

GENERAL NOTES

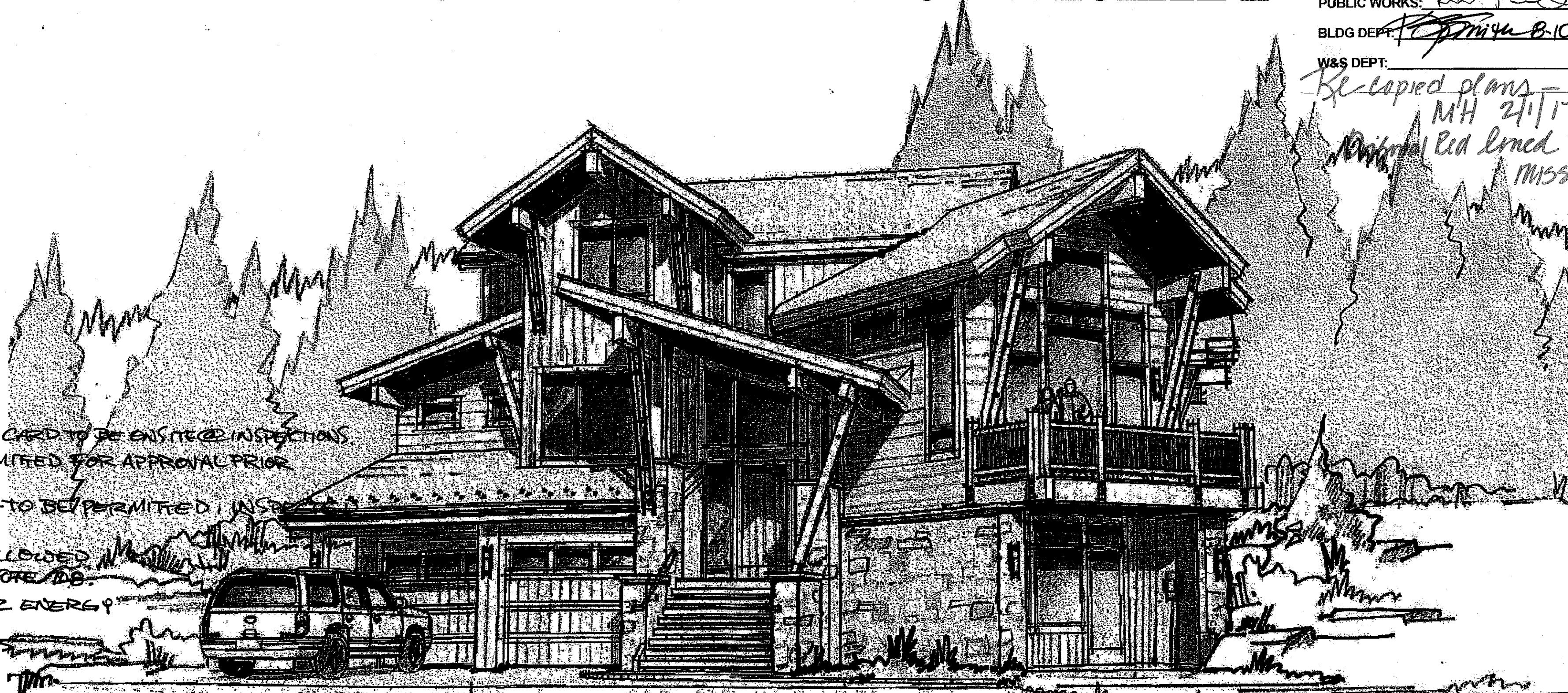
- 1) COPYRIGHT:
All plans, designs, and concepts shown in these drawings are the exclusive property of BHH Partners, Planners and Architects. AIA/PCA and shall not be used, disclosed, or reproduced for any purpose whatsoever without the Architect's written permission.
- 2) CODES:
This project is governed by the applicable building code as adopted by the jurisdiction of record in Colorado. Code compliance is mandatory. The drawings and specifications shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals. Building areas are shown for code purposes only and shall be recalculated for any other purposes.
- 3) FIELD VERIFICATION:
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify Architect of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS:
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify Architect of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete, top of plywood, or top of wall plates or beams unless otherwise noted.
- 5) DISCREPANCIES:
The Owner has requested the Architect to provide limited architectural and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of the project, he shall immediately notify the Architect. Failure to give simple notice shall relieve the Architect of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from the Architect.
- 6) DUTY OF COOPERATION:
Release of these plans constitutes further cooperation among the Owner, the Contractor, and the Architect. Design and construction are complex. Although the Architect and his Consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is important, and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the Architect. Failure to report such discrepancies constitutes misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the Architect shall relieve the Architect from responsibility for all consequences.
- 7) CHANGES TO THE WORK:
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans or specifications made without consent of the Architect are unauthorized and shall relieve the Architect of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP:
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS:
Substitution of "equal" products will be acceptable with Architect's written approval. See specifications.
- 10) CONSTRUCTION SAFETY:
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES:
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of foundation design. See specifications. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER.
- 12) FIELD CUTTING OF STRUCTURAL MEMBERS:
The General Contractor and Subcontractors shall field coordinate and obtain approval from Engineer before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building. Refer to the appropriate Code Requirements, manufacturer's or supplier's instructions, and structural drawings for additional requirements.
- 13) WEATHER CONDITIONS:
The Owner has been advised that due to harsh winter conditions, roof and deck surfaces must be maintained reasonably free of ice and snow to ensure minimal problems with these surfaces. All roofing, roofing membranes, and waterproofing shall be approved in writing by product manufacturer (W.R. Grace for bitumens, etc.) prior to proceeding with any work. Failure to provide these written approvals removes all responsibility for the work from the Architect.
- 14) BUILDING AREA:
Building areas are shown for code purposes only and shall be recalculated for any other use.
- 15) PROJECT STAKING:
The general contractor shall verify all existing grades and stakes all building corners and the driveway location for Owner/Architect and jurisdiction approval prior to beginning any site clearing.
- 16) SITE DISTURBANCE:
It is the responsibility of the contractor to protect the existing trees to remain and adjacent properties from damage during construction. Provide protective fencing throughout construction.
- 17) PROJECT GRADES:
The general contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail. See numbers 5 and 6.
- 18) EXTERIOR MATERIAL MOCK UP:
The General Contractor shall provide a mock up of all exterior materials for review by the Owner, Architect, and HOA Review Committee. This mock up shall be provided and signed off in writing prior to any exterior stain or exterior finish work. The sample shall include fascia, trim, window cladding and all other exterior finishes including a 3"x3"x3" (min) sample of exterior stone/brick, if applicable. This mock up shall be retained on site until the final punch.

BID ALTERNATES

- ALTERNATE NO. 1 - ALTERNATE INSULATION SYSTEMS
ALTERNATE NO. 2 - INSULATION UPGRADE
ALTERNATE NO. 3 - FOUNDATION WALL WATERPROOFING
ALTERNATE NO. 4 - SEALANT PACKAGE UPGRADE
ALTERNATE NO. 5 - COPPER PIPING/ PEX PIPING
ALTERNATE NO. 6 - WOOD CEILING OPTIONS
ALTERNATE NO. 7 - EXTERIOR DECKING OPTIONS
ALTERNATE NO. 8 - EPOXY FLOOR
ALTERNATE NO. 9 - EMERGENCY WATER SHUTOFF CONTROL
ALTERNATE NO. 10 - PROGRAMMABLE LIGHTING
ALTERNATE NO. 11 - CENTRAL HUMIDIFIER
ALTERNATE NO. 12 - EXTERIOR SNOWMELT OPTIONS
ALTERNATE NO. 13 - ERV/HRV SYSTEM
ALTERNATE NO. 14 - STEAM SHOWER
ALTERNATE NO. 15 - EXTERIOR FIRE PIT
ALTERNATE NO. 16 - ELEVATOR
ALTERNATE NO. 17 - CAMERA SYSTEM
ALTERNATE NO. 18 - WIRELESS SATELLITE DISH
ALTERNATE NO. 19 - STONE PATIO
ALTERNATE NO. 20 - MOTORIZED WINDOW SHADES
ALTERNATE NO. 21 - ASPHALT DRIVE
ALTERNATE NO. 22 - ENVIRONMENTAL PRODUCTS

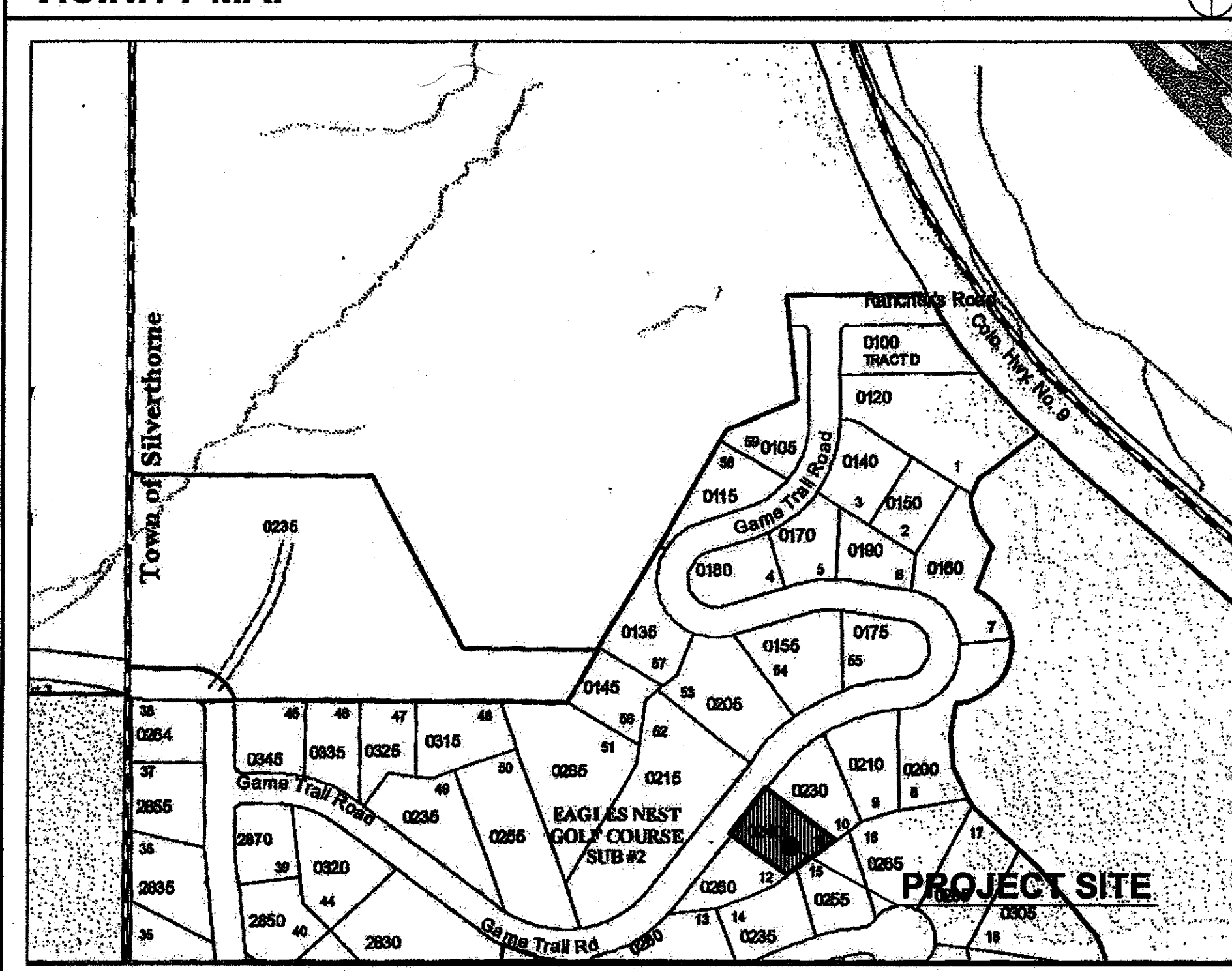
- PREMISE ID, APPROVED PLANS, NOTES AND SIGN-OFF CARD TO BE ENSURED INSPECTIONS
- CHANGES TO THESE APPROVED PLANS TO BE SUBMITTED FOR APPROVAL PRIOR TO IMPLEMENTING. NOTE 116.
* SPRINKLER SYSTEM REQ'D PER SUBDIVISION. TO BE PERMITTED INSIDE BY LAKE DILLON FIRE AUTHORITY NOTE 49.
- 3/4" 35, GREEN PLASTIC SEWER PIPE, IS NOT ALLOWED WITHIN THE FOUNDATION OF THE STRUCTURE. NOTE 100.
- THIS PROJECT TO BE COMPLIANT TO THE 2012 ENERGY CODE. REF PAGE A3.1 FOR DETAILS.
* BLOWER DOOR OR THIRD PARTY TEST RESULTS TO BE ON SITE @ BUILDING FINAC. NOTE 127.

THORNVIEW RETREAT



VIEW LOOKING SOUTH

VICINITY MAP



AREA CALCULATIONS

	UNFINISHED	FINISHED	TOTAL
LOWER	629 SF.	1,113 SF.	1,742 SF.
MAIN	0 SF.	1,713 SF.	1,713 SF.
UPPER	0 SF.	143 SF.	143 SF.
TOTAL	629 SF.	3,969 SF.	4,598 SF.

NOTE: SQUARE FOOTAGES ARE CALCULATED FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

FIRE SPRINKLER SYSTEM

VERIFY SIZE OF WATER SERVICE LINE
PROVIDE PDC AT ENTRY AREA AS SHOWN
PROVIDE NFPA 13 R SYSTEM
PROVIDE SIDE WALL HEADS TO GREATEST EXTENT POSSIBLE
PROVIDE SUBMITTAL FOR AUTOMATIC FIRE SPRINKLER SYSTEM.

FINISHED FLOOR ELEV.

	U.S.G.S.	ARCHITECTURAL
LOWER - T.O. CONC.	8,710'	100'-0"
ENTRY - T.O. FLYWD.	8,715'	105'-6"
MAIN - T.O. FLYWD.	8,721'	111'-0"
UPPER - T.O. FLYWD.	8,732'	122'-0"

SHEET INDEX

T-11 TITLE SHEET 4 NOTES

- SP-11 SITE PLAN
SP-12 LANDSCAPE PLAN
A-11 LOWER LEVEL PLAN
A-12 MAIN LEVEL PLAN
A-13 UPPER LEVEL PLAN
A-14 ROOF PLAN
A-21 BUILDING ELEVATIONS
A-22 BUILDING ELEVATIONS
A-31 BUILDING SECTIONS
A-32 BUILDING SECTIONS
A-33 BUILDING SECTIONS
A-34 BUILDING SECTIONS
A-41 ARCHITECTURAL DETAILS
A-42 ARCHITECTURAL DETAILS
A-43 ARCHITECTURAL DETAILS
A-51 ARCHITECTURAL SPECIFICATIONS
A-52 ARCHITECTURAL SPECIFICATIONS

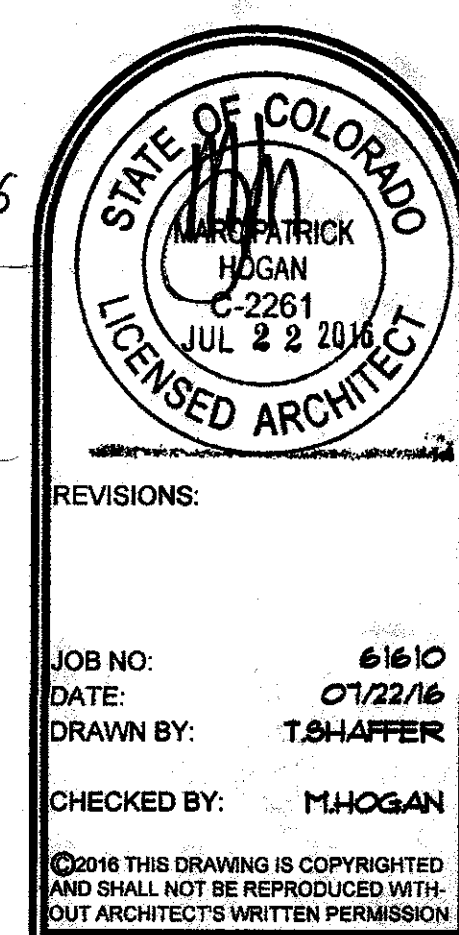
- 61 FOUNDATION PLAN
62 FOUNDATION DETAILS
63 MAIN LEVEL FLOOR AND LOWER ROOF FRAMING PLAN
64 UPPER LEVEL FLOOR AND LOWER ROOF PLAN
65 UPPER ROOF FRAMING PLAN

- ME-11 LOWER LEVEL MECHANICAL/ ELECTRICAL PLAN
ME-12 MAIN LEVEL MECHANICAL/ ELECTRICAL PLAN
ME-13 UPPER LEVEL MECHANICAL/ ELECTRICAL PLAN

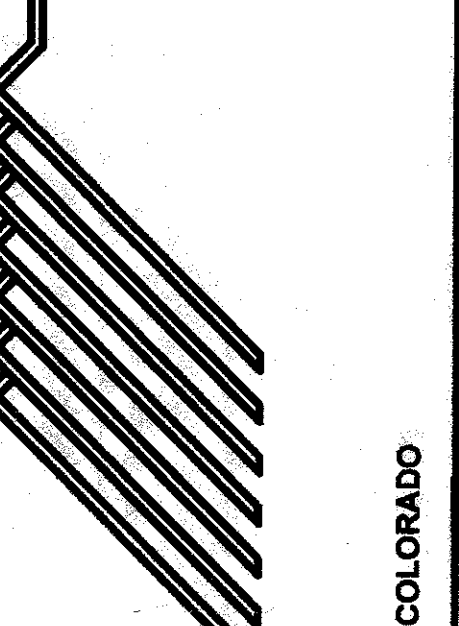
LEGAL DESCRIPTION

LOT 11
EAGLE'S NEST FILING # 2
16,329 SQ. FT. / 0.375 ACRES
240 GAME TRAIL ROAD
SILVERTHORNE, CO.

OWNER:	ARCHITECT:	CONTRACTOR:	STR'L ENGINEER:	SOILS ENGINEER:	SURVEYOR:
JONATHAN ROYCK/REBECCA RICHMOND P.O. BOX 1614 SILVERTHORNE, COLORADO 80388 (970) 390-1561 royck@coloradonet.net	BHH Partners, Planners and Architects 160 EAST ADAMS STREET P.O. BOX 581 BRECKENRIDGE, CO 80424 (970) 453-6800 (970) 453-6808 fax tshaffer@bhhpartners.com	SPRINT BUILDERS P.O. BOX 6327 BRECKENRIDGE, CO. 80424 (970) 390-1561 sprintbuilders@coloradonet.net	ENGINEERING DESIGNWORKS, INC. 163 HILLTOP PARKWAY, UNIT 206A STEAMBOAT SPRINGS, CO 80487 (970) 878-4890 (970) 878-4808 (FAX) edw@springdesign.com	HP GEOTECH 240 ANNIE ROAD P.O. BOX 1881 SILVERTHORNE, COLORADO 80388 (970) 468-1399 hpkummit@hpgeotech.com	RANGE WEST SURVEYORS BOB JOHNS PO BOX 589 SILVERTHORNE, COLORADO 80388 (970) 468-6281 bob@rangewestsurveyors.com



ISSUED FOR CONSTRUCTION: 07/22/16
MHG/hm



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THORNVIEW RETREAT
240 GAME TRAIL ROAD, LOT 11, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

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SHEET NUMBER:

T1.1
TITLE SHEET, GENERAL NOTES, SCHEDULES AND INFORMATION

OF: 1

SITE NOTES

1. ELECTRIC, CABLE T.V. AND TELEPHONE UNDERGROUND IN COMMON TRENCH
2. VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY ROUTING WITH APPLICABLE UTILITY COMPANY. ALL UTILITIES TO BE UNDERGROUND
3. TOPOGRAPHIC INFORMATION OBTAINED FROM RANGE WEST LAND SURVEYING, INC.
4. PROVIDE POSITIVE DRAINAGE AT BUILDING PERIMETER (SLOPE AWAY FROM BUILDING AT 1/2 MIN)
5. REFER TO FOUNDATION PLAN FOR FOUNDATION DRAIN LOCATION AND DRAINAGE. DRAINS TO BE SLOPED TO DAYLIGHT TO NATURAL TRENCH
6. FLAG ALL TREES FOR OWNER PRIOR TO THINNING OR REMOVING
7. PROTECT ALL REMAINING TREES WITH SNOW FENCE OR OTHER APPROVED BARRIER DURING CONSTRUCTION
8. PROVIDE 6" DIA. STONE RIP RAP OVER WEED BARRIER FABRIC AT EAVES AND VALLEY DRIP LOCATIONS
9. STAKE HOUSE LOCATION FOR OWNER, ARCHITECT, AND ARCHITECTURAL REVIEW BOARD PRIOR TO ANY WORK
10. GENERAL CONTRACTOR TO REVIEW & COMPLY WITH ALL SUBDIVISION CONDITIONS. COPIES OF CONDITIONS ARE AVAILABLE FROM ARCHITECT
11. TREES TO BE REMOVED TO ALLOW 10' BETWEEN CANOPIES WITH EXCEPTION OF CLUSTERS TO BE APPROVED BY THE HOA AND TOWN OF SILVERTHORNE

CONTOUR LEGEND

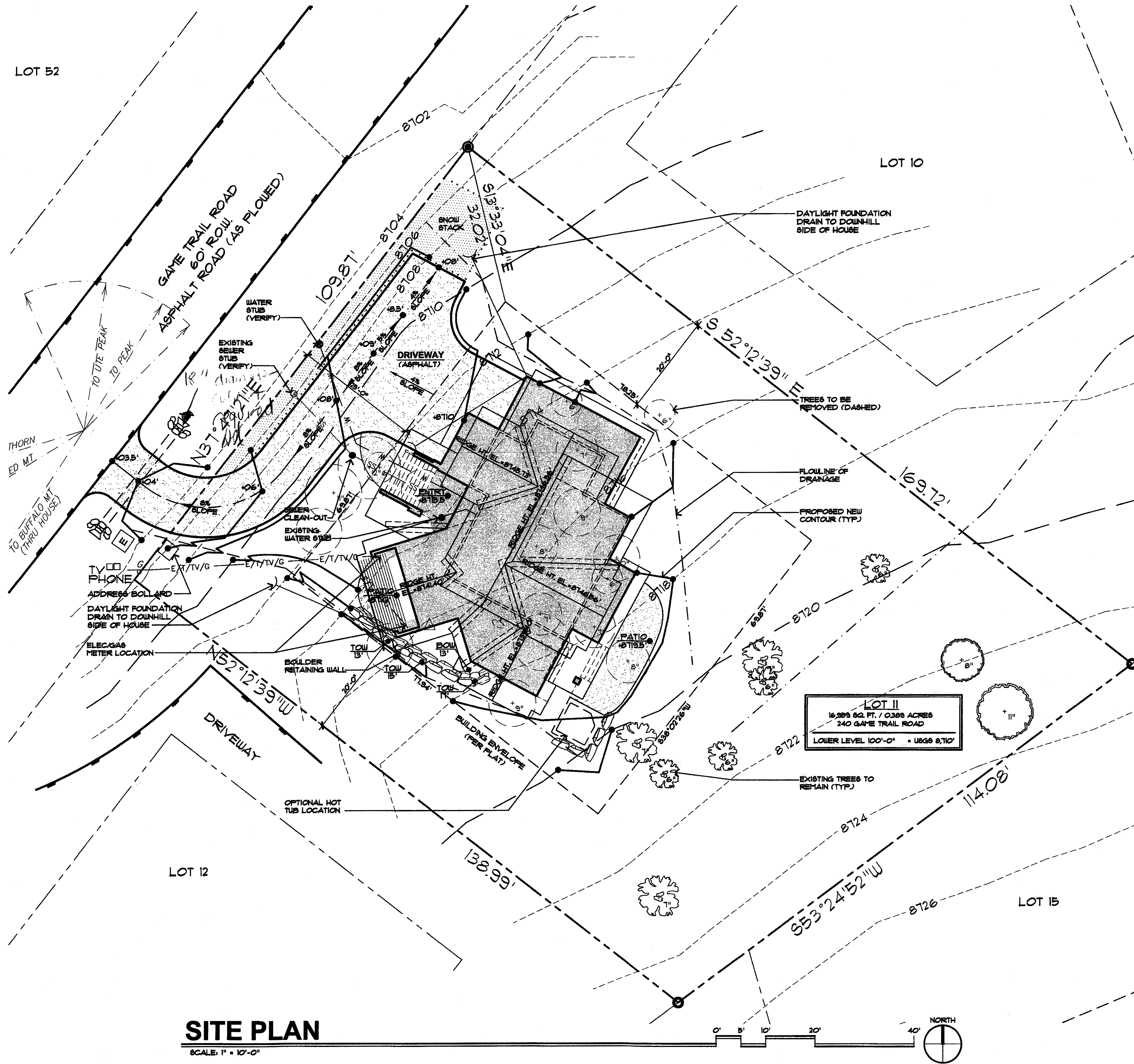
EXISTING MINOR	—	DRAINAGE ARROW	→
EXISTING MAJOR	—	SPOT GRADE AT DOT	89.16'
PROPOSED	—		

LOT COVERAGE

	SQ. FT.	PERCENTAGE
BUILDING (INCLUDES OVERHANGS, DECKS AND PATIOS)	3,092 S.F.	18%
HARDSCAPE (DRIVEWAY)	1,600 S.F.	9.4%
OPEN SPACE	12,267 S.F.	72%
TOTAL LOT SIZE	16,959 S.F.	100%

REQUIRED SNOWSTACK

	SQ. FT.	PERCENTAGE
HARDSCAPE (PATIOS, WALKS & DRIVEWAY)	1,790 S.F.	100%
REQ'D SNOW STACK (25% OF HARDSCAPE)	448 S.F.	25%
TOTAL SNOW STACK PROVIDED	454 S.F.	25.4%



SITE PLAN
SCALE: 1" = 10'-0"

STATE OF COLORADO
MARK PATRICK HOGAN
C-2261
JUL 22 2016
LICENSED ARCHITECT

REVISIONS:

JOB NO: 61610
DATE: 07/22/16
DRAWN BY: SMH
CHECKED BY: MPH

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THORNVIEW RETREAT
240 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

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SHEET NUMBER:

SP1.1
SITE PLAN

OF: 2

2016087

PLANTING LIST					
KEY	COMMON	BOTANICAL	NO.	SIZE	NOTES
EXISTING TREES					
	EXISTING	VARIABLES -	--	SEE SITE PLAN	
EXISTING TREES TO BE REMOVED					
	VARIES -	VARIES -	--	SEE SITE PLAN	
PROPOSED TREES/SHRUBS TO BE ADDED					
	COLORADO SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	3	12" TALL	
	ASPEN	POPULUS TREMILOIDES	12	12" MIN. CAL. 50% MULTI-STEM	
	COLORADO COTTONWOOD	POPULUS USILIZENI		8'-10' TALL	
	POTENTILLA	POTENTILLA FRUTICOSA	5 GAL.	NEEDS SUN (36" TALL, 4'-0" WIDE)	
	BUFFALO JUNIPER	JUNIPERUS SABINA	5 GAL.	NEEDS SUN (12" TALL, 8'-0" WIDE)	
	SILVER BUFFALO BERRY	SHEPHERDIA ARGENTEA	5 GAL.	GROWS TO 6'-10' TALL	
	PEKING COTONEASTER	COTONEASTER LUCIDA OR ACICULATUS	5 GAL.	GROWS TO 6'-10' TALL	
	ALPINE CURRANT	RIBES ALPINUM	5 GAL.	GROWS TO 3'-6' TALL	
	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	1 FLAT	PROVIDE TO ALL DISTURBED AREAS	

REVEGETATION NOTES	
REVEGETATE ALL DISTURBED AREAS ON THE SITE WITH:	
SHORT DRY GRASS MIX #2 LB/1000 SF:	
HARD FESCUE	30%
CREeping RED FESCUE	30%
SHEEP FESCUE	25%
CANADA BLUEGRASS	10%
CANY BLUEGRASS	5%
SLOPES OVER 3:1 SHALL BE MATTED OR NETTED.	
MOUNTAIN MAGIC WILDFLOWER MIX #1 LB/1000 SF:	
BABY'S BREATH	BLANKETFLOWER
CALIFORNIA POPPY	SHIRLEY POPPY
BLUE FLAX	LUPINE MIX
WALLFLOWER	MAIDEN PINKS
PENSTEMON, ROCKY MOUNTAIN WILD THYME	
ROCKY MOUNTAIN BLUE COLUMBINE MIX #1 LB/25,000 SF	
OR	
WESTERN NATIVE WILDFLOWER MIX #1 LB/6,000 SF:	
MOUNTAIN LUPINE	CONEFLOWER, WESTERN
COLUMBINE, COLORADO	SULFUR FLOWER
GERANIUM, RICHARDSON	NODDING GROUNDSEL
ASTER, ENGLISHMAN'S	WESTERN LARKSPUR
GALLIARDIA/BLANKETFLOWER	AMERICAN VETCH
ORANGE MOUNTAIN DAISY	GIANT LOOSEWORT
PENSTEMON, WABATCH	PENSTEMON, RYDBERG
PENSTEMON, SMALL FLOWERED	
PENSTEMON, ROCKY MOUNTAIN	

STATE OF COLORADO

MARC MITTRICK

02261

JUL 2 2 2015

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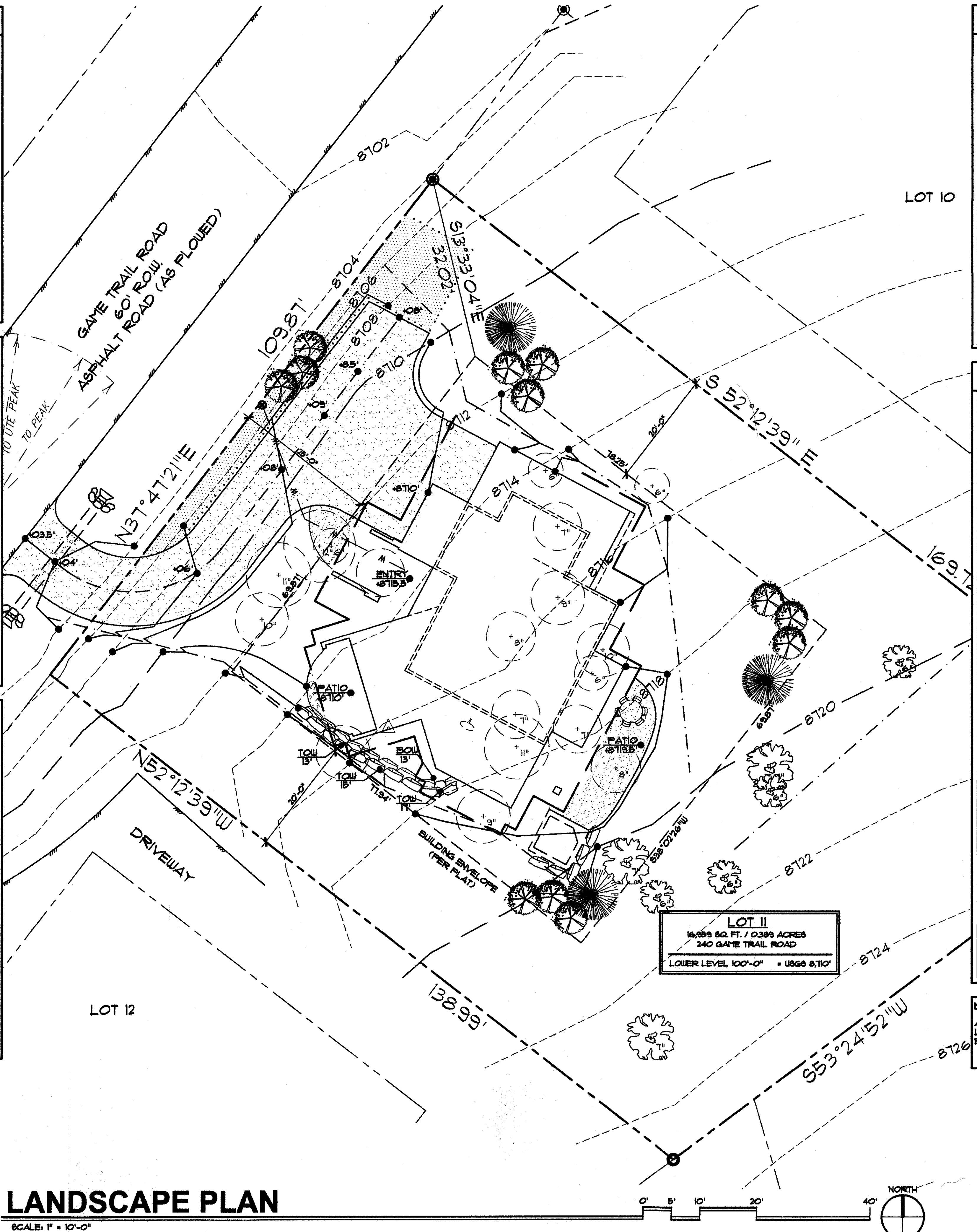
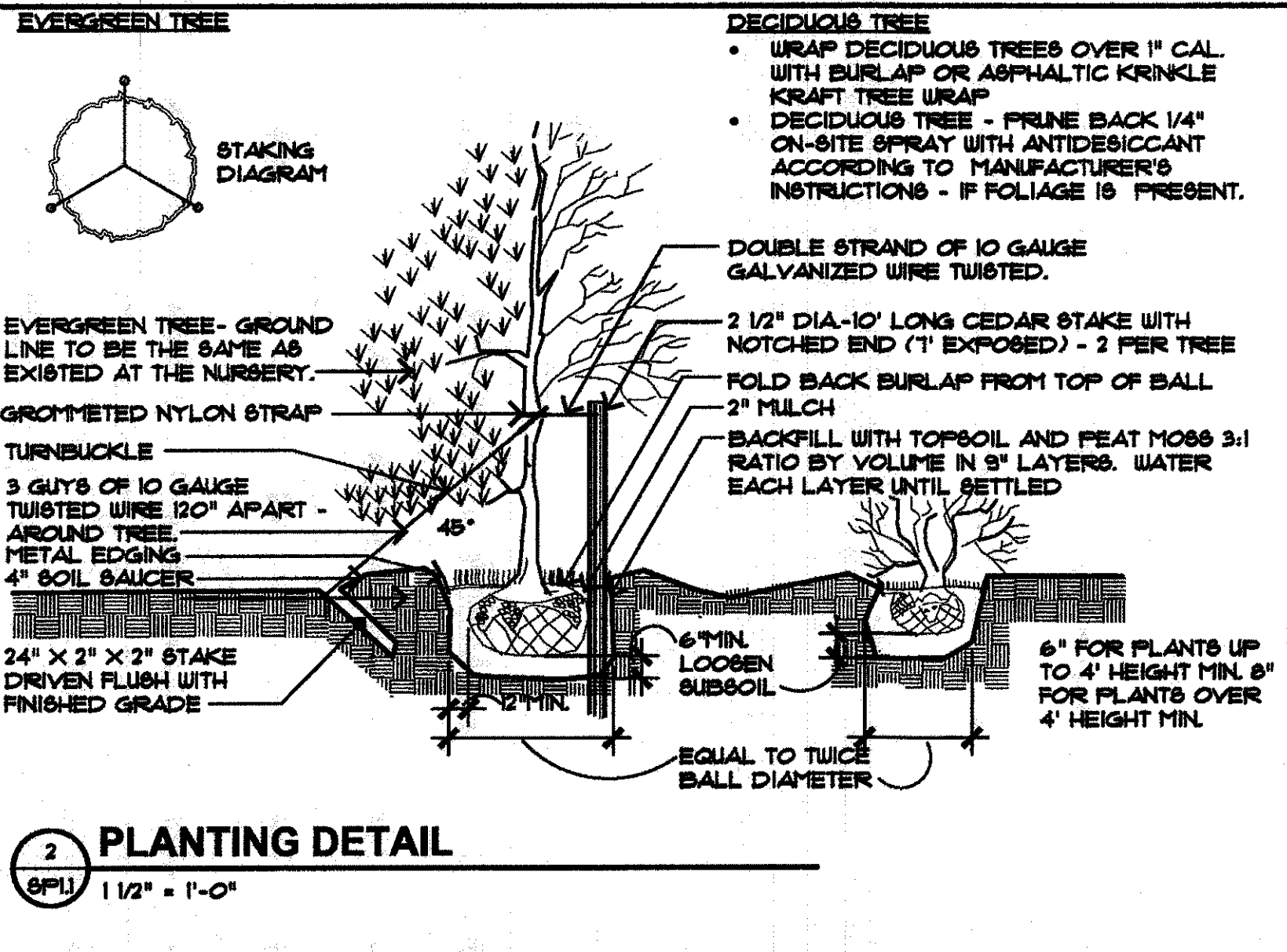
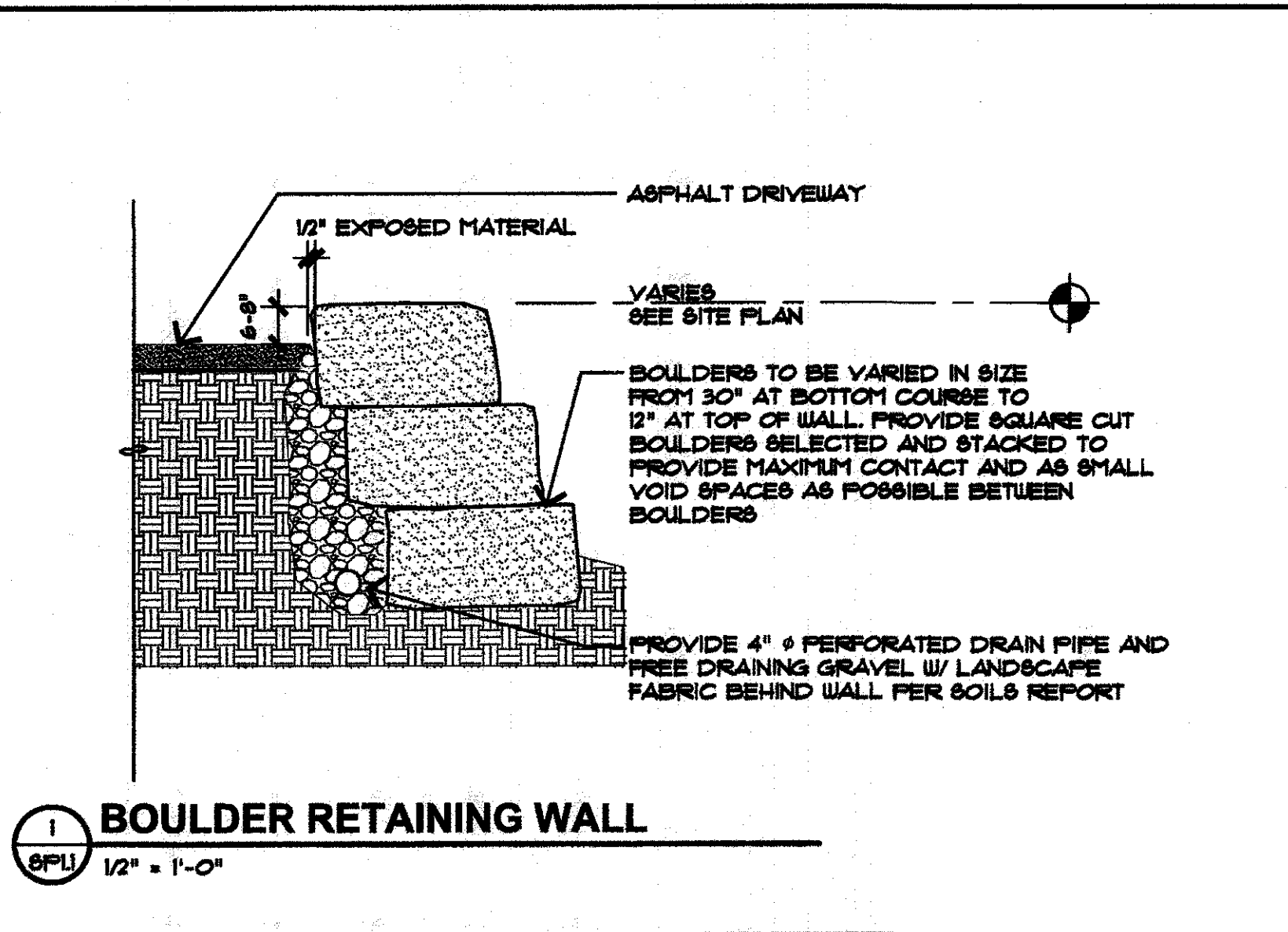
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- ### LANDSCAPE NOTES
- PROVIDE 3" (MIN) CLAYFREE TOPSOIL AND SEED ALL DISTURBED AREAS WITH SHORT SEED MIX (AS APPROVED BY HOA) STRIP AND STOCKPILE EXISTING TOPSOIL IN CONSTRUCTION AREA. SCREEN TOPSOIL PRIOR TO INSTALLATION.
 - KEEP EXISTING TREES WHERE POSSIBLE, TAKING INTO CONSIDERATION DRIP LINES AND ROOT STRUCTURE. PROTECT EXISTING TREES WITH FENCING LOCATED AT OR OUTSIDE DRIP LINE OF TREE. STOCKPILE AND REUSE EXISTING TREES WHERE POSSIBLE.
 - GENERAL CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS PER SPECIFICATIONS AND CODE REQUIREMENTS. PRIOR TO ANY LANDSCAPE WORK, REMOVE ALL DEBRIS, PAINT, CONCRETE, STUMPS, SLASH, ETC. FROM LANDSCAPE AREA.
 - LOCATE ALL PLANTINGS TO AVOID SNOW STACKING & SNOW SLIDE AREAS FROM ABOVE.
 - SHRUBS ARE TO BE FIELD LOCATED AS APPROVED BY OWNER AND ARCHITECT.
 - ALL NEW LANDSCAPING TO BE IRRIGATED WITH DRIP IRRIGATION SYSTEM. MAXIMUM 1000 SF IRRIGATED SPACE PER DESIGN GUIDELINES. PROVIDE SUBMITTAL.
 - ALL NEW PLANTINGS SHOULD BE HIGH ALTITUDE GROWN AND OR COLLECTED TO ENSURE BETTER SURVIVAL.
 - NATURALIZE GROUPING OF TREES BY VARYING HEIGHT & LOCATION WHEREVER POSSIBLE.
 - SCREEN ALL UTILITY FEDESTALS WITH LANDSCAPE MATERIAL.
 - PROVIDE 3" TO 4" DIAMETER STONE RIPRAP OVER WEED BARRIER FABRIC AT BUILDING DRIP LINES. UNDULATE EDGES AND PROVIDE LANDSCAPE EDGING AT RIPRAP TO TOPSOIL JUNCTURE.
 - INSTALL & BACKFILL ALL PLANTINGS WITH SOIL MIX INCLUDING ORGANIC SOIL AMENDMENTS PER SPECIES REQUIREMENTS AND LANDSCAPE DETAILS.
 - ROOT FEED ALL NEWLY PLANTED TREES DURING INSTALLATION. PROVIDE LIQUID GROWTH TREE STIMULATOR AND SOLUBLE FERTILIZER AT RECOMMENDED RATE FOR EACH TREE SPECIES.
 - PROVIDE 3" OF SHREDDED BARK MULCH AT ALL SHRUB AND TREE WELLS.
 - LANDSCAPE BOULDERS OF 2' OR LARGER SHALL BE RETAINED ON SITE FOR USE IN LANDSCAPE WORK. BURY DECORATIVE BOULDERS ONE-HALF OF DIAMETER AS APPROVED BY HOA PRIOR TO INSTALLATION.
 - ALL ROCK OUTCROPPINGS THAT ARE TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITY.
 - ADDITIONAL CONSULTATION WITH A QUALIFIED LANDSCAPE PROFESSIONAL AT OWNER OPTION IS RECOMMENDED.
- NOTE:**
 A DETAILED LANDSCAPE PLAN WILL BE PROVIDED BY A LANDSCAPE CONTRACTOR AT A LATER DATE AS APPROVED BY EAGLE'S NEST SUBDIVISION.

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M.H.

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SHEET NUMBER:

SP1.2

LANDSCAPE PLAN

OF: 2

bhh Partners

THORNVIEW RETREAT

240 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

2016087

S160088

2016087

LOWER LEVEL ROOM FINISH SCHEDULE						
#	ROOM NAME	FLOOR	WALLS	CEILING	REMARKS	
100	MECHANICAL	CONCRETE	NONE			
101	GARAGE	CONCRETE	NONE			
102	OPTIONAL ELEVATOR	WOOD				
103	MUD ROOM	STAINED CONC	WOOD			
104	LAUNDRY	STAINED CONC	WOOD			
105	CLOSET	STAINED CONC	WOOD			
106	BATHROOM	TILE	WOOD			
107	BEDROOM	CARPET	WOOD			
108	CLOSET	CARPET	WOOD			
109	FAMILY ROOM	STAINED CONC	WOOD			
110	GAMES	STAINED CONC	WOOD			
111	WET BAR	STAINED CONC	WOOD			
112	STORAGE	CONCRETE	NONE			
113	STORAGE	STAINED CONC	NONE			

ROOM FINISH NOTES

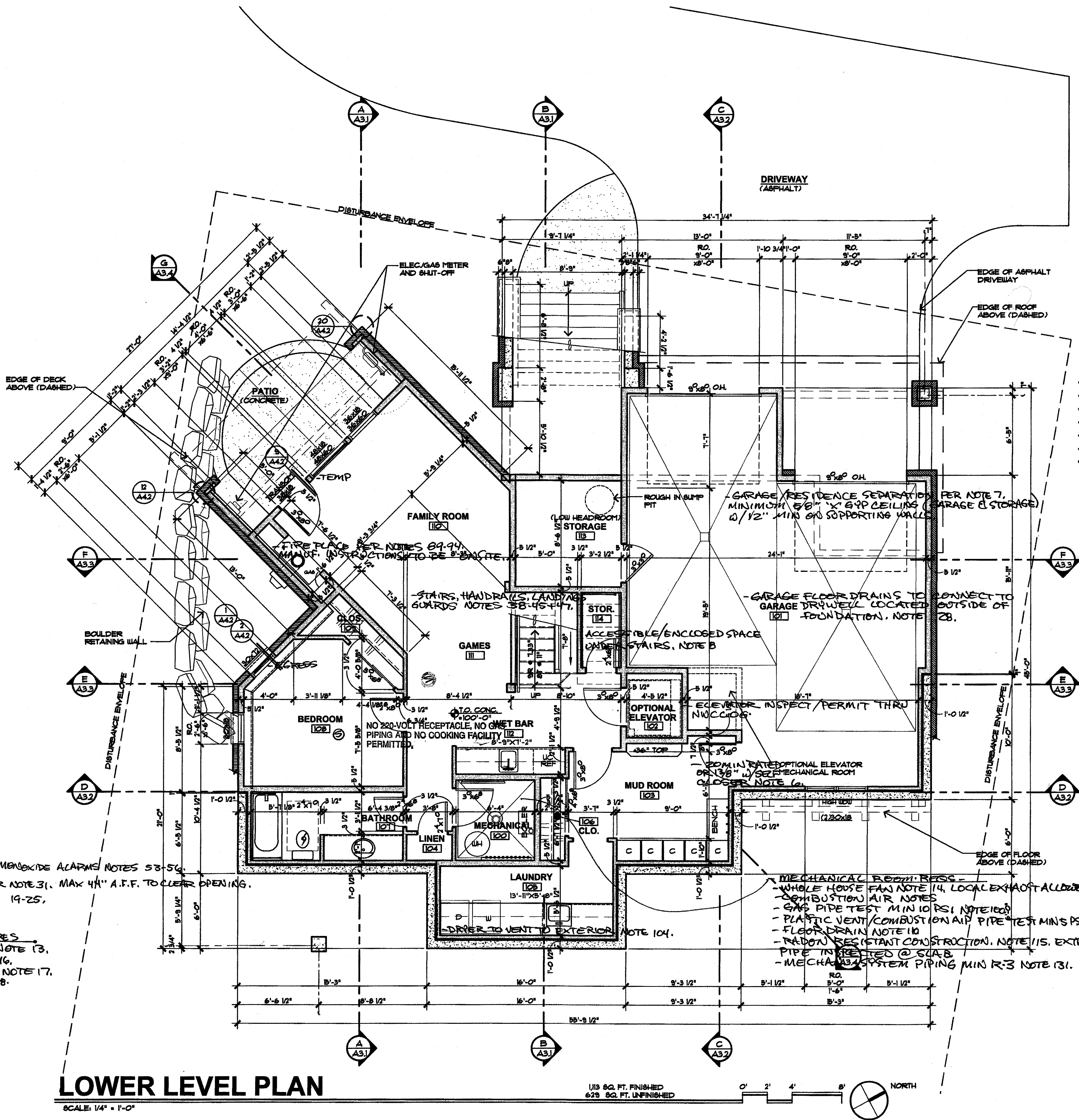
- NOTE: VERIFY INTERIOR FINISHES W/ OWNER
1. 5/8" TYPE 'X' GYPSUM BOARD WITH LIGHT HAND TROUELED FINISH (PAINT)
 2. 1/2" CEMENT BOARD WITH TILED FINISH
 3. PROVIDE OPTION FOR EPOXY FLOOR FINISH
 4. VERIFY MILLWORK WITH OWNER - PROVIDE SUBMITTAL
 5. PROVIDE BEAM WORK WITH FINISHES APPROVED BY OWNER
 6. SPECIFIED STONE VENEER
 7. VERIFY FREE STANDING SOAKING TUB WITH OWNER
 8. WOOD CEILING OPTION VERIFY WITH OWNER
 9. WALL MOUNTED STEEL HANDRAILS
 10. DOCKING STATION/LANDING TOP
 11. FRONT LOAD WASHER/DRYER
 12. PROVIDE APPLIANCES AS APPROVED BY OWNER
 13. PROVIDE CUSTOM SHOWER WITH FRAMELESS GLASS ENCLOSURE AND BUILT-IN FLOATING BENCH AND STANDARD SHAMPOO NICHE DROP CEILING TO 7'-6"
 14. TUB, SHOWER, TILE NICHE, AND SHOWER CURTAIN
 15. VERIFY CLOSET SYSTEMS WITH OWNER
 16. SPECIAL LAVATORY AND POWDER ROOM FINISHES AS APPROVED BY OWNER
 17. PROVIDE MODERN RESSON FIREPLACE WITH TILE AND/OR METAL PANEL SURROUNDS
 18. PROVIDE FOR ELEVATOR ROUGH-IN FOR FUTURE ELEVATOR
 19. PROVIDE FOR OPTIONAL STACKED WASHER/DRYER

LOWER PATIO

SCALE: 1/4" = 1'-0"

- SMOKE DETECTOR/CARBON MONOXIDE ALARMS NOTES 53-54.
- EGRESS REQUIREMENTS PER NOTE 31. MAX 44" A.F.F. TO CLEAR OPENING.
 - GLAZING/TEMPERING NOTES 19-25.

- TYPICAL BATHROOM REQUIRES
- MECHANICAL VENTILATION NOTE 13.
 - FIXTURE CLEARANCES NOTE 16.
 - NON-ABSORBENT SURFACES NOTE 17.
 - WATER-RESISTIVE GYP NOTE 18.



LOWER LEVEL PLAN

SCALE: 1/4" = 1'-0"

113 SQ. FT. FINISHED
629 SQ. FT. UNFINISHED

0' 2' 4' 8' NORTH

STATE OF COLORADO
MARGARET HOGAN
0-2261
JUL 22 2016
LICENSED ARCHITECT

REVISIONS:

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DRAWN BY: T. SHAFFER
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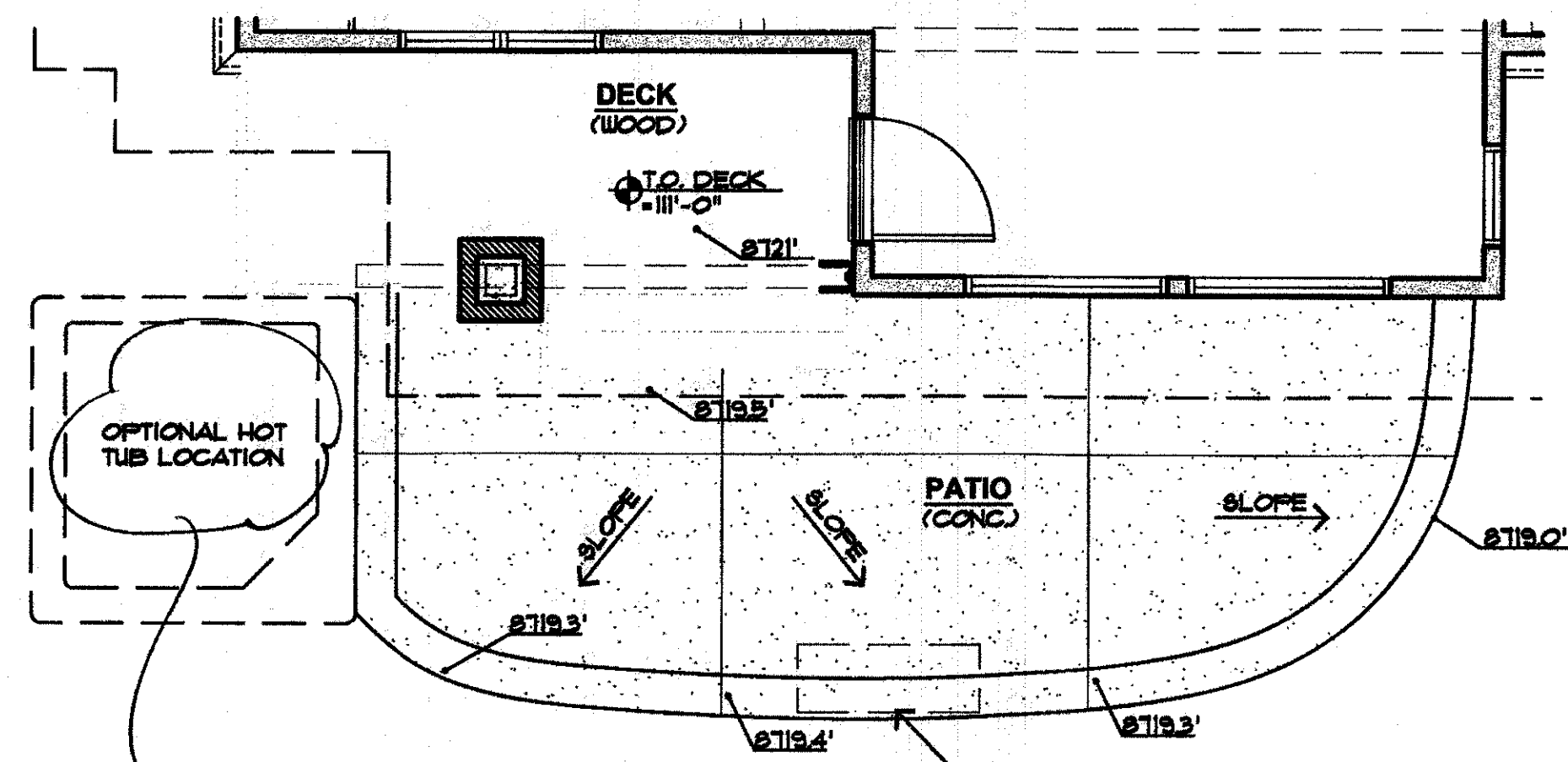
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240 GAME TRAIL ROAD, LOT 11, FILING 2, EAGLE'S NEST GOLF COURSE SUBDIVISION, SILVERTHORNE, COLORADO

SHEET NUMBER:
A1.1
LOWER LEVEL PLAN
OF: 15

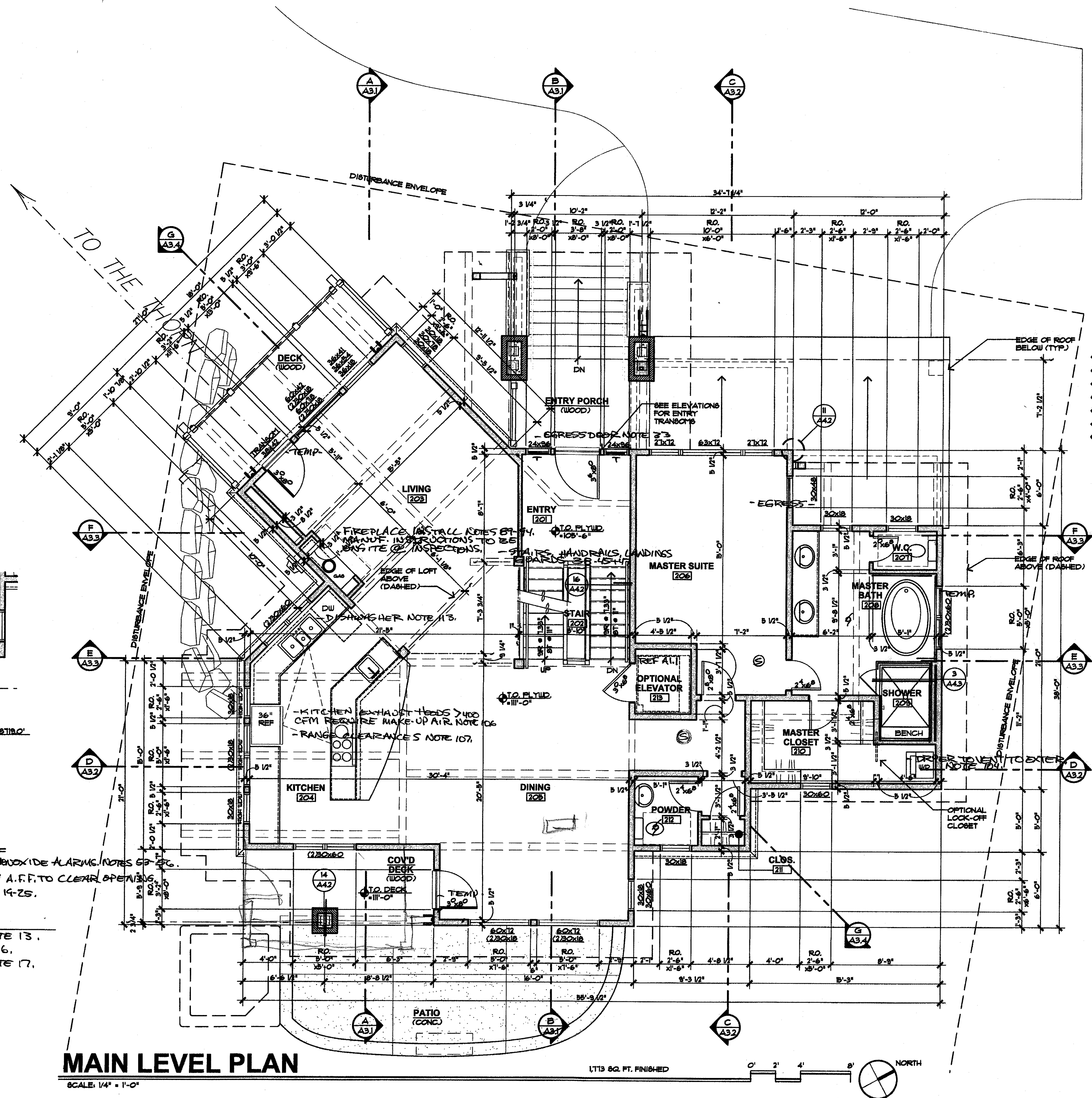
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2016 087

MAIN LEVEL ROOM FINISH SCHEDULE							
#	ROOM NAME	FLOOR		WALLS	CEILING		REMARKS
		MATERIAL	BASE	MATERIAL	MATERIAL	HEIGHT	NOTE
201	ENTRY	TILE	WOOD	1	1	VARIABLE	1, 3
202	STAIR	WOOD	WOOD	1	1	VARIABLE	1, 3
203	LIVING	WOOD	WOOD	1	1	VARIABLE	1, 3, 6, 8
204	KITCHEN	WOOD	WOOD	12	1	VARIABLE	1, 3, 5, 12
205	DINING	WOOD	WOOD	1	1	9'-10"	1, 5
206	MASTER SUITE	CARPET	WOOD	1	1	9'-10"	1
207	WATER CLOSET	TILE	WOOD	1	1	9'-0"	1
208	MASTER BATH	TILE	WOOD	1	1	9'-0"	1, 2, 4, 7, 13
209	SHOWER	TILE	TILE	1	1	9'-0"	2, 13
210	MASTER CLOSET	CARPET	WOOD	1	1	9'-0"	1, 4, 5, 13
211	CLOSET	TILE	WOOD	12	1	9'-0"	1
212	POWDER	TILE	WOOD	1	1	9'-0"	1, 16
213	OPTIONAL ELEVATOR	WOOD	WOOD	1	1	9'-10"	1, 18



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

THORNVIEW RETREAT

2016087

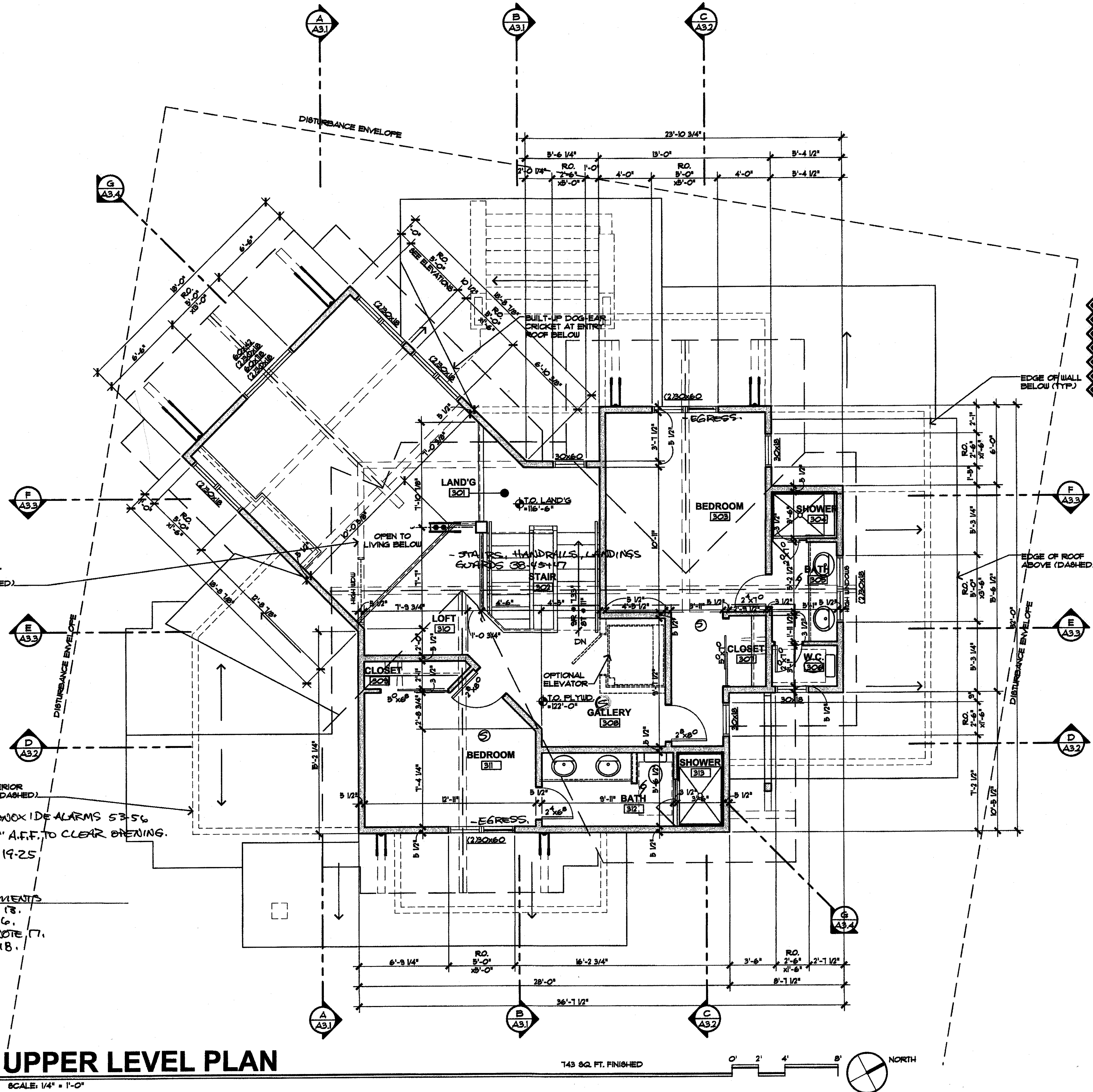
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UPPER LEVEL ROOM FINISH SCHEDULE							
#	ROOM NAME	FLOOR	WALLS	CEILING	REMARKS		
301	LANDING	WOOD	WOOD	VARIES			
302	STAIR	WOOD	WOOD	VARIES	1, 3		
303	BEDROOM	CARPET	WOOD	VARIES			
304	SHOWER	TILE	TILE	8'-0"	2, 5		
305	BATH	TILE	WOOD	VARIES	1, 4		
306	WATER CLOSET	TILE	WOOD	8'-0"			
307	CLOSET	CARPET	WOOD	8'-0"	1, 5		
308	GALLERY	CARPET	TILE	VARIES	1, 5		
309	CLOSET	CARPET	WOOD	8'-0"			
310	LOFT	CARPET	WOOD	VARIES			
311	BEDROOM	CARPET	WOOD	VARIES			
312	BATH	TILE	WOOD	VARIES	1, 4		
313	SHOWER	TILE	TILE	8'-0"	2, 5		

- ROOM FINISH NOTES
- NOTE: VERIFY INTERIOR FINISHES W/ OWNER
- 5/8" TYPE X GYPSUM BOARD WITH LIGHT HAND TROUELED FINISH (PAINT)
 - 1/2" CEMENT BOARD WITH TILED FINISH
 - PROVIDE OPTION FOR EPOXY FLOOR FINISH
 - VERIFY MILLWORK WITH OWNER - PROVIDE SUBMITTAL
 - PROVIDE BEAM WORK WITH FINISHES APPROVED BY OWNER
 - SPECIFIED STONE VENEER
 - VERIFY FREE STANDING SOAKING TUB WITH OWNER
 - WOOD CEILING OPTION VERIFY WITH OWNER
 - WALL MOUNTED STEEL HANDRAILS
 - DOCKING STATION/LANDING TOP
 - FRONT LOAD WASHER/DRYER
 - PROVIDE APPLIANCES AS APPROVED BY OWNER
 - PROVIDE CUSTOM SHOWER WITH FRAMELESS GLASS ENCLOSURE AND BUILT-IN FLOATING BENCH AND STANDARD SHAMPOO NICHE. DROP CEILING TO T-6"
 - TUB, SHOWER, TILE NICHE, AND SHOWER CURTAIN
 - VERIFY CLOSET SYSTEMS WITH OWNER
 - SPECIAL LAVATORY AND POWDER ROOM FINISHES AS APPROVED BY OWNER
 - PROVIDE MODERN RIBBON FIREPLACE WITH TILE AND/OR METAL PANEL SURROUNDS
 - PROVIDE FOR ELEVATOR ROUGH-IN FOR FUTURE ELEVATOR
 - PROVIDE FOR OPTIONAL STACKED WASHER/DRYER

- SMOKE DETECTORS/CARBON MONOXIDE ALARMS 53-56
- EGRESS PER NOTE 31. MAX 44" A.F.F. TO CLEAR OPENING.
- GLAZING/TEMPERING NOTES 19-25

- TYPICAL BATHROOM REQUIREMENTS
- MECHANICAL VENTILATION NOTE 13.
- FAULTURE CLEARANCES NOTE 16.
- NON-ABSORBENT SURFACES NOTE 17.
- WATER-RESISTIVE GYP. NOTE 18.



UPPER LEVEL PLAN

STATE OF COLORADO

MARCTRICK HOGAN

C-2261

JUL 22 2016

LICENSED ARCHITECT

REVISIONS:

JOB NO:

61610

DATE:

07/22/16

DRAWN BY:

T. SHAFFER

CHECKED BY:

M. HOGAN

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UPPER LEVEL PLAN

OF: 15

STATE OF COLORADO

MAC PATRICK HOGAN

C-2261

JUL 22 2016

LICENSED ARCHITECT

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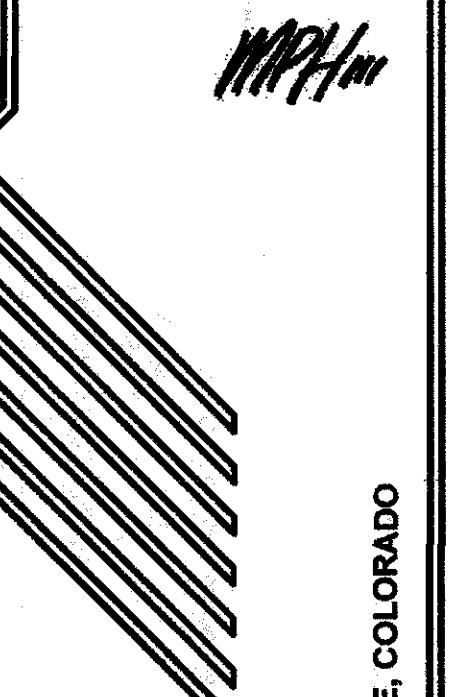
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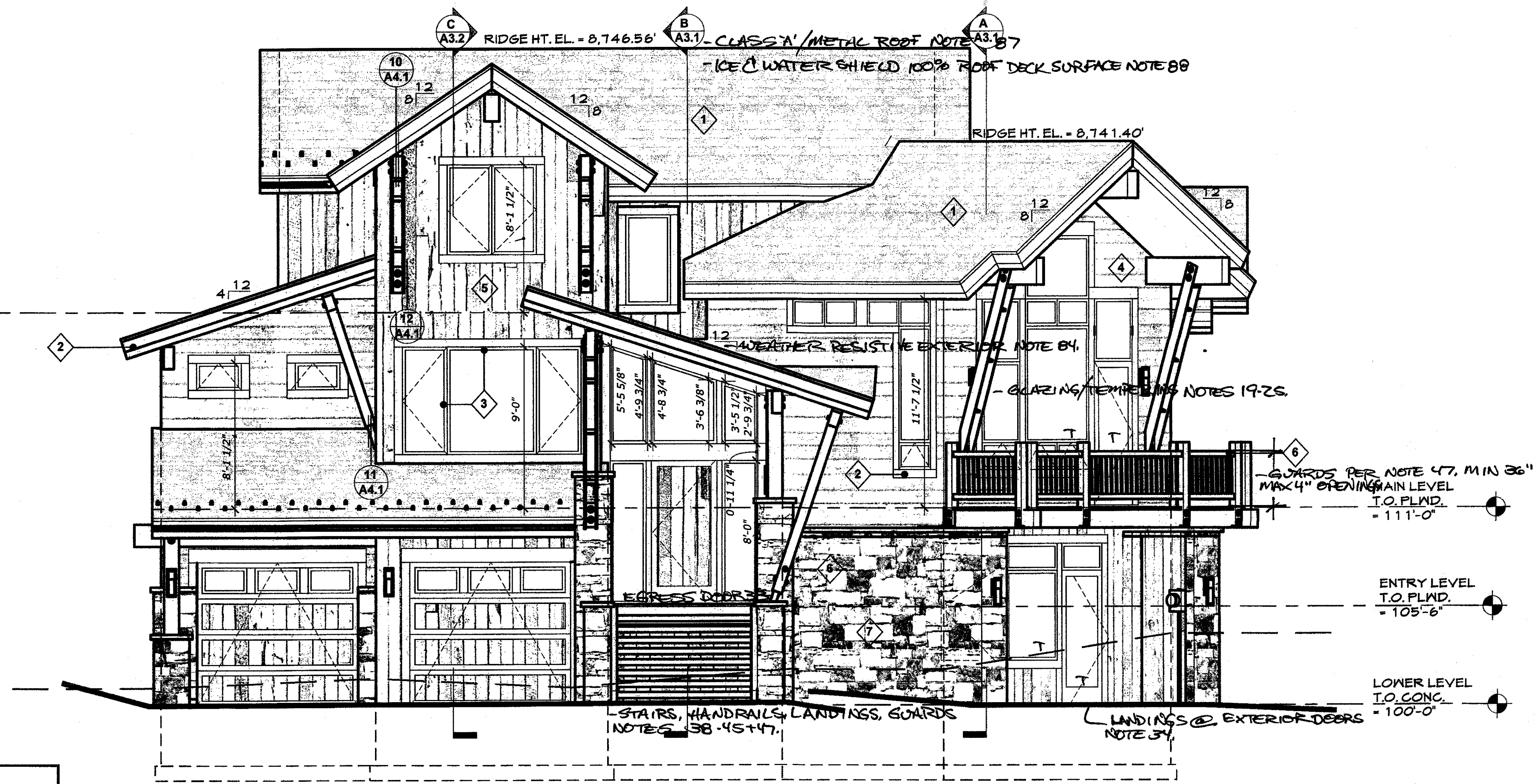
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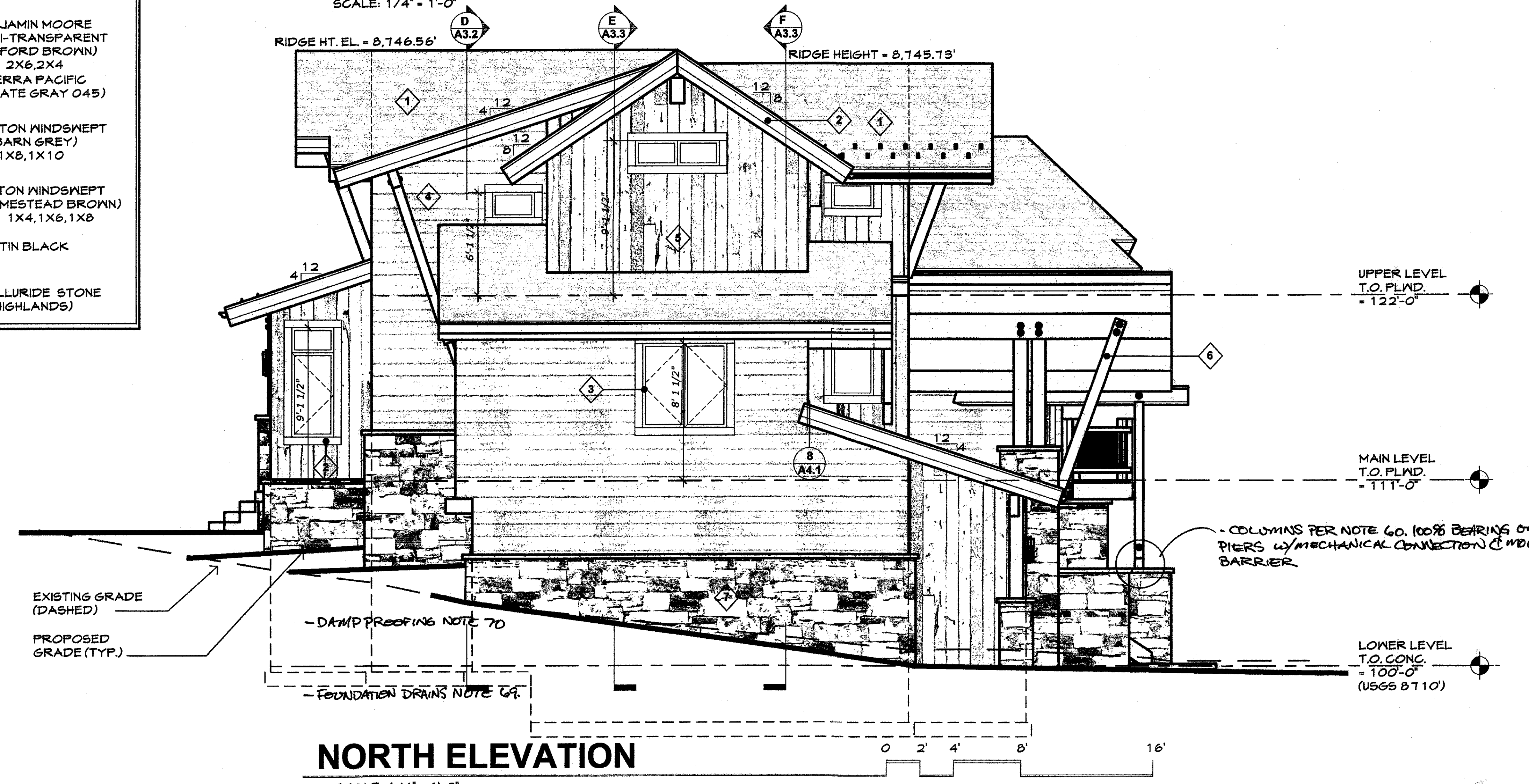
A2.1

BUILDING ELEVATIONS

OF: 15



WEST ELEVATION



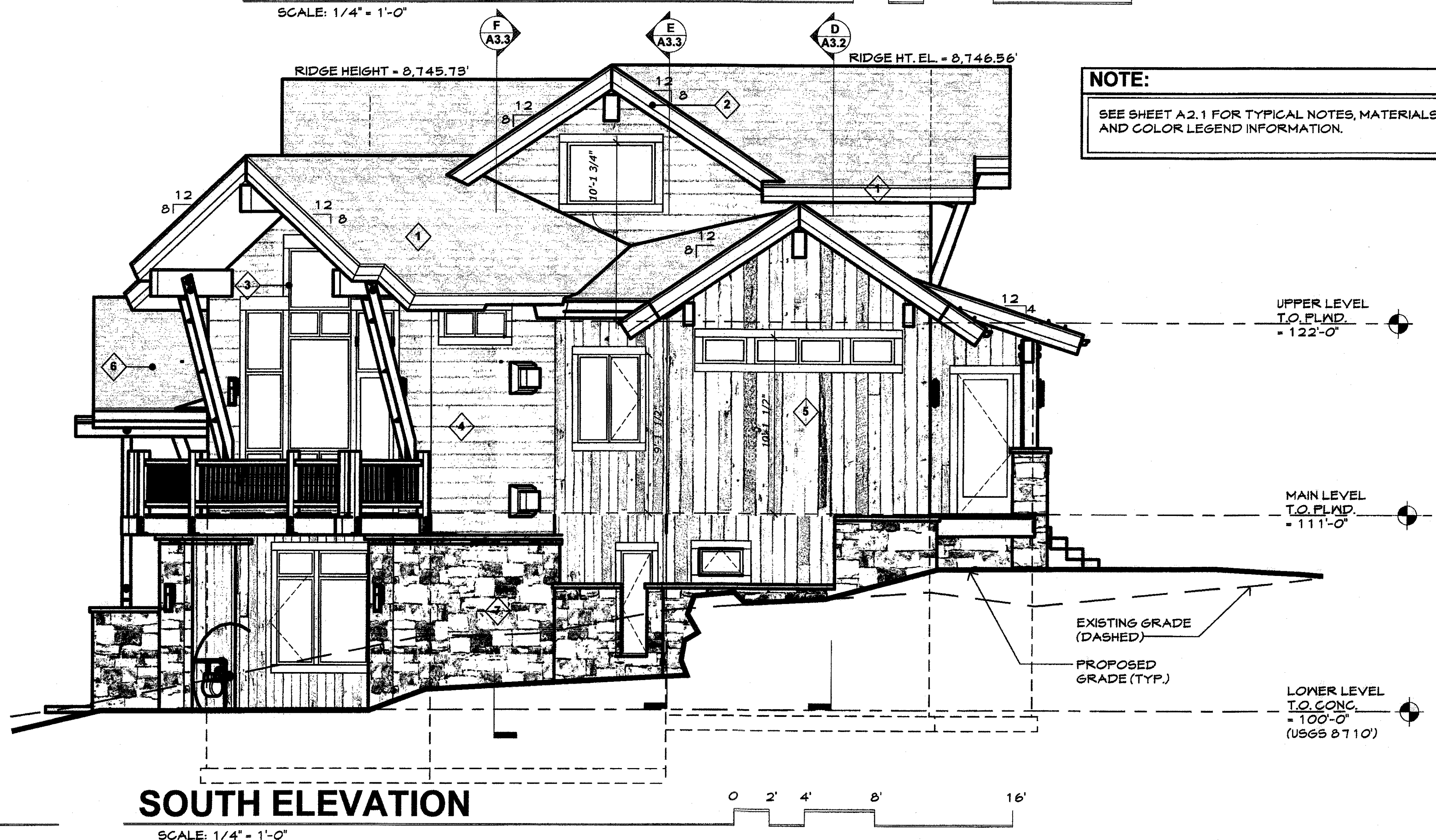
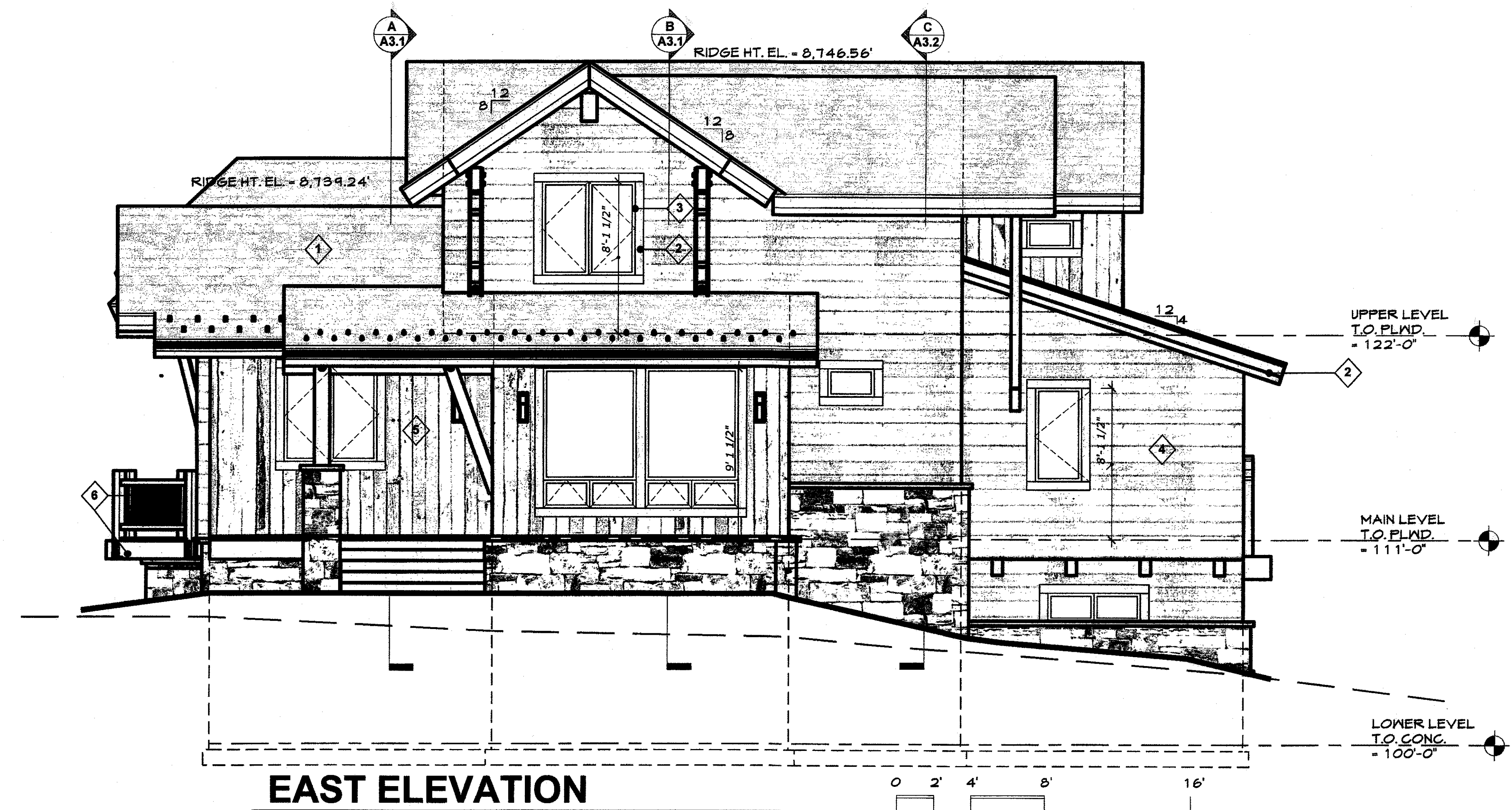
NORTH ELEVATION

COLOR LEGEND	
1	COMPOSITION SHINGLE ROOFING - OWENS CORNING DURATION (ONYX BLACK)
2	FASCIA & TRIM - BENJAMIN MOORE SEMI-TRANSPARENT (OXFORD BROWN) 2X6, 2X4
3	WINDOW CLAD - SIERRA PACIFIC (SLATE GRAY 045)
4	HORIZONTAL BARNWOOD SIDING - TETON WINDSWEPT (BARN GREY) 1X8, 1X10
5	VERTICAL BARNWOOD SIDING - TETON WINDSWEPT (HOMESTEAD BROWN) 1X4, 1X6, 1X8
6	STEEL ELEMENTS - SATIN BLACK
7	STONE VENEER - TELLURIDE STONE (HIGHLANDS)



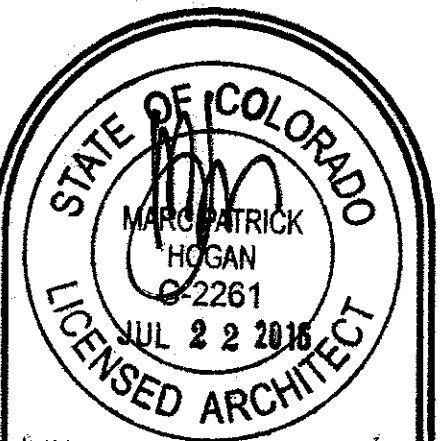
ELEVATION @ LIVING ROOM

SCALE: 1/4" = 1'-0"



NOTE:

SEE SHEET A2.1 FOR TYPICAL NOTES, MATERIALS,
AND COLOR LEGEND INFORMATION.



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BUILDING
ELEVATIONS

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TYPICAL ROOF ASSEMBLY:
SCHEDULED ROOFING (PER SPECS) OVER
WATERPROOF MEMBRANE (HOLD DOWN
3'-0" FROM RIDGES) OVER PLYWOOD
SHEATHING AND FRAMING (PER
STRUCTURAL) WITH R-49 INSULATION. SEE
DETAILS FOR HEADWALL AND SOFFIT VENTS.

TYPICAL EXTERIOR WALL:
HORIZONTAL OR VERTICAL SIDING (PER SPECS &
ELEVATIONS) OVER 1 LAYER 1/2" FELT, OVER 1/2"
SHEATHING, 2X6 STUDS @ 16" O.C. W/ R-25 OR
TYVEK BATT INSUL. PROVIDE 5/8" DRYWALL OVER
4 MIL VAPOR BARRIER @ INTERIOR.

TYPICAL FLOOR / CEILING:
1 1/2" GYP. CRETE OVER 3/4" PLYWOOD SUBFLOOR
(PER STRUCT.) OVER WOOD JOISTS (PER STRUCT.)
W/ R-11 BATT INSUL. PROVIDE 5/8" GYP. BD AT
CEILING. PROVIDE 5/8" X' GYP. BD AT GARAGE
CEILING.

TYPICAL FOUNDATION WATERPROOFING:
AT UPHILL SIDES OF FOUNDATION INSTALL 2"
R-10 RIGID INSULATION OVER DRAIN MAT OVER
WATERPROOF MEMBRANE (IF REQUIRED BY
SOILS ENGINEER). PROVIDE DAMPROOFING AT
SIDE WALLS AND DOWNHILL WALLS.

RADON MITIGATION:
PROVIDE CONTINUOUS 4" DIA. RIGID PERFORATED
DRAIN PIPE IN GRAVEL PLACED UNDER SLAB. VENT
UP THRU ROOF TO OUTSIDE W/ 4" DIA. P.V.C. PIPE.
PROVIDE ELECTRICAL OUTLET NEAR PIPE FOR
FUTURE FAN IF REQUIRED. FAN (IF REQUIRED) TO BE
PLACED AS HIGH AS POSSIBLE IN ATTIC SPACE.
SEAL ALL SLAB PENETRATIONS AND JUNCTURES.
VERIFY W/ SOILS ENGINEER.

TYPICAL SLAB:
COMPACT FREE DRAINING LEVELING COURSE
FOR INSTALLATION OF VAPOR BARRIER OVER
R-5 RIGID FOIL FACED (UP) INSULATION @ 6'-0"
WITHIN PERIMETER FOUNDATION WALL PRIOR TO
8" REINFORCED CONCRETE POUR. SEE
STRUCTURAL PLANS.

TYPICAL SOFFIT & RAKES & EAVES:
1/2" TAG R.S. BOARDS

BUILDING ENVELOPE ENERGY SUMMARY

ROOF INSULATION: R-49
EXTERIOR WALLS: (2X6) R-25 (3.1-3 PRODUCT)
WATERPROOF DECK: R-38 (CLOSED CELL FOAM) - R-49 IF SERVING AS ROOF
HEATED SLAB EDGE: R-15 (VERT.)
HEATED UNDER SLAB: R-10 (HORIZ.)

EXTERIOR FOUNDATION WALLS BELOW GRADE: R-10
FURRED EXTERIOR WALLS BELOW GRADE: (2X4) R-15
EXTERIOR WINDOWS/DOORS: U-FACTOR: 0.35 MAX.
CANTILEVERS: R-49

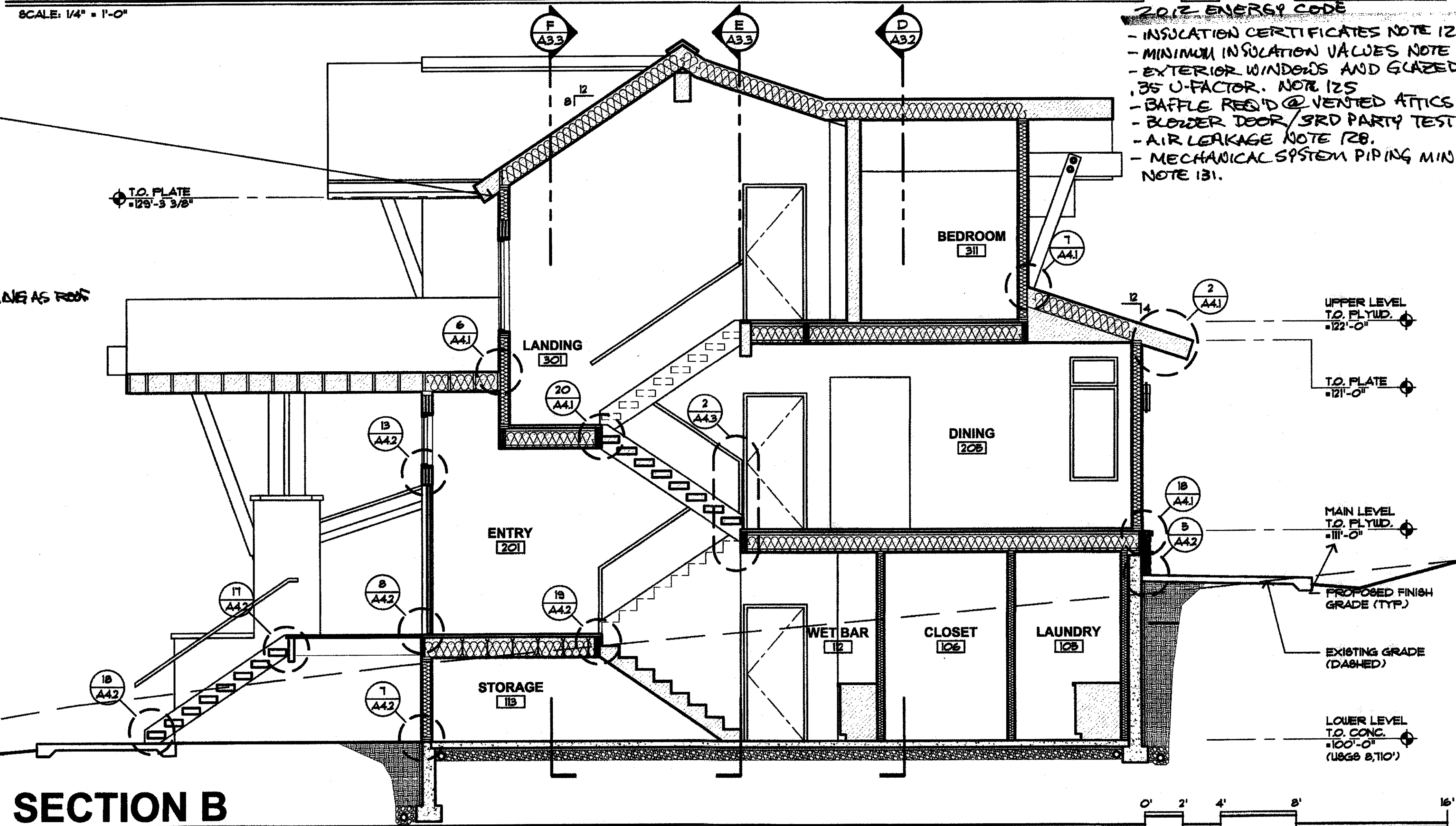
NOTE: VAPOR BARRIER AND 5/8" GYP. BD. TO BE
INSTALLED THROUGHOUT PRIOR TO ANY
INSTALLATION OF: TUBS, DROPPED CEILING, SOFFITS
DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO
THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE
COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND
MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS
AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL
CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC,
DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS
WITH VAPOR BARRIERS AND INSULATION REQUIREMENTS AS
OUTLINED IN DIVISION VII. PROVIDE AND SCHEDULE A
PRE-MEETING WITH THE ARCHITECT AND FRAMER TO REVIEW
THESE REQUIREMENTS PRIOR TO ANY FRAMING WORK.

AIR BARRIERS / VAPOR BARRIERS

IN COMPLIANCE WITH ENERGY CODE REQUIREMENTS, PROVIDE
CONTINUOUS, SOLID AIR BARRIERS OVER ALL INSULATION
SURFACES. PROVIDE AIR BARRIERS BEHIND ALL CONCEALED
AREAS, SUCH AS TUBS, DROPPED CEILING AREAS, SOFFITS
DECORATIVE BEAMS AND STRUCTURAL BEAMS ADJACENT TO
THERMAL ENVELOPE WALLS. THESE BARRIERS SHOULD BE
COORDINATED AND INSTALLED AT THE TIME OF FRAMING AND
MUST BE CONTINUOUS AND UNBROKEN. PROVIDE AIR BARRIERS
AND INSULATION AT THE THERMAL ENVELOPE LINE OF ALL
CHIMNEYS. AIR BARRIERS CAN BE 6 MIL POLYFILM PLASTIC,
DRYWALL OR SOLID SHEATHING. COORDINATE ALL AIR BARRIERS
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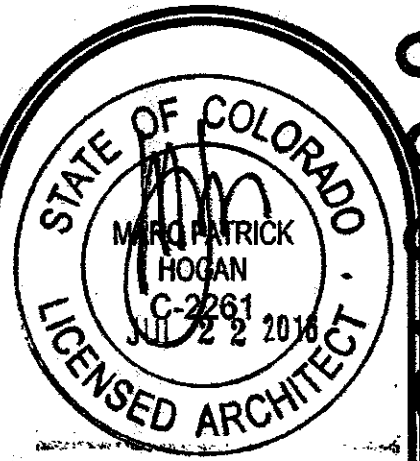
SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"

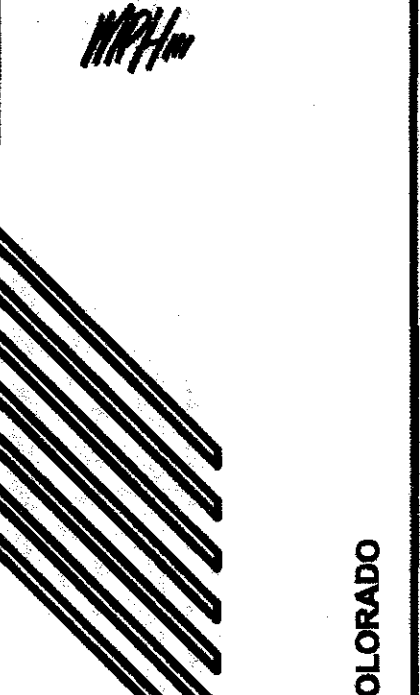


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2012 ENERGY CODE

- INSULATION CERTIFICATES NOTE 122.
- MINIMUM INSULATION VALUES NOTE 124.
- EXTERIOR WINDOWS AND GLAZED DOORS MAXIMUM U-FACTOR NOTE 125.
- Baffle Res'd @ Vented Attics NOTE 126.
- Blower Door / 3RD PARTY TEST NOTE 127.
- AIR LEAKAGE NOTE 128.
- MECHANICAL SYSTEM PIPING MIN. R-3 INSULATION NOTE 131.

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AIR BARRIER REQUIREMENTS

PROVIDE SEALED AIR BARRIER CONSTRUCTION PER INTERNATIONAL ENERGY CODE REQUIREMENTS AS ADOPTED BY THE LOCAL BUILDING DEPARTMENT FOR THIS PROJECT. WORK SHALL INCLUDE THE FOLLOWING AS APPLICABLE TO THE SPECIFIC PROJECT:

1. EXTERIOR BUILDING ENVELOPE - PROVIDE CONTINUOUS SEALANT BEAD AROUND ALL ELECTRICAL & ENVIRONMENTAL AIR PENETRATIONS AT THE EXTERIOR BUILDING ENVELOPE.
2. EXTERIOR FLOOR PLATES - PROVIDE CONTINUOUS SEALANT BEAD BETWEEN FLYWOOD OR SLABS AND BOTTOM PLATE OF EXTERIOR FRAMING.
3. GARAGE SEALS & SEALS AT INSULATED SPACE ABOVE GARAGES - PROVIDE CONTINUOUS SEALANT BEAD BETWEEN CONDITIONED SPACE & GARAGE SPACE TO INCLUDE FLOOR PLATES, RIM JOISTS, ATTIC TOP PLATES, & WALL PLATES.
4. INTERIOR BATH TUBS & SHOWERS ADJACENT TO EXTERIOR WALLS - PROVIDE CONTINUOUS SEALANT BEAD BETWEEN FLOOR PLATES AND FLOORING AT TUBS THAT ARE LOCATED ADJACENT TO ANY EXTERIOR WALL. PROVIDE CONTINUOUS SEALANT BEAD BETWEEN DRYWALL AND CEMENT BOARD AT ANY JOINTS AT EXTERIOR WALLS.
5. INTERIOR RIM FLOOR BOARDS - PROVIDE CONTINUOUS SEALANT BEAD AT CEILING AND FLOOR PLATES AND AT TOP AND BOTTOM OF EXTERIOR RIM BOARD CONSTRUCTION.
6. ATTIC & EAVE BAFFLE CONSTRUCTION - PROVIDE CONTINUOUS SEALANT BEAD AT BOTH CUT ROOFS & ATTIC TRUSSES.
7. INTERIOR SOFFITS, EXTERIOR WALLS, & EXTERIOR CEILING - PROVIDE CONTINUOUS SEALANT BEAD AT TOP PLATES AND ALL DRYWALL JOINTS PRIOR TO INTERIOR SOFFIT CONSTRUCTION. (CONTINUOUS DRYWALL TO BE PROVIDED AT ALL EXTERIOR WALLS AND CEILING PRIOR TO ANY SOFFIT CONSTRUCTION). PROVIDE SEALANT BEAD AT ALL SOFFIT JUNCTURES AT ALL EXTERIOR WALLS AND CEILING.
8. INSULATED CANTILEVERED FLOORS - PROVIDE CONTINUOUS SEALANT BEAD AT EXTERIOR LOWER PLATE AT CANTILEVER, AT TOP AND BOTTOM OF RIM OF RIM BOARDS AT EXTERIOR CANTILEVER, AND AT BOTTOM PLATE AT EXTERIOR WALL AT CANTILEVER.
9. RECESSED CAN LIGHTING AT EXTERIOR CEILING & ATTICS - PROVIDE CONTINUOUS SEALANT BEAD AT ALL CAN LIGHTS AT CEILING PLANE. PROVIDE SEALED UNITS OR PROVIDE CONTINUOUS SEALANT BEAD AT ALL CAN LIGHT HOUSING EDGES AND OPENINGS.
10. FIREPLACE PLATFORMS AT EXTERIOR WALLS - PROVIDE CONTINUOUS SEALANT BEAD AROUND ALL FRAMING PRIOR TO FIREPLACE PLATFORM CONSTRUCTION. PROVIDE DRYWALL ON ALL SURFACE PRIOR TO PLATFORM OR FIREPLACE CHASE CONSTRUCTION.
11. TOP PLATE PLUMBING AND ELECTRICAL PENETRATIONS AT EXTERIOR WALLS - PROVIDE CONTINUOUS SEALANT OR EXPANDING FOAM SEALANT AT ALL PLUMBING PENETRATIONS AT EXTERIOR WALLS TO INCLUDE TOP PLATES.
12. ATTIC ACCESS HATCHES - PROVIDE MINIMUM OF 1 INCH RIGID INSULATION AT ALL ATTIC ACCESS HATCHES. INSTALL HATCHES TO PROVIDE AIR TIGHT CONSTRUCTION. PROVIDE CONTINUOUS SEALANT BEAD AROUND ALL FRAMING PRIOR TO ATTIC ACCESS HATCH INSULATION.

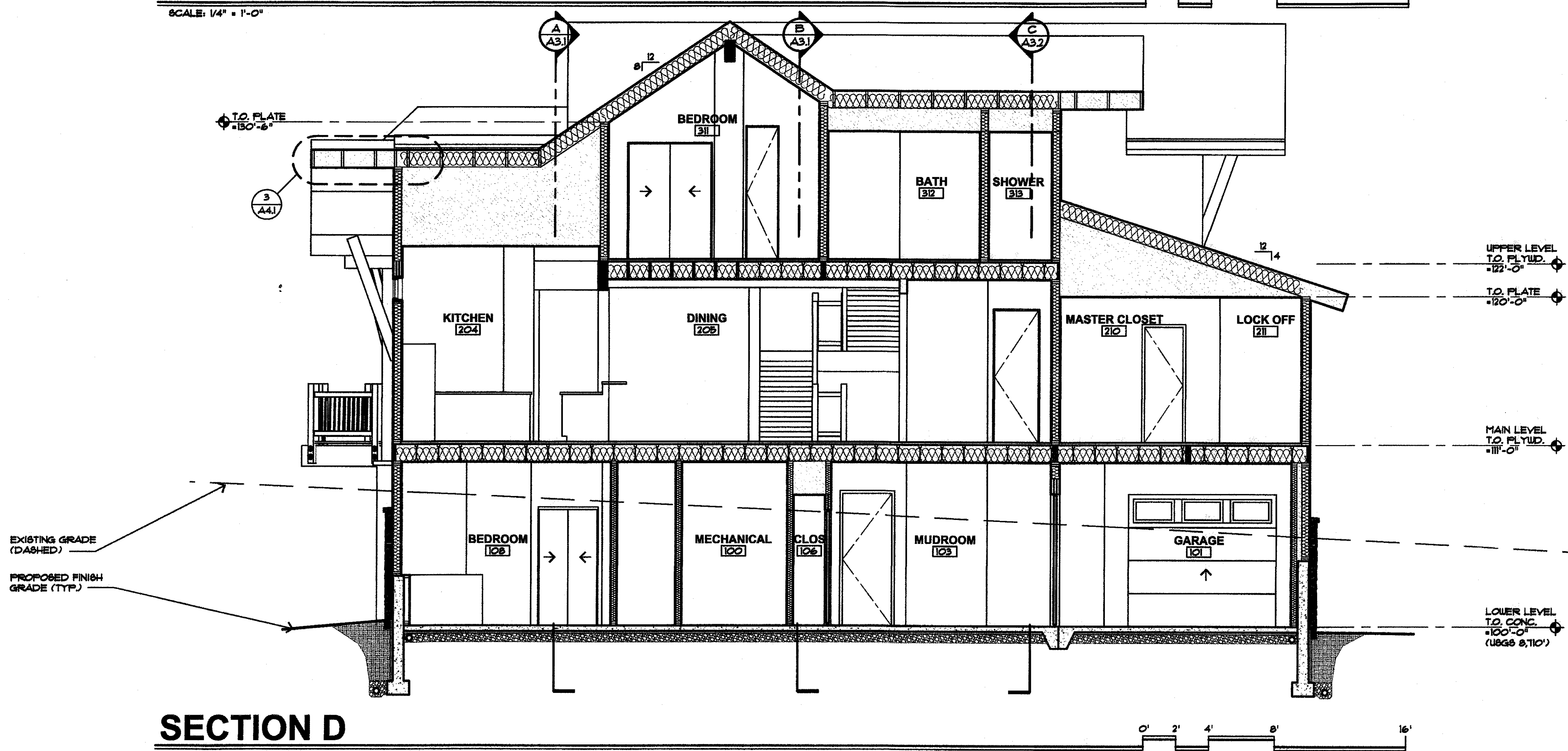
PROVIDE WATERPROOF MEMBRANE AND WAFFLE DRAIN BEHIND STONE VENEER (TYP.)

PROPOSED FINISH GRADE (TYP.)

EXISTING GRADE (DASHED)

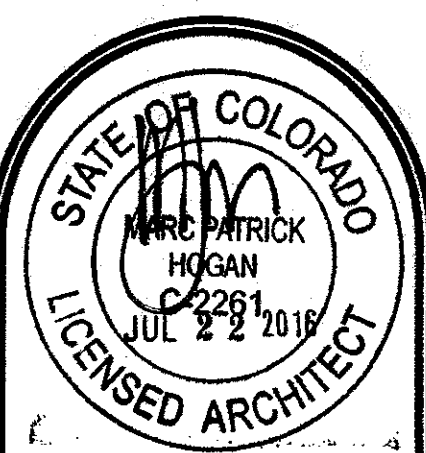
SECTION C

SCALE: 1/4" = 1'-0"



SECTION D

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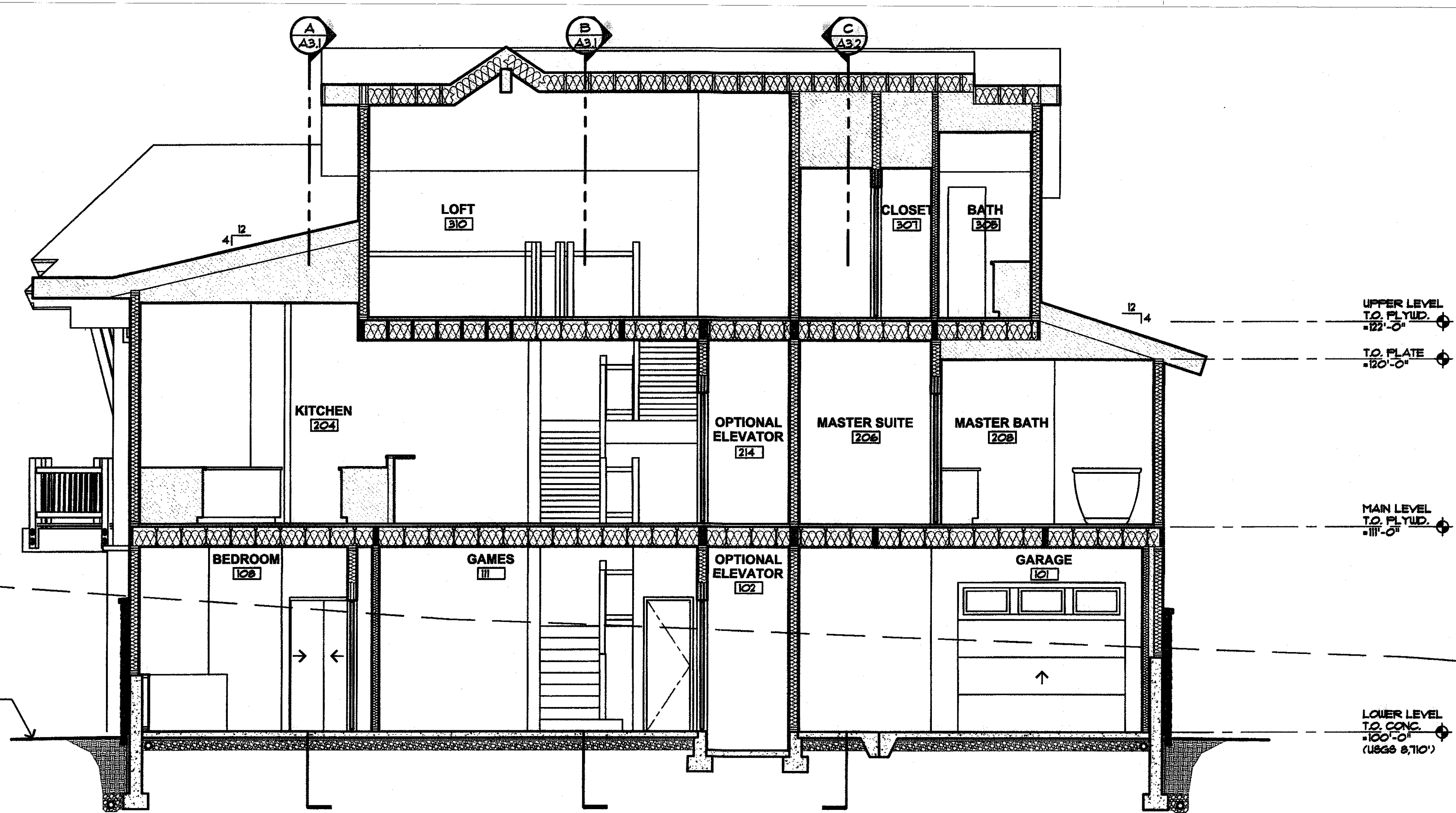
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EXISTING GRADE
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PROPOSED FINISH
GRADE (TYP.)



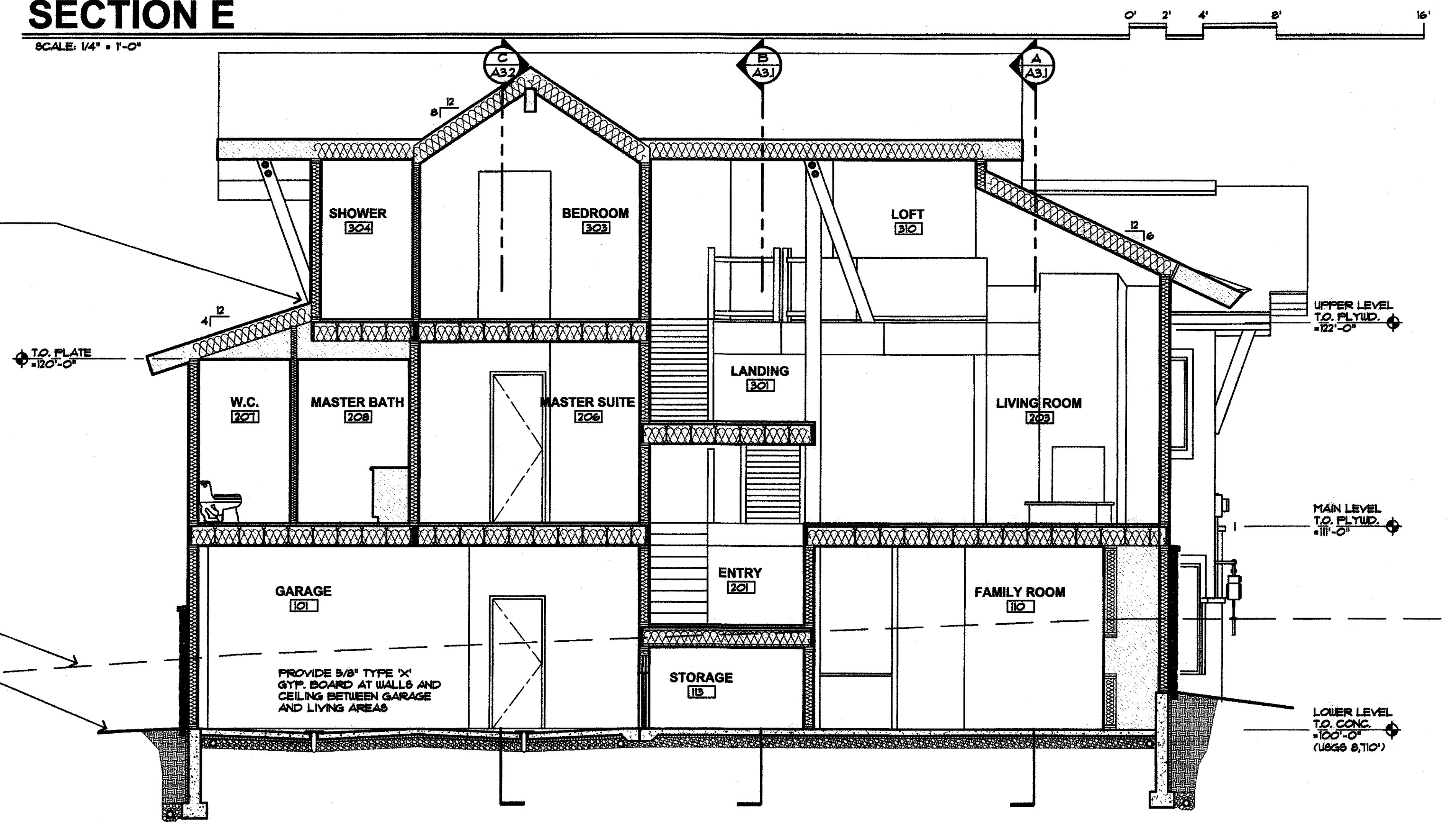
SECTION E

SCALE: 1/4" = 1'-0"

TYPICAL FLASHING AT ROOF & WALL JUNCTURES:
26 GA METAL FLASHING OVER ICE & WATER
SHIELD, INSTALLED UP WALL 8" MIN. AND ONTO
ROOF SHEATHING 8" MIN. (PRIOR TO INSTALLATION
OF HOUSEWRAP & ICE & WATER SHIELD.)

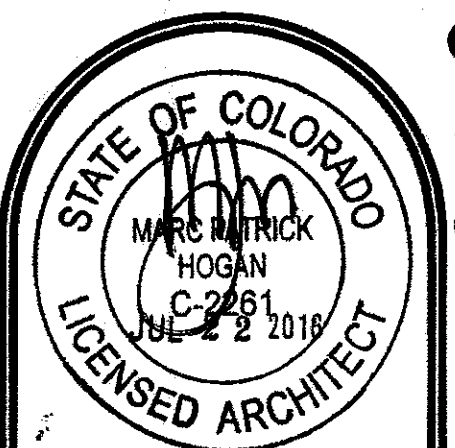
EXISTING GRADE
(DASHED)

PROPOSED FINISH
GRADE (TYP.)



SECTION F

SCALE: 1/4" = 1'-0"



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