

Deed Book 66075 Page 219  
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2022-0287656  
Real Estate Transfer Tax \$905.70  
CATHELENE ROBINSON  
Clerk of Superior Court  
Fulton County, GA  
Participant IDs: 1663542869  
7067927936

**Campbell & Brannon, LLC**  
Three Northwinds Center  
2500 Northwinds Parkway, Suite 160  
Alpharetta, GA 30009  
File No.: TA221948C  
(Phone No.: (770)521-1180)

STATE OF GEORGIA  
COUNTY OF FULTON  
PARCEL ID NUMBER: 12-2480-0652-153-8

**LIMITED WARRANTY DEED**

THIS INDENTURE, made on **25th day of August, 2022**, between

**Elizabeth Vivian Murray**

(hereinafter referred to as "Grantor") and

**Thomas P. Seidel and Stacy P. Seidel**  
**AS JOINT TENANTS WITH RIGHTS OF SURVIVORSHIP**

(hereinafter referred to as "Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits; WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

See Exhibit A attached hereto and made a part hereof.

TOGETHER WITH all and singular the rights, members and appurtenances thereto (hereinafter collectively referred to as the "Premises"), the same being, belonging, or in anywise appertaining to the only proper use, benefit and behoof of Grantee.

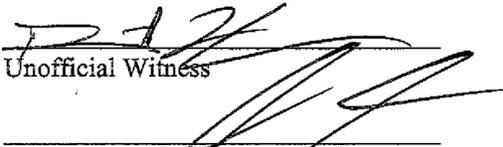
Subject to all easements, rights of way, and restrictive covenants of record (hereinafter referred to as the "Exceptions").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE, and Grantor will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all persons claiming by, through or under Grantor, but not otherwise.

Limited Warranty Deed

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

Signed, sealed and delivered in the presence of:

  
\_\_\_\_\_

Unofficial Witness

  
\_\_\_\_\_

Elizabeth Vivian Murray

Notary Public \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

[Attach Notary Seal]



Limited Warranty Deed

**EXHIBIT A**

**All that tract or parcel of land lying and being in Land Lot 652 of the 1st District, 2nd Section, Fulton County, Georgia, being Lot 42, Serenade, Phase 2, according to that plat recorded in Plat Book 411, Pages 114-119, as revised in Plat Book 441, Pages 143-149, Fulton County, Georgia Records, which recorded plats are incorporated herein by reference and made a part of this description.**

**Parcel ID: 12-2480-0652-153-8**

Limited Warranty Deed