

2255 EUCLID AVE. - TOPOGRAPHIC SURVEY

EL CAJON, CA 92019

CLIENT / OWNER INFORMATION:

NICHOLAS & ANNA-MARIE ROACH
2255 EUCLID AVE.
EL CAJON, CA 92019

SITE INFORMATION:

SITE ADDRESS: APN: 512-180-35 APN: 512-180-36
2255 EUCLID AVE. AREA: 43,547 S.F. / 1.00 AC. AREA: 46,633 S.F. / 1.07 AC.
EL CAJON, CA 92019

SURVEY NOTE:

SURVEY COMPLETED BY: DATE COMPLETED: 12/14/2023
VAN RYN ENGINEERING, INC.
16766 BERNARDO CENTER DR., STE. 115
SAN DIEGO, CA 92128
858.521.8100

LEGAL DESCRIPTION:

PARCEL A:

PARCEL 3 OF PARCEL MAP NO. 2652, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, MAY 16, 1974.

APN: 512-180-35

PARCEL B:

PARCEL 4 OF PARCEL MAP NO. 2652, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, MAY 16, 1974.

APN: 512-180-36

PARCEL C:

AN EASEMENT AND RIGHT OF WAY FOR ROAD AND PUBLIC UTILITIES OVER THE EASTERLY 20 FEET OF PARCELS 1 AND 2 OF PARCEL MAP NO. 2652, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, MAY 16, 1974, AS RESERVED IN DEEDS RECORDED OCTOBER 2, 1998, AS INSTRUMENT NO. 1998-0634865 AND JUNE 26, 2014 AS INSTRUMENT NO. 2014-0267271, BOTH OF OFFICIAL RECORDS.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, AS DETERMINED LOCALLY BY THE LINE BETWEEN CONTROL POINT STATIONS "2542" AND "2543", BEING A GRID BEARING OF NORTH 85°08'50" WEST AS DERIVED FROM GEODETIC VALUES SHOWN PER RECORD OF SURVEY NO. 13702. QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM. DISTANCES SHOWN HEREON ARE GROUND DISTANCES UNLESS OTHERWISE NOTED.

BASIS OF ELEVATIONS:

ELEVATIONS SHOWN HEREON ARE BASED ON CONTROL POINT NO. 2543 PER SURVEY CONTROL RECORD OF SURVEY NO. 13702.

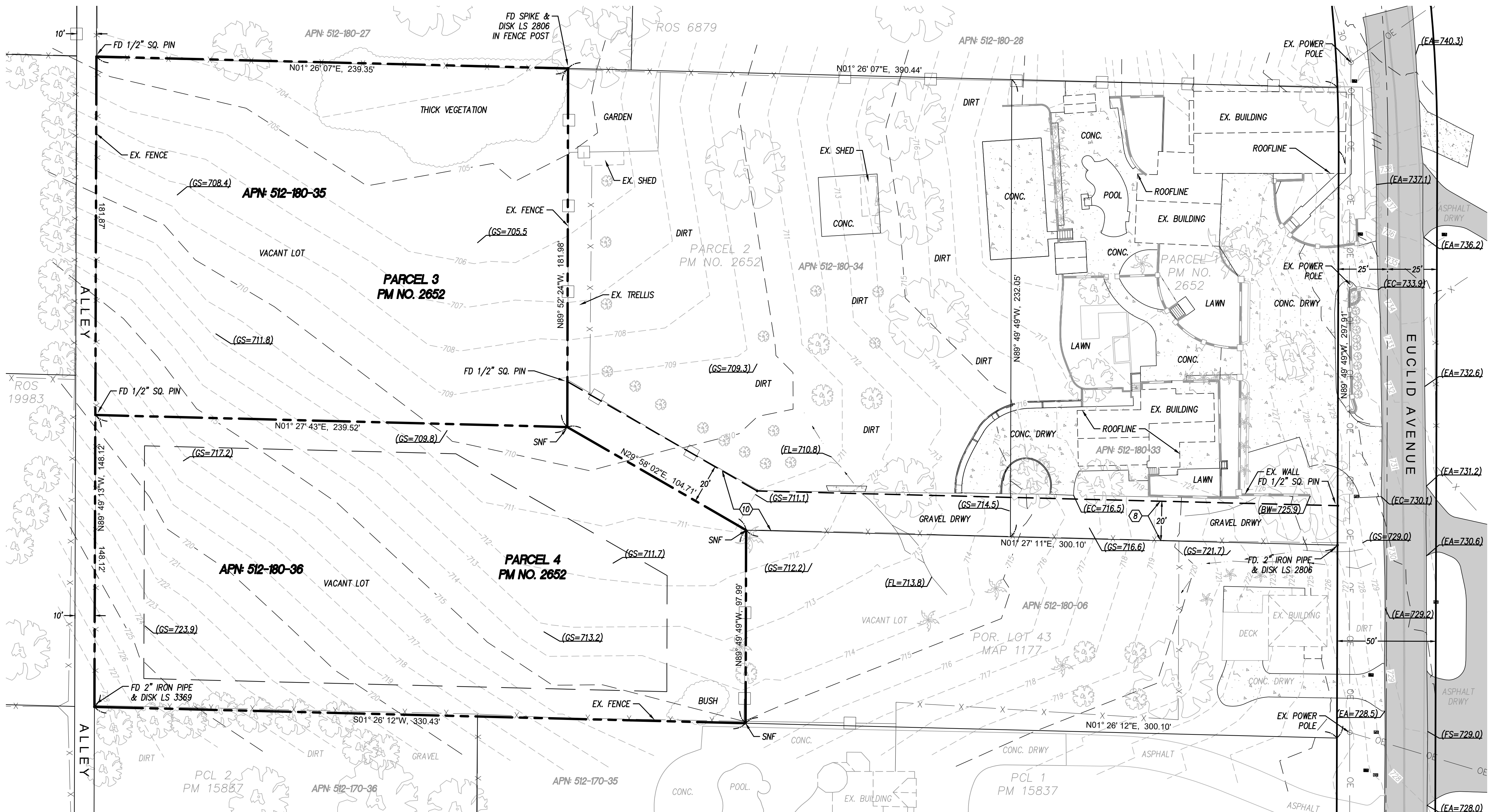
LOCATION: APPROXIMATELY 490' NORTH OF THE INTERSECTION OF SINGING VISTA DR. AND SINGING VISTA WAY ALONG A E-W 52.3' EAST OF A POWER POLE BELOW A ROCK PINNACLE.

TYPE: A 2" IRON PIPE & DISK STAMPED LS 2783 SET IN DIRT.

ELEVATION: 688.62' (NGVD 29)

SURVEY NOTES:

- THE PROPERTY BOUNDARY SHOWN HEREON IS THE RESULT OF A PRECISE RETRACEMENT OF THE PROPERTY DESCRIBED ABOVE. A PROCEDURE OF SURVEY DEPICTING PHYSICAL EVIDENCE AND MEASUREMENT DATA IS AVAILABLE FOR REVIEW UPON REQUEST.
- THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- PRELIMINARY TITLE REPORT PROVIDED BY TICOR TITLE COMPANY, DATED FEBRUARY 09, 2022, ORDER NO. 00866520-995-CCI.



LEGEND:

PROPERTY LINE	---	FENCE LINE WOOD	—□—□—
RIGHT OF WAY	=====	FENCE LINE CHAIN LINK	—X—X—
ROAD CENTERLINE	---	EX. POWER LINES	—OE—OE—
ADJOINING PROPERTY LINE	---	EX. WATER MAIN	—W—W—
EASEMENT LINE	---	EX. WATER SERVICE	—W—W—
EX. ROOF OVERHANG	---	EX. WATER METER	—WM—
EXISTING CONTOUR	---	EX. WATER VALVE	—WV—
SPOT ELEVATION	(FS=60.4)	EX. FIRE HYDRANT	—FH—
CURB & GUTTER	---	EX. SEWER MAIN	—S—S—
EX. CONCRETE	---	EX. SEWER MANHOLE	—SM—
EX. ASPHALT PAVEMENT	---	EX. GAS METER	—GM—
EX. RETAINING WALL	---	EX. ELECT. PANEL	—EP—
EX. TREE/BUSH	---	EX. UTILITY VAULT	—UV—
EX. PALM TREE	---	EX. IRRIGATION CONTROL VALVE	—ICV—
		EX. LIGHT POLE	—LP—
		EX. POWER POLE	—PP—
		EX. MAILBOX	—MB—

ABBREVIATIONS:

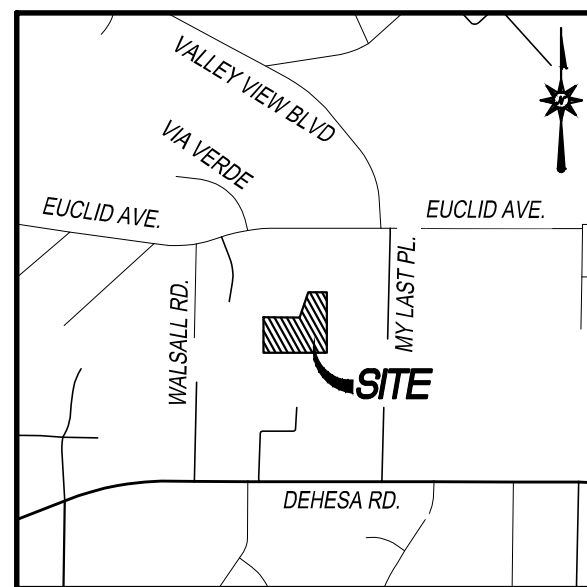
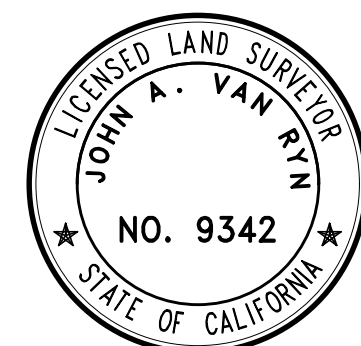
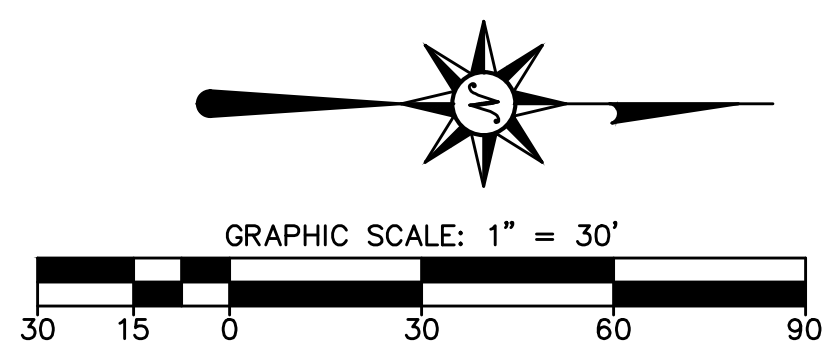
EX.....EXISTING
FF.....FINISH FLOOR
FS.....FINISH SURFACE
GS.....GROUND SHOT
TW.....TOP OF WALL
BW.....BOTTOM OF WALL
TS.....TOP OF SLOPE
BS.....BOTTOM OF SLOPE
CO.....CLEANOUT
MH.....MANHOLE
SMH.....SEWER MANHOLE
FH.....FIRE HYDRANT
PB.....UTILITY PULLBOX
LP.....LIGHT POLE
SD.....STORM DRAIN
SS.....SANITARY SEWER
WM.....WATER METER
WV.....WATER VALVE
EA.....EDGE OF ASPHALT
EC.....EDGE OF CONCRETE
TC.....TOP OF CURB
FL.....FLOW LINE
OMU.....CONCRETE MASONRY UNIT
CONC.....CONCRETE
AC.....ASPHALT CONCRETE
BLDG.....BUILDING
APN.....ASSESSOR PARCEL NUMBER
NO.....NUMBER
LP.....LIGHT POLE
PP.....POWER POLE

EASEMENTS

- EASEMENT FOR ROAD AND UTILITY PURPOSES AS RESERVED IN DEED RECORDED OCTOBER 02, 1998 AS INSTRUMENT NO. 0634865, OF OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.
- EASEMENT FOR PIPELINES AND UTILITY PURPOSES PER DOCUMENT RECORDED IN THE COUNTY OF SAN DIEGO, APRIL 20, 1944 IN BOOK 1646, PAGE 500 OF OFFICIAL RECORDS. (EASEMENT DOCUMENT NOT PROVIDED - NOT PLOTTED)
- EASEMENT FOR PRIVATE ROAD AND UTILITY PURPOSES AS SHOWN AS PROPOSED PRIVATE ROAD EASEMENT ON PARCEL MAP 2652, RECORDED MAY 16, 1974 AS FILE NO. 74-128628, OF OFFICIAL RECORDS.

REFERENCE MAPS:

PARCEL MAP NO. 2652
MAP NO. 1177
PARCEL MAP NO. 15837
RECORD OF SURVEY NO. 6879
RECORD OF SURVEY NO. 19983

VICINITY MAP
N.T.S.

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