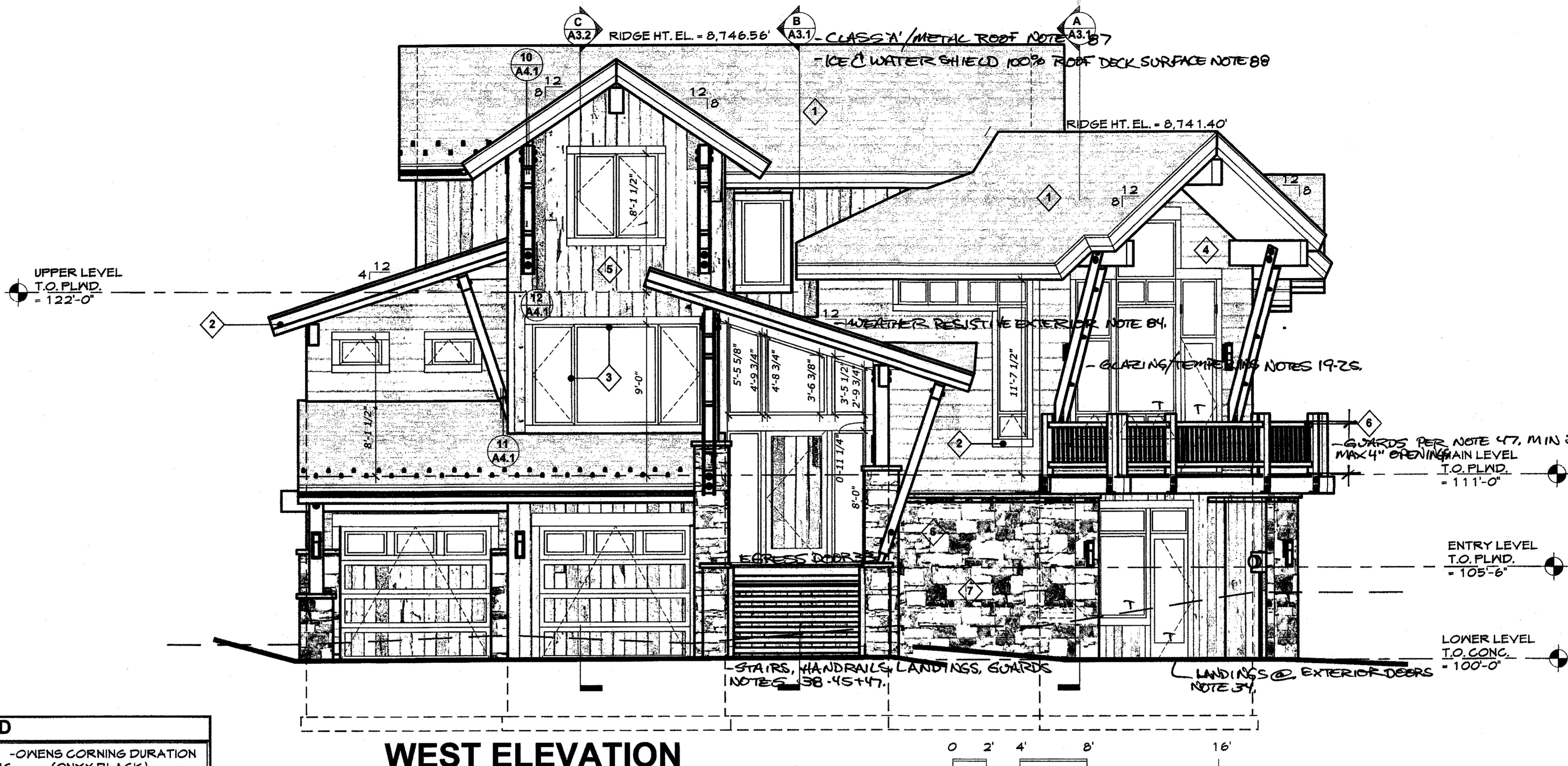
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THORNVIEW RETREAT

A2.1

BUILDING ELEVATIONS

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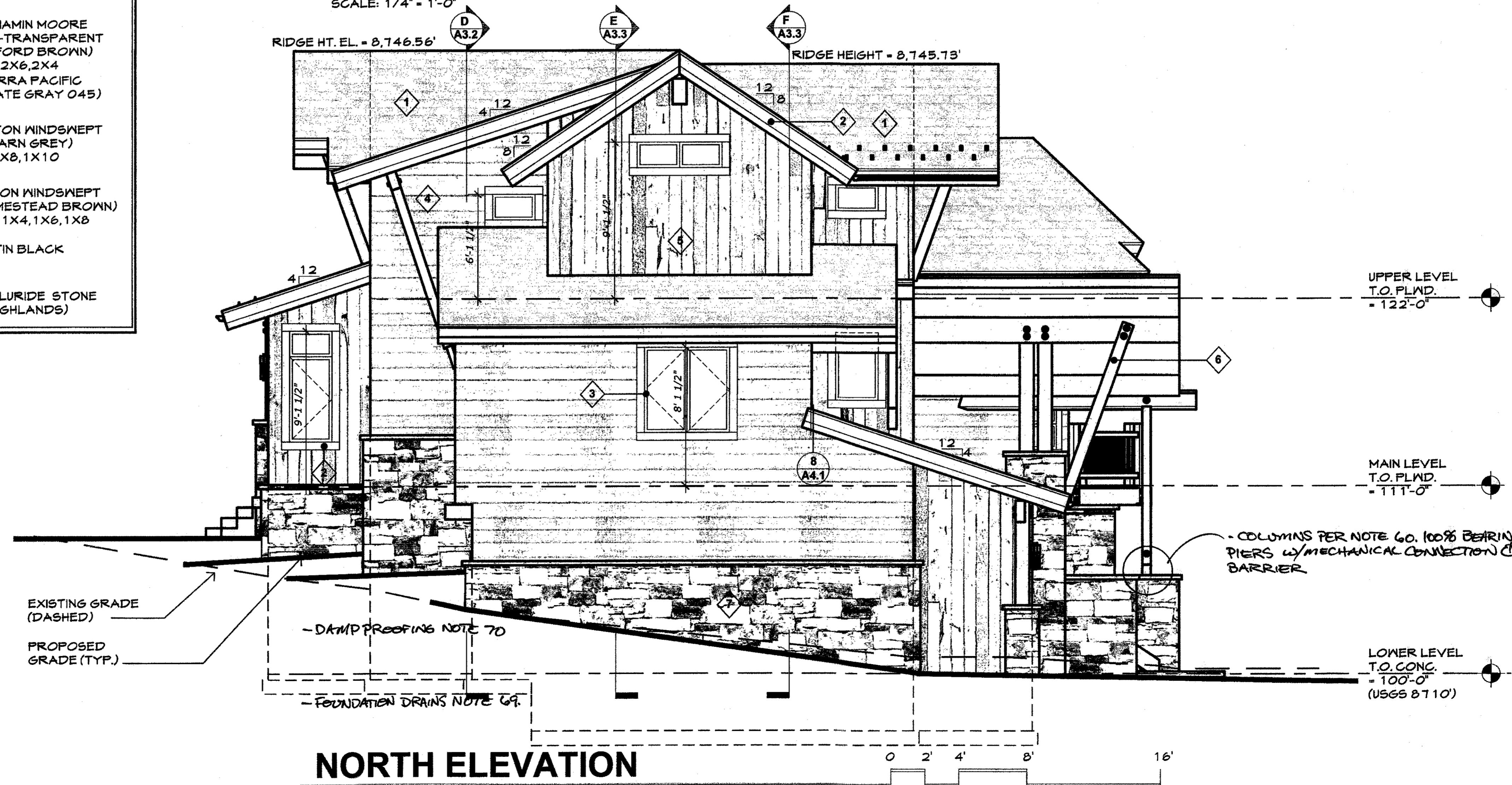


WEST ELEVATION

SCALE: 1/4" =

COLOR LEGEND

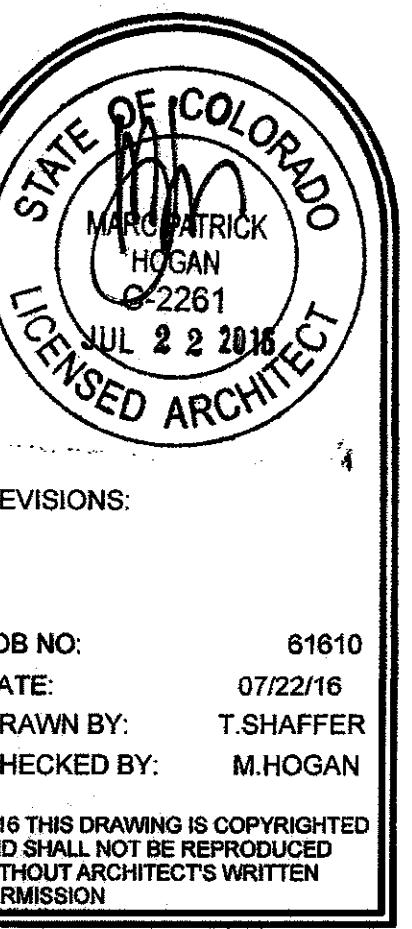
- 1 COMPOSITION SHINGLE ROOFING - OWENS CORNING DURATION (ONYX BLACK)
- 2 FASCIA & TRIM - BENJAMIN MOORE SEMI-TRANSPARENT (OXFORD BROWN)
2X6, 2X4
- 3 WINDOW CLAD - SIERRA PACIFIC (SLATE GRAY 045)
- 4 HORIZONTAL BARNWOOD SIDING - TETON WINDSWEPT (BARN GREY)
1X8, 1X10
- 5 VERTICAL BARNWOOD SIDING - TETON WINDSWEPT (HOMESTEAD BROWN)
1X4, 1X6, 1X8
- 6 STEEL ELEMENTS - SATIN BLACK
- 7 STONE VENEER - TELLURIDE STONE (HIGHLANDS)



NORTH ELEVATION

SCALE: 1/4" =

S1600088

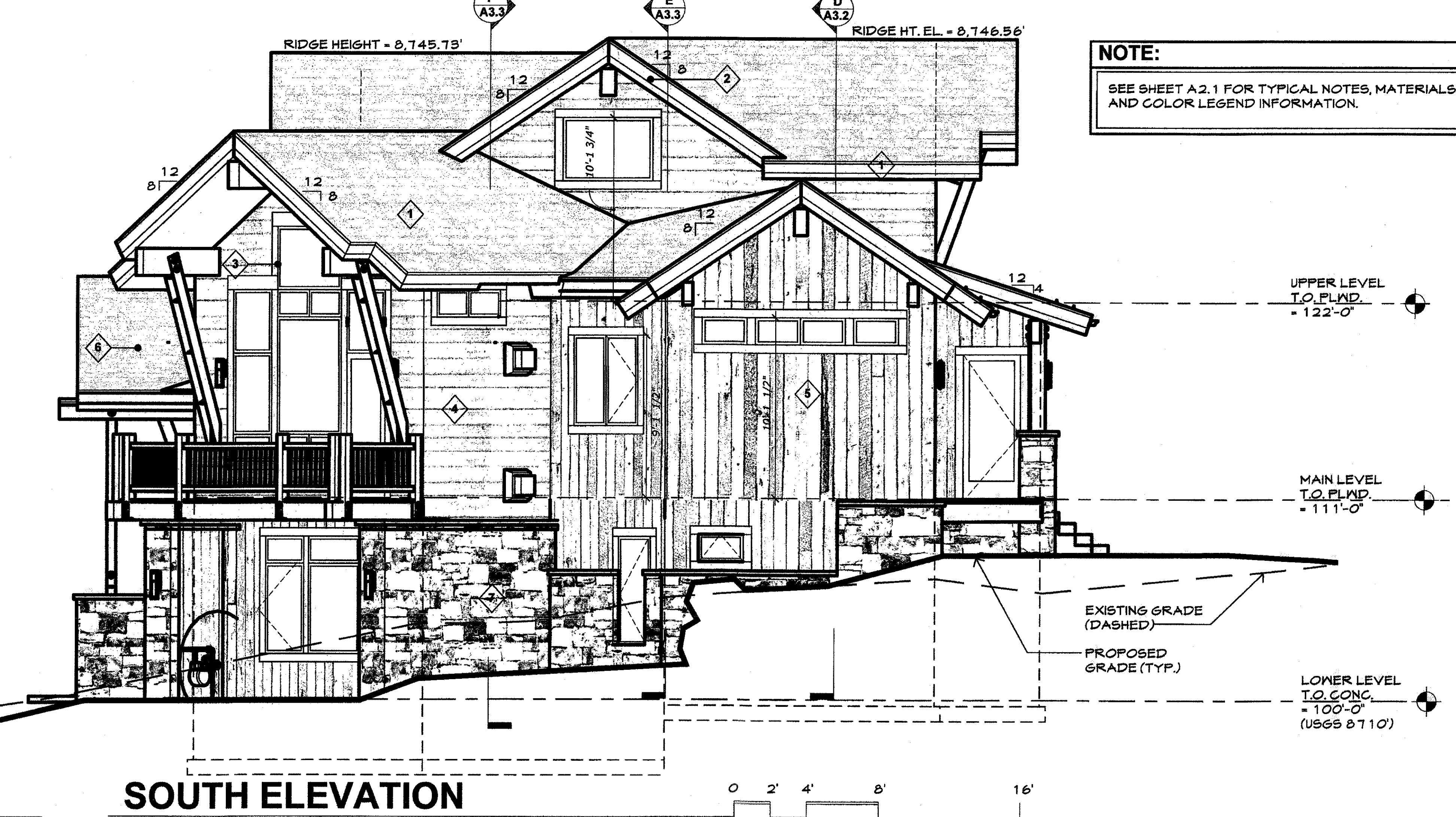
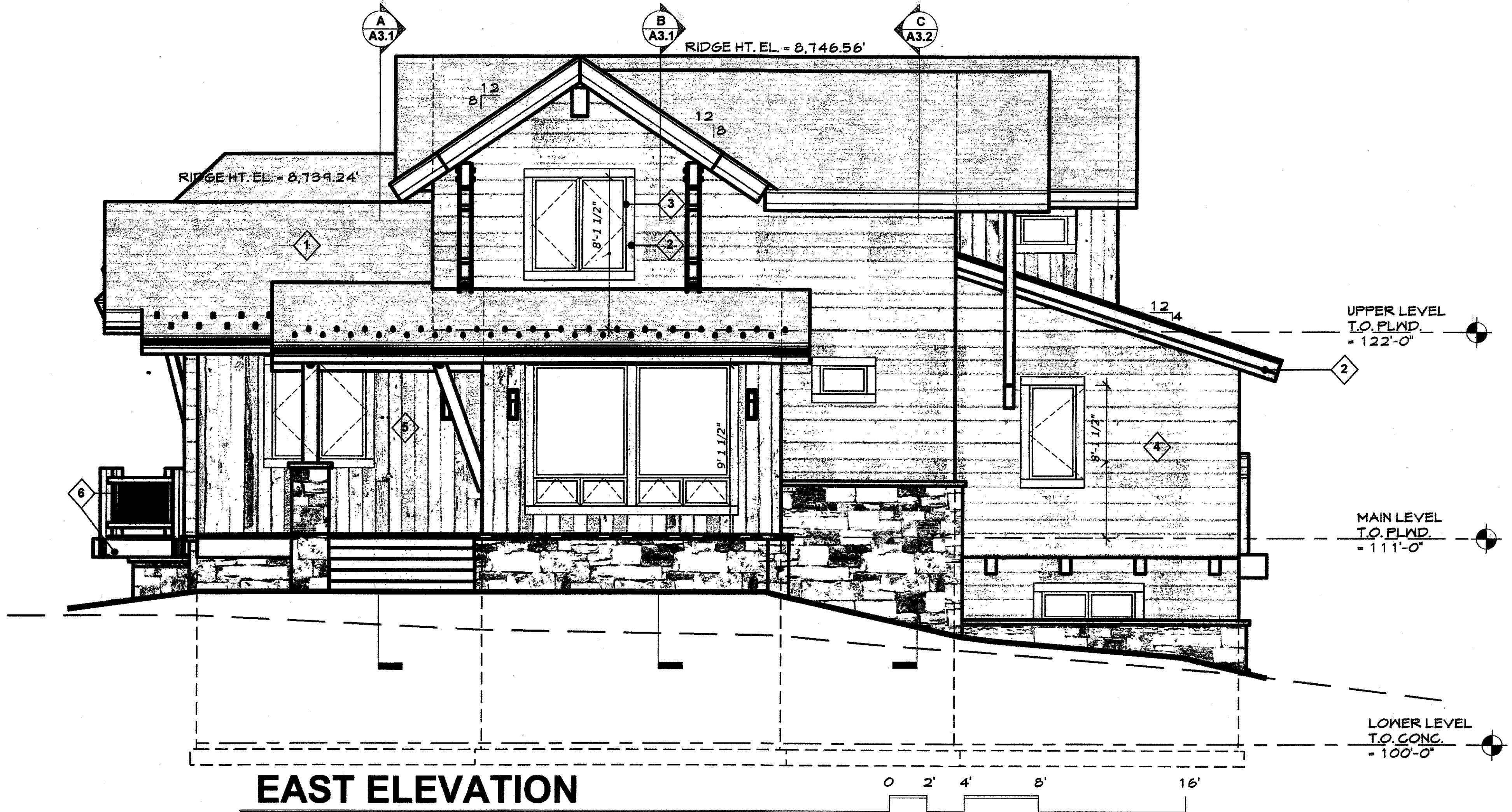


ISSUED FOR CONSTRUCTION:
07/13/16
MAP

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240 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

THORNVIEW RETREAT

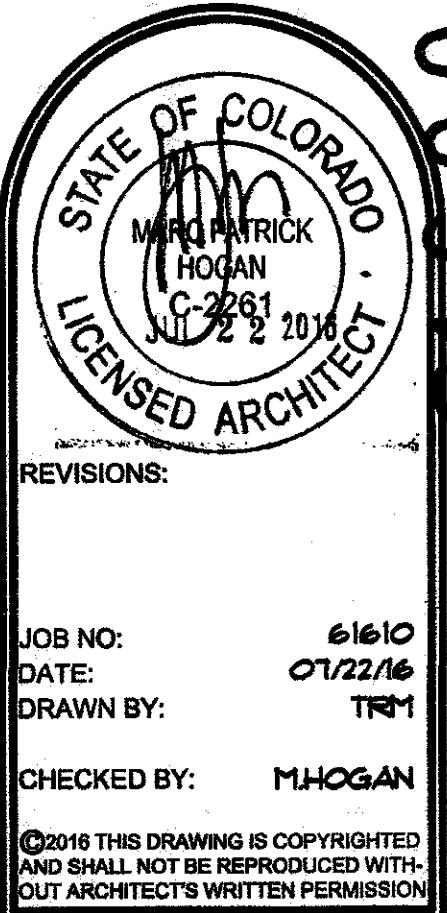
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EL ELEVATION @ LIVING ROOM

SCALE: 1/4" = 1'-0"

A2.2
BUILDING
ELEVATIONS
OF: 15



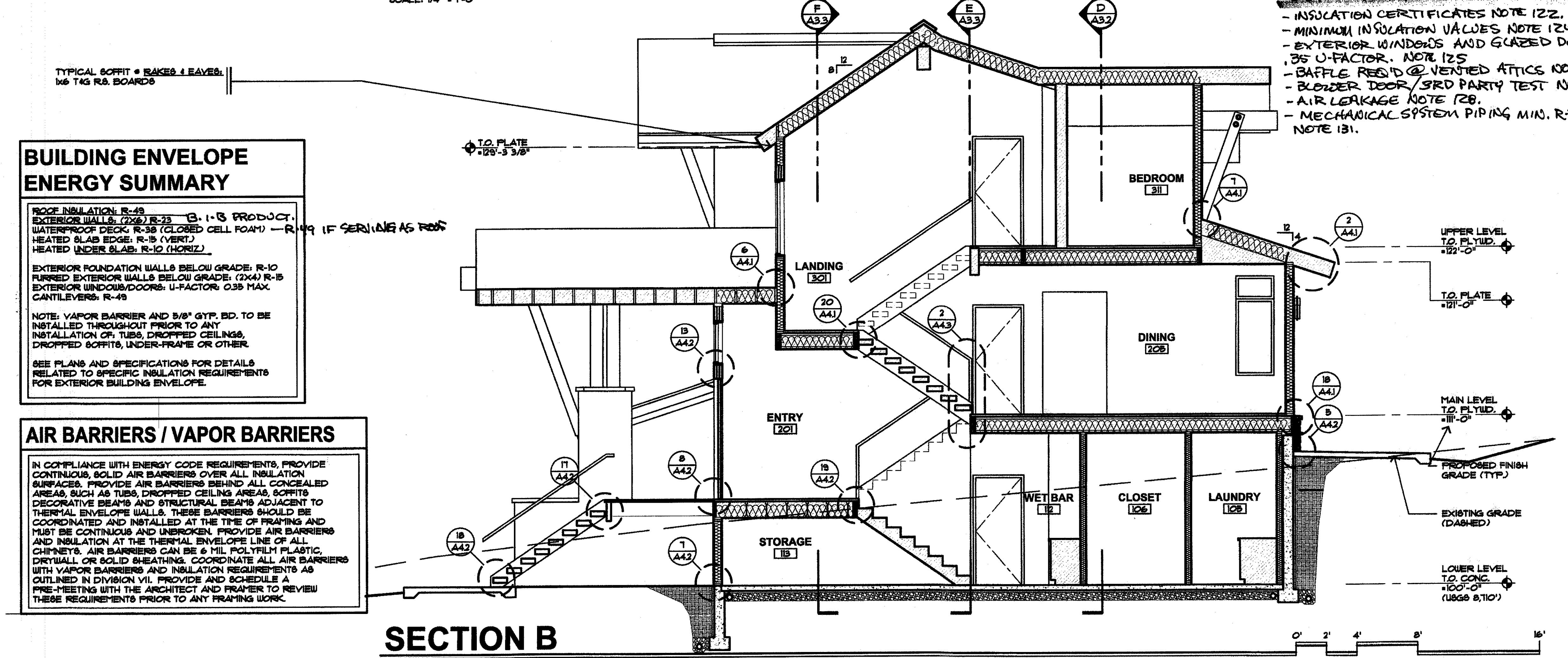
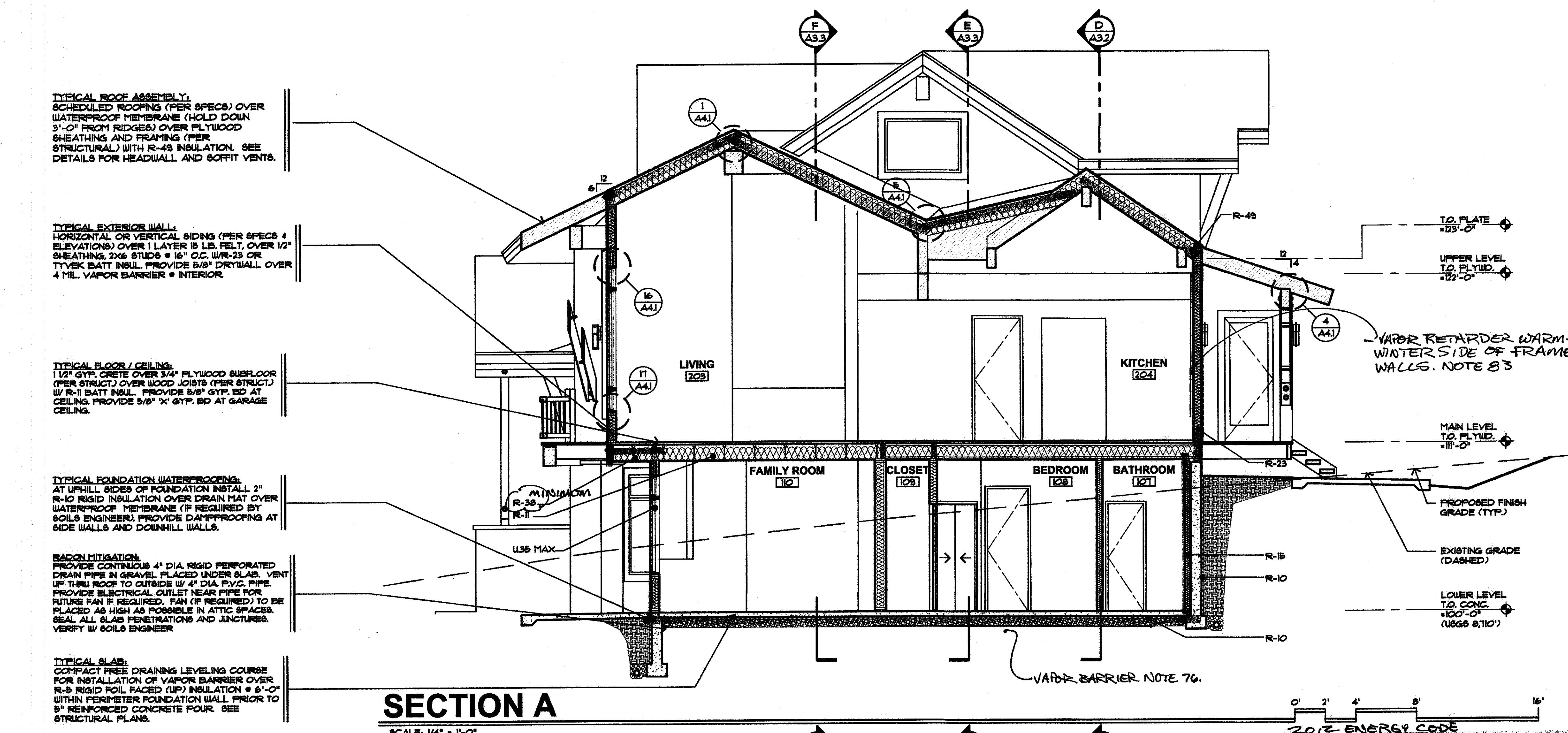
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240 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

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SHEET NUMBER:
A3.1
OF: 15

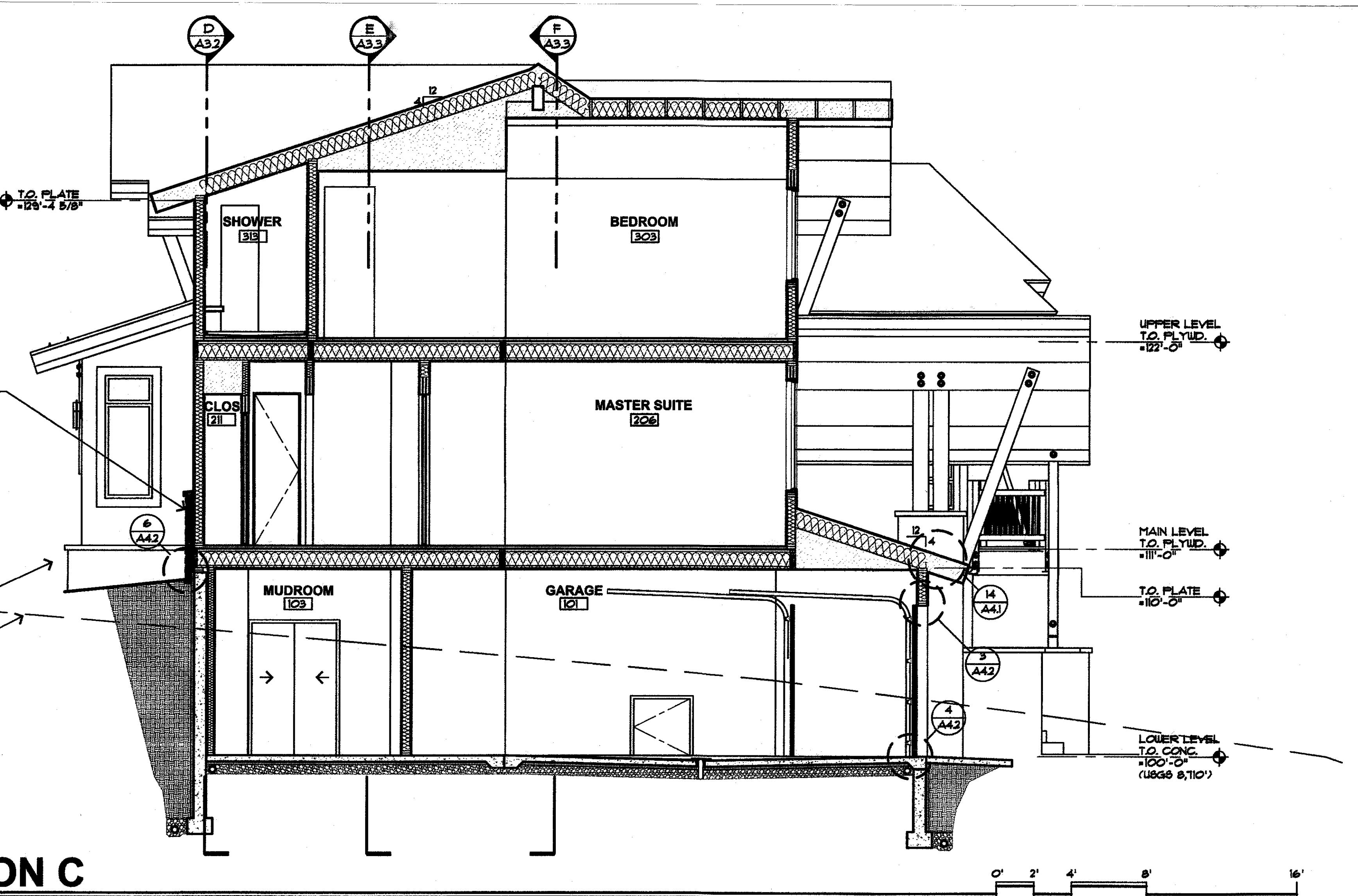
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AIR BARRIER REQUIREMENTS

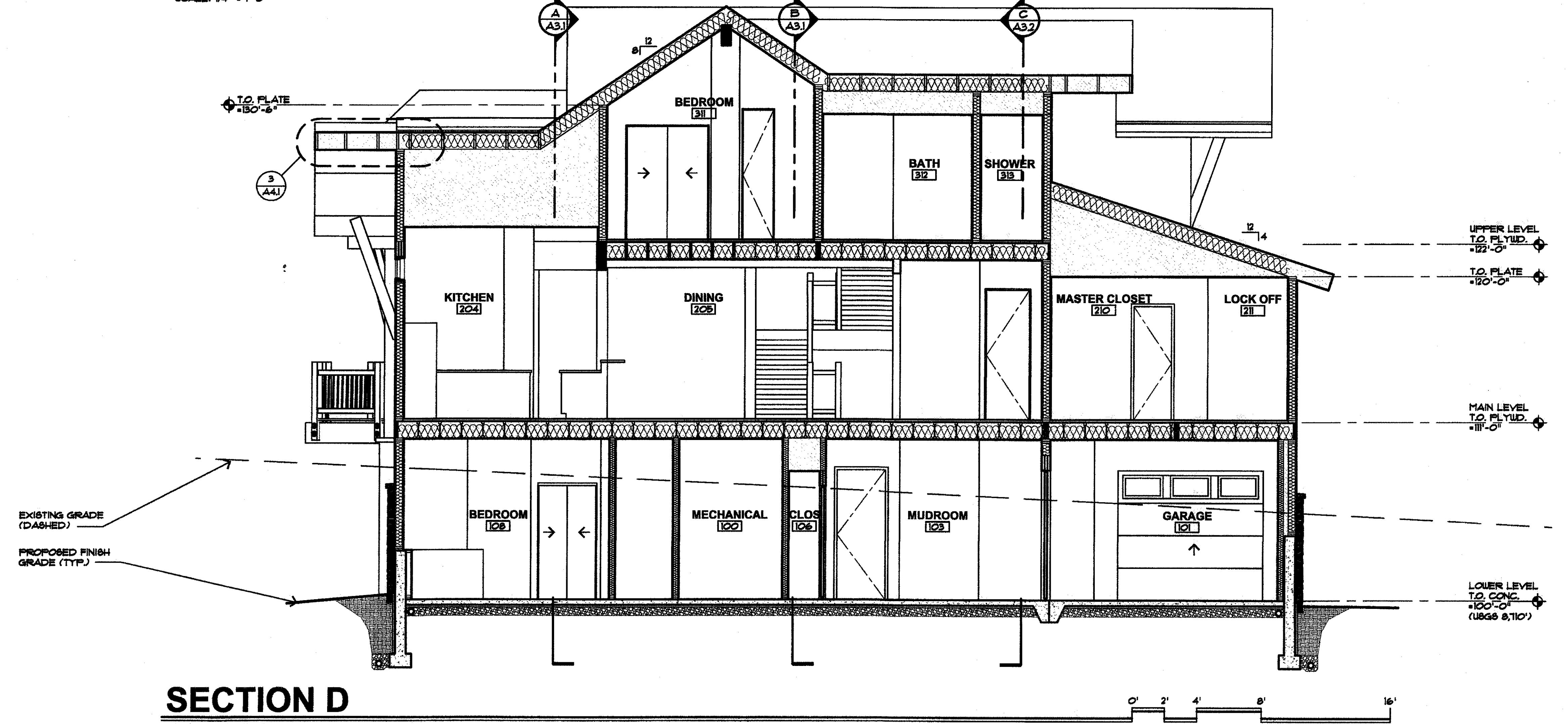
PROVIDE SEALED AIR BARRIER CONSTRUCTION PER INTERNATIONAL ENERGY CODE REQUIREMENTS AS ADOPTED BY THE LOCAL BUILDING DEPARTMENT FOR THIS PROJECT. WORK SHALL INCLUDE THE FOLLOWING AS APPLICABLE TO THE SPECIFIC PROJECT:

1. EXTERIOR BUILDING ENVELOPE - PROVIDE CONTINUOUS SEALANT BEAD AROUND ALL ELECTRICAL & ENVIRONMENTAL AIR PENETRATIONS AT THE EXTERIOR BUILDING ENVELOPE.
2. EXTERIOR FLOOR PLATES - PROVIDE CONTINUOUS SEALANT BEAD BETWEEN PLYWOOD OR GLASS AND BOTTOM PLATE OF EXTERIOR FRAMING.
3. GARAGE SEALS & SEALS AT INSULATED SPACE ABOVE GARAGES - PROVIDE CONTINUOUS SEALANT BEAD BETWEEN CONDITIONED SPACE & GARAGE SPACE TO INCLUDE FLOOR PLATES, RIM JOISTS, ATTIC TOP PLATES, & WALL PLATES.
4. INTERIOR BATH TUBS & SHOWERS ADJACENT TO EXTERIOR WALLS - PROVIDE CONTINUOUS SEALANT BEAD BETWEEN FLOOR PLATES AND FLOORING AT TUBS THAT ARE LOCATED ADJACENT TO ANY EXTERIOR WALL. PROVIDE CONTINUOUS SEALANT BEAD BETWEEN DRYWALL AND CEMENT BOARD AT ANY JOINTS AT EXTERIOR WALLS.
5. INTERIOR RIM FLOOR BOARDS - PROVIDE CONTINUOUS SEALANT BEAD AT CEILING AND FLOOR PLATES AND AT TOP AND BOTTOM OF EXTERIOR RIM BOARD CONSTRUCTION.
6. ATTIC & LEAVE Baffle CONSTRUCTION - PROVIDE CONTINUOUS SEALANT BEAD AT BOTH CUT ROOFS & ATTIC TRUSSES.
7. INTERIOR SOFFIT EXTERIOR WALLS & EXTERIOR CEILINGS - PROVIDE CONTINUOUS SEALANT BEAD AT TOP PLATES AND ALL DRYWALL JOINTS PRIOR TO INTERIOR SOFFIT CONSTRUCTION. (CONTINUOUS DRYWALL TO BE PROVIDED AT ALL EXTERIOR WALLS AND CEILINGS PRIOR TO ANY SOFFIT CONSTRUCTION). PROVIDE SEALANT BEAD AT ALL SOFFIT JUNCTURES AT ALL EXTERIOR WALLS AND CEILINGS.
8. INSULATED CANTILEVERED FLOORS - PROVIDE CONTINUOUS SEALANT BEAD AT EXTERIOR LOWER PLATE AT CANTILEVER, AT TOP AND BOTTOM OF RIM BOARDS AT EXTERIOR CANTILEVER, AND AT BOTTOM PLATE AT EXTERIOR WALL AT CANTILEVER.
9. RECESSED CAN LIGHTING AT EXTERIOR CEILINGS & ATTICS - PROVIDE CONTINUOUS SEALANT BEAD AT ALL CAN LIGHTS AT CEILING PLANE. PROVIDE SEALED UNITS OR PROVIDE CONTINUOUS SEALANT BEAD AT ALL CAN LIGHT HOUSING EDGES AND OPENINGS.
10. FIREPLACE PLATFORMS AT EXTERIOR WALLS - PROVIDE CONTINUOUS SEALANT BEAD AROUND ALL FRAMING PRIOR TO FIREPLACE PLATFORM CONSTRUCTION. PROVIDE DRYWALL ON ALL SURFACE PRIOR TO PLATFORM OR FIREPLACE CHASE CONSTRUCTION.
11. TOP PLATE PLUMBING AND ELECTRICAL PENETRATIONS AT EXTERIOR WALLS - PROVIDE CONTINUOUS SEALANT OR EXPANDING FOAM SEALANT AT ALL PLUMBING PENETRATIONS AT EXTERIOR WALLS TO INCLUDE TOP PLATES.
12. ATTIC ACCESS HATCHES - PROVIDE MINIMUM OF 1 INCH RIGID INSULATION AT ALL ATTIC ACCESS HATCHES. INSTALL HATCHES TO PROVIDE AIR TIGHT CONSTRUCTION. PROVIDE CONTINUOUS SEALANT BEAD AROUND ALL FRAMING PRIOR TO ATTIC ACCESS HATCH INSULATION.



SECTION C

SCALE: 1/4" = 1'-0"



SECTION D

SCALE: 1/4" = 1'-0"

