

Owner's Certificate

The owner of the land shown on this plat and whose name is subscribed hereto, in person or through a duly authorized agent, certifies that this plat was made from an actual survey, and that all state and local taxes or other assessments now due on this land have been paid. Said owner donates and dedicates to the public for use forever the street right-of-way as shown on this plat.

BRAGG ROAD-LANIER, LLC

By: (FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160) Owner

By: (FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160) Witness

By: (FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160) Notary Public

THIS AS-BUILT CONDITION OF THE "WATER QUALITY" VAULTS PROVIDES THE STORAGE VOLUME AND OUTFLOW RATES AS REQUIRED BY THE APPROVED CONSTRUCTION PLANS AND STORMWATER MANAGEMENT REPORT.

(FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160) PROFESSIONAL ENGINEER GA. REGISTRATION No.

DATE

THE AS-BUILT STORM DRAINAGE SYSTEM WILL FUNCTION AS DESIGNED/ENGINEERED IN THE APPROVED CONSTRUCTION DRAWINGS.

(FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160)

REGISTERED LANDSCAPE ARCHITECT GA. REGISTRATION No.

DATE

ENVIRONMENTAL HEALTH SECTION FORSYTH COUNTY HEALTH DEPT. APPROVED SEPTEMBER 1, 2004

(FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160)

DEPARTMENT OF ENGINEERING:

APPROVED SEPTEMBER 1, 2004

(FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160)

DEPARTMENT OF WATER & SEWER:

APPROVED SEPTEMBER 1, 2004

(FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160)

Surveyor's Certificate

It is hereby certified that this plat is true and correct and was prepared from an actual survey of the property by me or persons under my supervision; that all monuments shown hereon actually exist or are marked as "future," and that their location, size, type and material are correctly shown; and that all engineering requirements of the United Development Code of Forsyth County, Georgia, have been fully complied with.

Barton Surveying, Inc.

By: G.R.L.S # 2533

Approval Certificate

Persuant to the United Development Code of Forsyth County, Georgia, and all requirements of approval having been fulfilled, this final plat was given final approval by all Reviewing Departments or Agencies and the Authorized Representative from the Forsyth County Planning Commission on

SEPTEMBER 3, 2004, and it is entitled to recordation in the Clerk's Office, Forsyth County Superior Court.

APPROVED SEPTEMBER 3, 2004 (FOR ORIGINAL SIGNATURES, SEE PB 83, PGS. 155-160)

CUMULATIVE DRAINAGE AREA TABLE with columns for STRUCTURE, VAULT, and AREA.

100-YEAR STRUCTURE ELEVATIONS TABLE with columns for DI No., ELEV., and structure type.

JUN 18 2014 Approved By

HLP=HOUSE LOCATION STAKED OUT. SPR I= ENGINEERED SITE PLAN SHOWING HOUSE, DRIVEWAY, PRIMARY AND SECONDARY SEWAGE SYSTEM, SOIL BOUNDARIES, ALL SET-BACKS, FIELD RUN AND FINAL GRADE TOPO.

NOTE: LOT 37 IS SEVERELY LIMITED & MAY BE JUDGED AS AN OUT LOT AT A LATER DATE. LGP= LOT GRADING PLAN REQUIRED. ANY LOTS WITHIN 200' OF STATE WATERS.

RESIDUAL FLOW RESULTS @ 20 PSI FOR EACH HYDRANT: FH1= 1115 GPM, FH2= 1004 GPM, FH3= 1076 GPM, FH4= 953 GPM, FH5= 1097 GPM, FH6= 991 GPM, FH7= 964 GPM. FLOW TEST PERFORMED BY CIVIL ENGINEERING CONSULTANTS, INC. ON MAY 9, 2004.

Table with columns: LINE, BEARING, DISTANCE.

LOT AREAS

Table with columns: LOT #, SQUARE FEET, ACRES. Lists lots 1 through 48 and an OPEN SPACE.

Table with columns: CURVE, ARC, RADIUS, CHORD BEARING, CHORD. Lists curves C1 through C78.

Table with columns: BRAGG ROAD, LIGHTHOUSE POINTE ROAD. Lists lot dimensions.

Table with columns: COLLINS POINT ROAD, NANTUCKET COVE ROAD. Lists lot dimensions.

APPROVED BY TAX ASSESSORS MAY 30 2014 PEGGY GIEROK

OWNER-DEVELOPER: BRAGG ROAD-LANIER, LLC 5585 CUMMING WAY SUITE 108, NO. 224 SUGAR HILL, GEORGIA PHONE: 678-714-2531 FAX: 678-714-2530

GENERAL NOTES ~

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS AN ANGULAR ERROR OF 5.0 SECONDS PER ANGLE POINT AND A PRECISION RATIO OF 1 IN 15,200. IT HAS BEEN ADJUSTED USING THE COMPASS RULE.

EQUIPMENT USED TO OBTAIN THESE MEASUREMENTS WAS A TOPCON GTS-303.

THE DATA SHOWN ON THIS PLAT HAS A CLOSURE PRECISION RATIO OF 1 IN 458,039.

ALL I.P.'s ARE 1/2" REBARS.

BEARINGS ARE CALCULATED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.

ACCORDING TO THE CURRENT "F.I.A. OFFICIAL FLOOD HAZARD MAP", COMMUNITY PANEL NO. 13117C 0160 F, DATED MARCH 4, 2013, PORTIONS OF THIS PROPERTY ARE IN AN AREA HAVING SPECIAL FLOOD HAZARDS. ZONE A

REFERENCE: SURVEY FOR THE HANSFORD SAMS FAMILY, LLLP BY WATTS AND BROWNING ENGINEERS, INC. DATED 4/11/01.

SURVEY FOR BRAGGS ROAD-LANIER, LLC, NEW SOUTH FEDERAL SAVINGS BANK, AND FIRST AMERICAN TITLE INSURANCE COMPANY BY DAVID BARTON RLS # 2533 DATED: MAY 13, 2003. TOTAL AREA = 37.453 ACRES

THIS PROPERTY IS LOCATED IN A PROTECTED WATER SUPPLY WATERSHED WATER OVERLAY DISTRICT, OR PROTECTED GROUNDWATER RECHARGE AREA DISTRICT.

FOR ALL LOTS ADJACENT TO THE 100 YEAR FLOOD PLAIN, THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE AT LEAST 3 FEET ABOVE THE LAKE LANIER MAXIMUM POOL ELEVATION OF 1085.0. IN ADDITION, ALL IMPROVEMENTS SHOULD BE HORIZONTALLY LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN SHOWN HEREON.

WATER SOURCE: FORSYTH COUNTY WATER SUPPLY

SEWER SOURCE: SEPTIC TANKS & DRAIN FIELD ON EACH LOT TO BE INDIVIDUALLY APPROVED BY FORSYTH COUNTY.

PROPERTY ZONED: LR

SETBACKS:

FRONT SETBACK: 25' (UNLESS OTHERWISE INDICATED) SIDE SETBACK: 10' MAJOR SIDE (SIDE ADJACENT TO R.W.): 25' REAR SETBACK: 25'

EXTERIOR LAND: 50' EXTERIOR LAKE: 0' MINIMUM LOT AREA: 25,500 SQ. FT. MINIMUM LOT WIDTH AT B.L.: 100'

THIS DEVELOPMENT IS NOT A PHASED SUBDIVISION. GIS MONUMENT SET IN CONCRETE.

BENCHMARK

NAAIL IN POWER POLE AT NORTHWEST CORNER OF LOT 18. ELEVATION IS 1145.60 MSL.

PRIVATE COVENANTS:

SUBJECT TO DECLARATION OF PRIVATE COVENANTS FOR LIGHTHOUSE HARBOUR SUBDIVISION AS RECORDED IN DEED BOOK PAGE

Approved By: Greg Wallace County Admstr JUN 19 2014

Seal of the State of Georgia

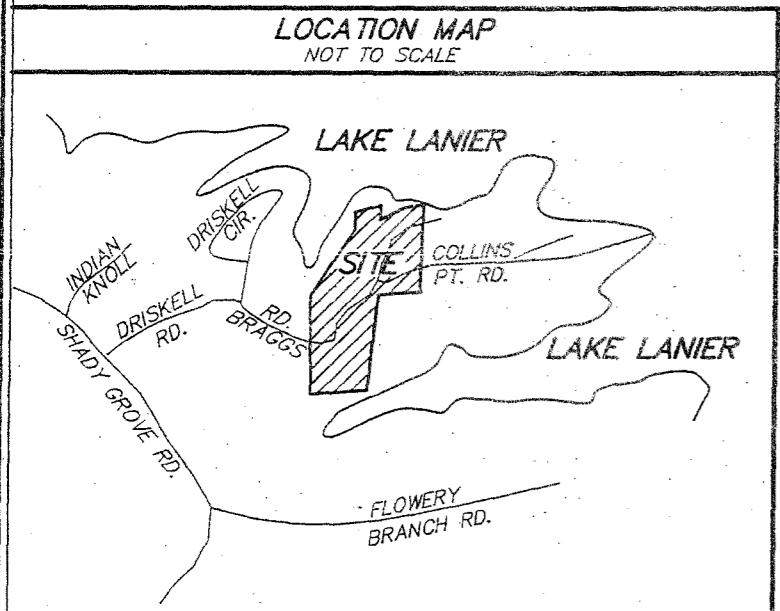
Reviewed by F.C.H.D. MAY 30 2014

APPROVED BY DEPARTMENT OF PLANNING JUN 19 2014

APPROVED BY DEPARTMENT OF ENGINEERING MAY 23 2014

APPROVED BY DEPARTMENT OF WATER & SEWER JUN 18 2014

APPROVED BY DEPARTMENT OF WATER & SEWER JUN 18 2014



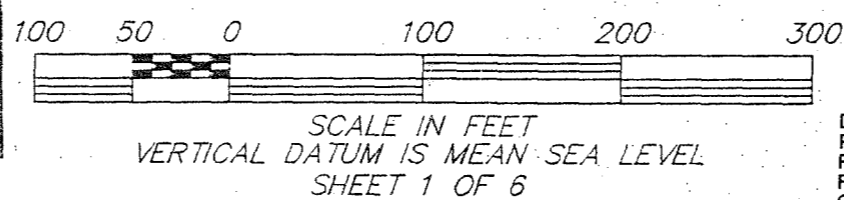
LEGEND table listing symbols for various features like rebar, easements, and utilities.

FINAL PLAT OF LIGHTHOUSE HARBOUR

(POSTAL INFORMATION = CUMMING, GA 30041)

LOCATED IN LAND LOTS 697, 698 & 717

14th DISTRICT, 1st SECTION FORSYTH COUNTY, GEORGIA JUNE 14, 2004 1"=100'



APPROVED BY GIS DEPARTMENT JUN 18 2014

DAWN HAMBLY ADDRESSING

Seal of the State of Georgia and signature of David Barton.

APPROVED BY JUN 19 2014

FORSYTH COUNTY

SEE SHEET 2 FOR REVISION 1 SIGNATURE BLOCK (06-06-13)

BARTON SURVEYING, INC.

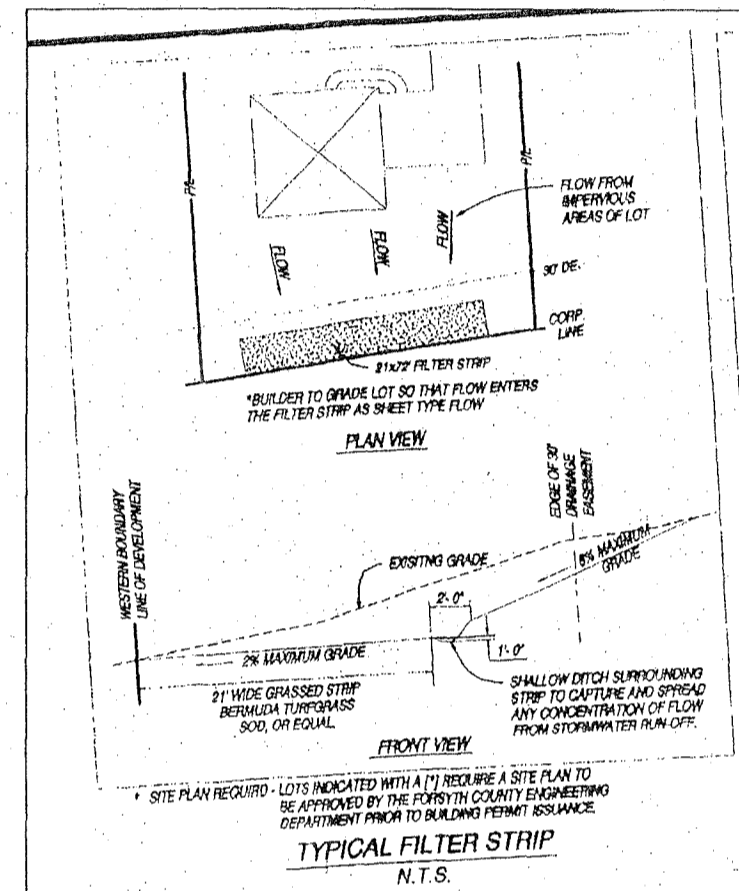
1500 PALM ROAD CANTON, GEORGIA 30115 (770) 345-2810

Doc ID: 015043100006 Type: PLT Recorded: 12/22/2015 at 03:14:54 PM Fee Amt: \$48.00 Page 1 of 6 Forsyth County, GA Greg G. Allen Clerk Superior Ct BK 155 Pg 224-229

COUNTY: Forsyth SITE REVIEW DATE: 02/27/03  
OWNER: Steve Goldmen, Inc.  
SITE LOCATION ADDRESS: Bragg Road  
INTENSITY LEVEL OF INVESTIGATION: Level 3, DHR standards  
FILE NAME: bragg\_road.xls FORM 1.97

SOIL SERIES SEE SUITABILITY CODES	SLOPE % ranges of the soil type	DEPTH TO BEDROCK	DEPTH TO SEASONAL HIGH H2O TABLE and/or RESTRICTIVE MATERIAL	ABSORPTION RATE AT RECOMMENDED TRENCH DEPTH MIN/ IN. predicted	RECOMMENDED TRENCH DEPTH (Inches)	SUITABILITY CODE (listed below)
Appling	15-25%	> 72"	> 72"	60	28	A
Appling # 2	5-15%	> 72"	> 72"	60	38	A2
Appling # 3	5-15%	> 72"	> 48"	60	24	Z1
Cataula	5-15%	> 72"	28-50"	see codes	see codes	C
Cataula	15-25%	> 72"	28-50"	see codes	see codes	C
Cecil	5-15%	> 72"	> 72"	50	28	A
Cecil	15-25%	> 72"	> 72"	50	28	A
Cecil	25-35%	> 72"	> 72"	50	28	A
Cut	5-15%	> 60"	> 60"	45	24	B2
Cut & Fill				see codes	see codes	F
Fill				see codes	see codes	F
Gulled Land	15-25%	> 72"	see codes	see codes	see codes	Z2
Gwinnett	5-15%	> 60"	> 60"	45	26	B2
Gwinnett	15-25%	> 60"	> 60"	45	26	B2
Gwinnett	25-35%	> 60"	> 60"	45	26	B2
Hard Labor	5-15%	> 72"	40-54"	see codes	see codes	C
Helena	5-15%	> 72"	28-30"	see codes	see codes	F
Hulett	5-15%	> 72"	> 72"	50	28	A
Hulett	15-25%	> 72"	> 72"	50	28	A
Madison	5-15%	> 72"	> 72"	50	28	A
Madison	15-25%	> 72"	> 72"	50	28	A
Pacolet	5-15%	> 72"	> 72"	50	28	A
Pacolet	15-25%	> 72"	> 72"	50	28	A
Pacolet	25-35%	> 72"	> 72"	50	28	A
Poindexter	5-15%	> 50"	> 50"	50	24	B3
Poindexter	15-25%	> 50"	> 50"	50	24	B3
Poindexter	25-35%	> 50"	> 50"	50	24	B3
Saw	5-15%	25-30"	> 25"	see codes	see codes	E
Saw	15-25%	25-30"	> 25"	see codes	see codes	E
Starr	2-8%	see codes	see codes	see codes	see codes	C
Starr / Cataula Complex	2-8%	see codes	see codes	see codes	see codes	C
Wake/Saw Complex	5-15%	15"	> 15"	see codes	see codes	E
Wedowee	5-15%	> 72"	> 72"	50	28	A
Wedowee	15-25%	> 72"	> 72"	50	28	A
Wedowee	40-55%	> 72"	> 72"	50	28	Z3
Wedowee # 2	15-25%	> 72"	> 72"	50	30	Z4

BORING LOCATION	DESCRIPTION
	ROCK OUTCROP
	GULLY AND/OR RAINY WEATHER DRAINAGE WAY (UNSUITABLE FOR SEPTIC SYSTEMS)
	WELL (MAINTAIN SETBACKS)
	DRAINAGE- RUNS PART OF YEAR ( 3 DOTS )
A	THIS SOIL TYPE SHOULD HAVE ABILITY TO FUNCTION AS SUITABLE ABSORPTION FIELD WITH PROPER DESIGN, INSTALLATION, AND MAINTENANCE.
A2	THIS SOIL TYPE SHOULD HAVE ABILITY TO FUNCTION AS SUITABLE ABSORPTION FIELD WITH PROPER DESIGN, INSTALLATION, AND MAINTENANCE. THIS UNIT CONTAINS SOME OLD PILES OF DIRT WHICH MAY NEED TO BE REMOVED. A DEEPER INSTALLATION IS RECOMMENDED TO MAKE SURE TRENCHES ARE INSTALLED INTO ORIGINAL SOIL MATERIAL.
Z1	THIS SOIL IS marginally suitable for use as an absorption field. BORINGS HAD NO GRAY COLORS SUCH AS <2 CHROMAS, BUT THIS POSITION ON THE LANDSCAPE MAY BE SUSCEPTIBLE TO SUBSURFACE DRAINAGE PROBLEMS. A CONSERVATIVELY SIZED FULL SIZE SYSTEM WITH AEROBIC TREATMENT UNIT USING A DISTRIBUTION SYSTEM WHICH ALLOWS FOR EQUAL LENGTH LINES FOR EACH BEDROOM SHOULD BE ABLE TO FUNCTION AND PROVIDE GOOD TREATMENT. I WOULD NOT RECOMMEND USING SERIAL DISTRIBUTION. THESE SOILS WILL FUNCTION WELL FOR DRIP OR PEAT SYSTEMS. SPECIAL ATTENTION TO DRAINAGE CONTROL FOR THIS AREA IS IMPORTANT. SEPTIC TRENCHES SHOULD BE 3 FT. WIDE.
Z2	MOST OF THIS AREA APPEARS TO CONTAIN SUITABLE SOILS, BUT HAVE SEVERE EROSION ISSUES AND SOME DEEP GULLIES. THESE GULLY SYSTEMS CREATE A PROBLEM FOR A QUALITY INSTALLATION. SUCH AREAS, IF CONSIDERED FOR WASTE DISPOSAL SYSTEMS WILL NEED A FIELD RUN 2 FOOT TOPO, ADDITIONAL SOILS WORK AND AN ENGINEERED SITE PLAN SO THAT SUITABILITY FOR USE CAN BE PROPERLY DETERMINED.
Z3	THESE SOILS ARE FAVORABLE FOR USE AS ABSORPTION FIELDS, BUT SLOPES COULD CREATE A PROBLEM FOR A QUALITY INSTALLATION. DISCUSS POSSIBILITIES OF SYSTEM LAYOUT AND CONFIGURATION WITH THE HEALTH DEPARTMENT AS THEY MAY HAVE SPECIAL REQUIREMENTS, AND OR REQUESTS. ALSO, CONSIDER A HAND DUG SYSTEM IN SUCH AREAS USING THE CRUMPLER PIPE. IF UTILIZED, MAKE SURE TRENCHES ARE PROPERLY SPACED TO AVOID STACKING OF WASTE WATER.
Z4	THIS AREA CONTAINS SUITABLE SOILS, BUT THERE ARE SOME OLD PILES OF FILL DIRT WHICH NEED TO BE REMOVED. THERE ARE ALSO SOME AREAS WITH MINOR CUTS AND SMALL ERODED RILLS. BORINGS AROUND THE FILL PILES INDICATE FAVORABLE SOILS EXIST. WITH CAREFUL INSTALLATION AND PLANNING, THIS AREA SHOULD BE ABLE TO FUNCTION PROPERLY AND PROVIDE GOOD TREATMENT.
B2	SUITABILITY CODE = SOME ROCK AND/OR STONY CONDITIONS WERE ENCOUNTERED IN THESE AREAS BUT THIS SOIL TYPE SHOULD HAVE THE ABILITY TO FUNCTION AS A SUITABLE ABSORPTION FIELD WITH PROPER DESIGN, INSTALLATION AND MAINTENANCE. TEST HOLES HAVE PENETRATED TO AT LEAST 60" DEEP WITHIN THIS UNIT BUT ROCK DEPTH CAN BE VARIABLE ACROSS THE LANDSCAPE. AT THE DISCRETION OF YOUR LOCAL ENVIRONMENTAL HEALTH DEPT., THE SYSTEM MAY NEED TO BE INSTALLED FIRST TO MAKE SURE THAT THERE WILL NOT BE A PROBLEM WITH ROCK LIMITATIONS IN THESE AREAS.
B3	SUITABILITY CODE = SOME ROCK AND/OR STONY CONDITIONS WERE ENCOUNTERED IN THESE AREAS BUT THIS SOIL TYPE SHOULD HAVE THE ABILITY TO FUNCTION AS A SUITABLE ABSORPTION FIELD WITH PROPER DESIGN, INSTALLATION AND MAINTENANCE. TEST HOLES HAVE PENETRATED TO AT LEAST 50" DEEP WITHIN THIS UNIT BUT ROCK DEPTH CAN BE VARIABLE ACROSS THE LANDSCAPE. AT THE DISCRETION OF YOUR LOCAL ENVIRONMENTAL HEALTH DEPT., THE SYSTEM MAY NEED TO BE INSTALLED FIRST TO MAKE SURE THAT THERE WILL NOT BE A PROBLEM WITH ROCK LIMITATIONS IN THESE AREAS.
C	DUE TO WATER TABLE, DRAINAGE PROBLEMS, AND OR RESTRICTIVE SOIL MATERIAL, THERE IS A HIGH PROBABILITY OF FAILURE FOR CONVENTIONAL SYSTEMS. AVOID THESE AREAS IF AT ALL POSSIBLE.
E	SUITABILITY CODE = LIMITING ROCK HAS BEEN LOCATED WITHIN THIS UNIT, SUITABILITY SHOULD BE DETERMINED WITH AID OF BACK HOE TEST PITS. MULTIPLE ATTEMPTS WITH A HAND AUGER FAILED TO PENETRATE ROCKY/STONY CONDITIONS. IF THIS IS AN OPTION THAT YOU WOULD LIKE TO INVESTIGATE, PLEASE CONTACT US.
F	SUITABILITY CODE = NORMALLY CONSIDERED UNSATISFACTORY FOR USE FOR ABSORPTION FIELDS.



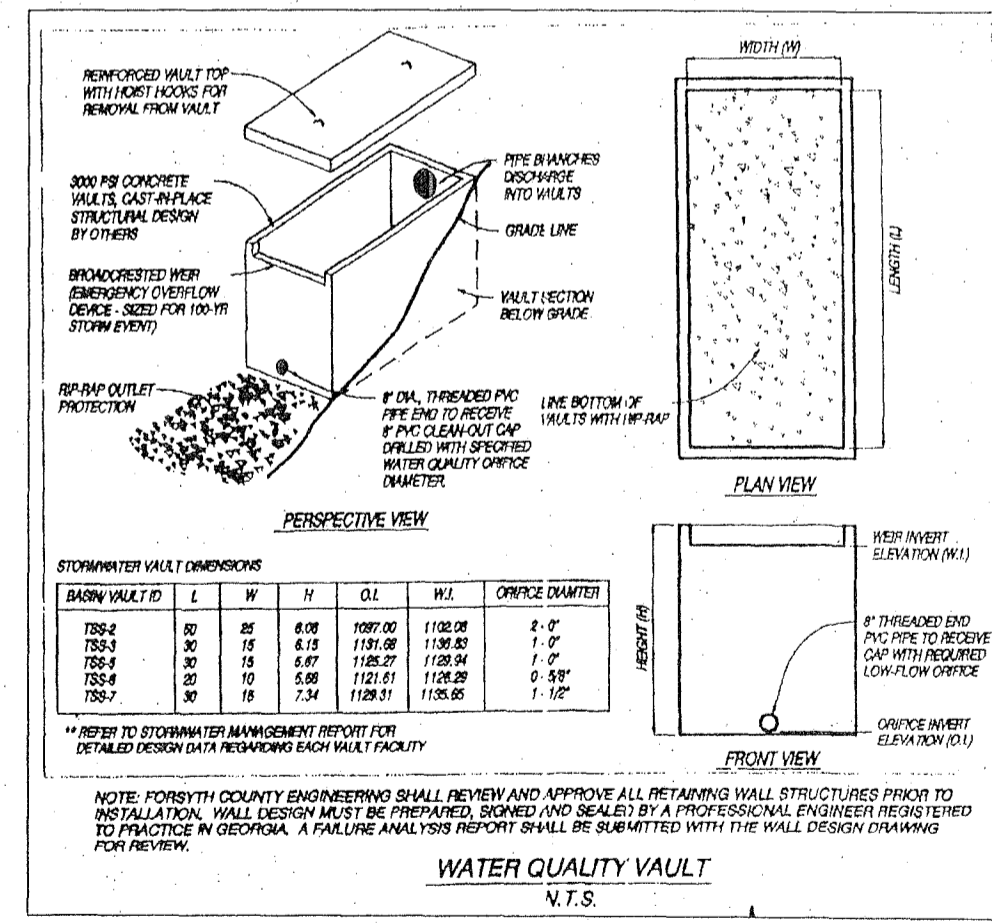
GENERAL NOTES  
SOME AREAS HAVE EXTENSIVE TERRACE SYSTEMS. CAREFUL PLANNING OF ABSORPTION FIELDS WILL BE REQUIRED TO ENSURE THAT ABSORPTION FIELDS ARE INSTALLED INTO AN ORIGINAL UNALTERED SURFACE. CALL ME IF THERE ARE ANY QUESTIONS OR TALK WITH THE HEALTH DEPARTMENT.

MAKE SURE THE PROPOSED SEPTIC AREAS ARE PROTECTED DURING CONSTRUCTION OF THE HOME AND ARE NOT ALLOWED TO BECOME STORAGE AREAS FOR FILL DIRT, OR USED FOR TRASH PITS. ALSO, KEEP HEAVY EQUIPMENT FROM PARKING AND DRIVING ON THE SEPTIC AREA WHICH COULD CAUSE COMPACTION OF THE SOIL.

THE ABSORPTION FIELD SHOULD NOT BE INSTALLED DURING A WET OR RAINY PERIOD WHICH COULD RESULT IN DAMAGE TO THE SOIL STRUCTURE AND RESULT IN REDUCED SYSTEM PERFORMANCE.

ALL BORINGS ARE FLAGGED AND NUMBERED ONSITE. TO AVOID MAP CLUTTER, THIS COPY DOES NOT SHOW LABELED BORING LOCATIONS. PLEASE CALL IF YOU WOULD LIKE A LABELED BORING LOCATIONS MAP FOR A FIELD VISIT AND WE WILL BE HAPPY TO SEND YOU ONE.

The information contained in this report is based on the pedons (test borings) classified in the field. All boring locations, as well as, other miscellaneous soil conditions and features, are located with a Global Positioning System (Trimble Pro XRS) to assist in maintaining quality control. The projected boundary of each soil map unit is based on the professional opinion and judgment of the Soil Scientist. Soil boundary lines should be considered a transitional zone where one soil condition intergrades into another, rather than, as an exact boundary. Georgia Land Evaluation, Inc. does not design, install, maintain or permit waste disposal systems and does not guarantee the performance of any waste disposal system. Your local Health Department holds full authority in the permitting of onsite waste disposal systems. Your local Health Department may view the soil conditions differently than the Soil Classifier and will have the final say in their county. This report is based on conventional septic systems and all recommendations are based on installation from the original unaltered soil surface unless stated otherwise. Any changes or alterations made to the soil maps or interpretations without the written approval of Georgia Land Evaluation, Inc. voids the seal of the Soil Scientist.



# FINAL PLAT OF LIGHTHOUSE HARBOUR

LOCATED IN LAND LOTS 697, 698 & 717  
14th DISTRICT, 1st SECTION  
FORSYTH COUNTY, GEORGIA  
JUNE 14, 2004

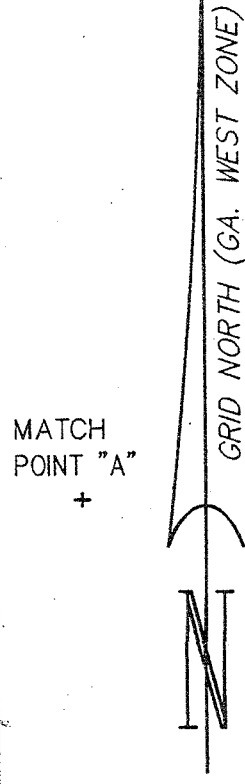
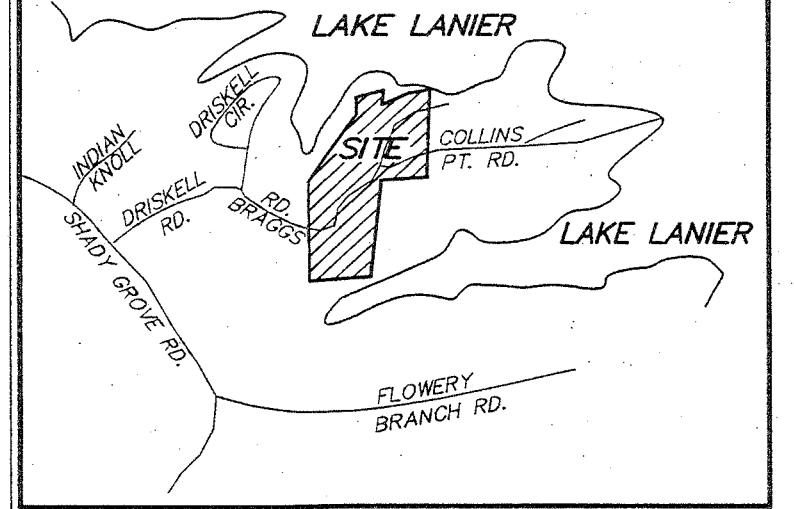


BARTON SURVEYING, INC.  
1500 PALM ROAD  
CANTON, GEORGIA 30115  
(770) 345-2810

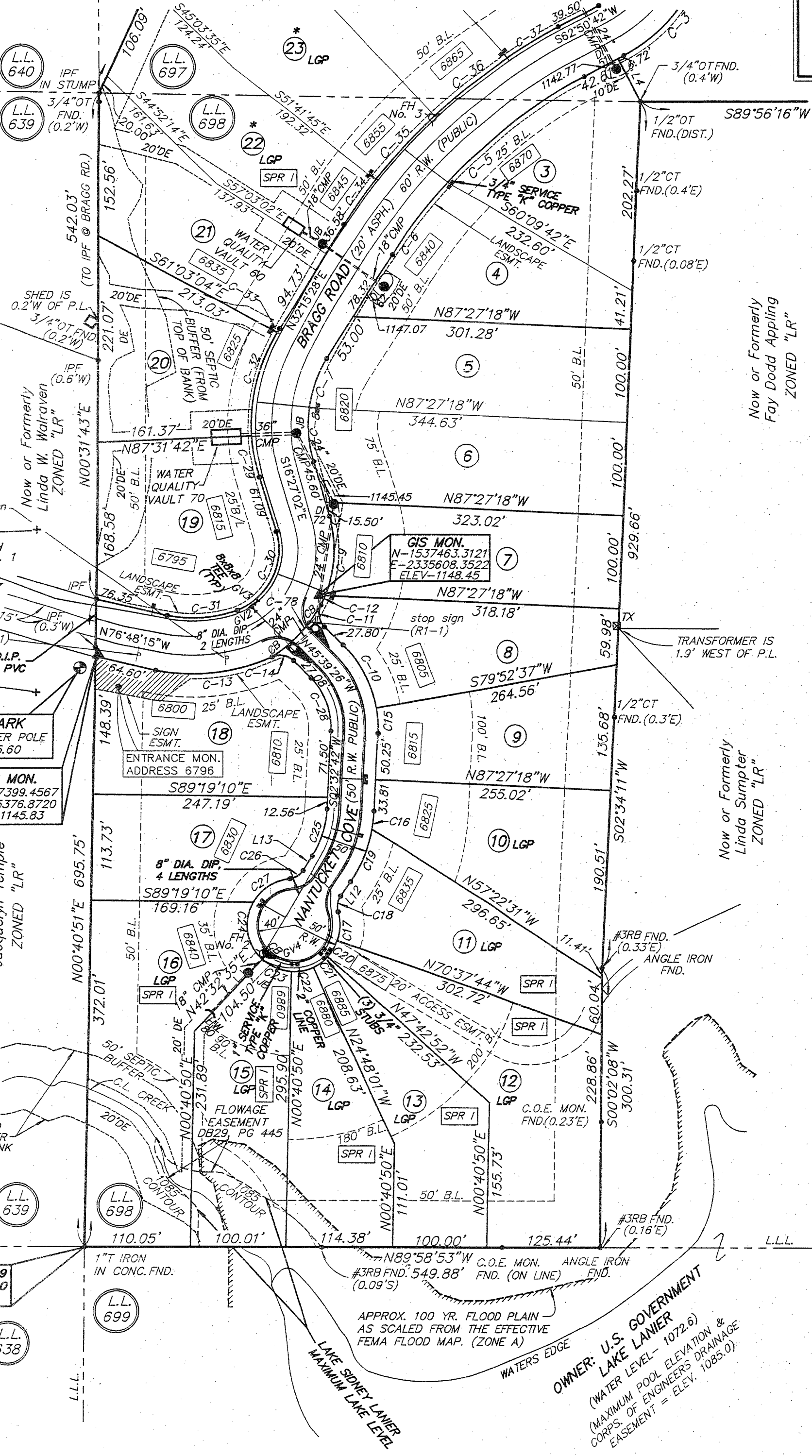
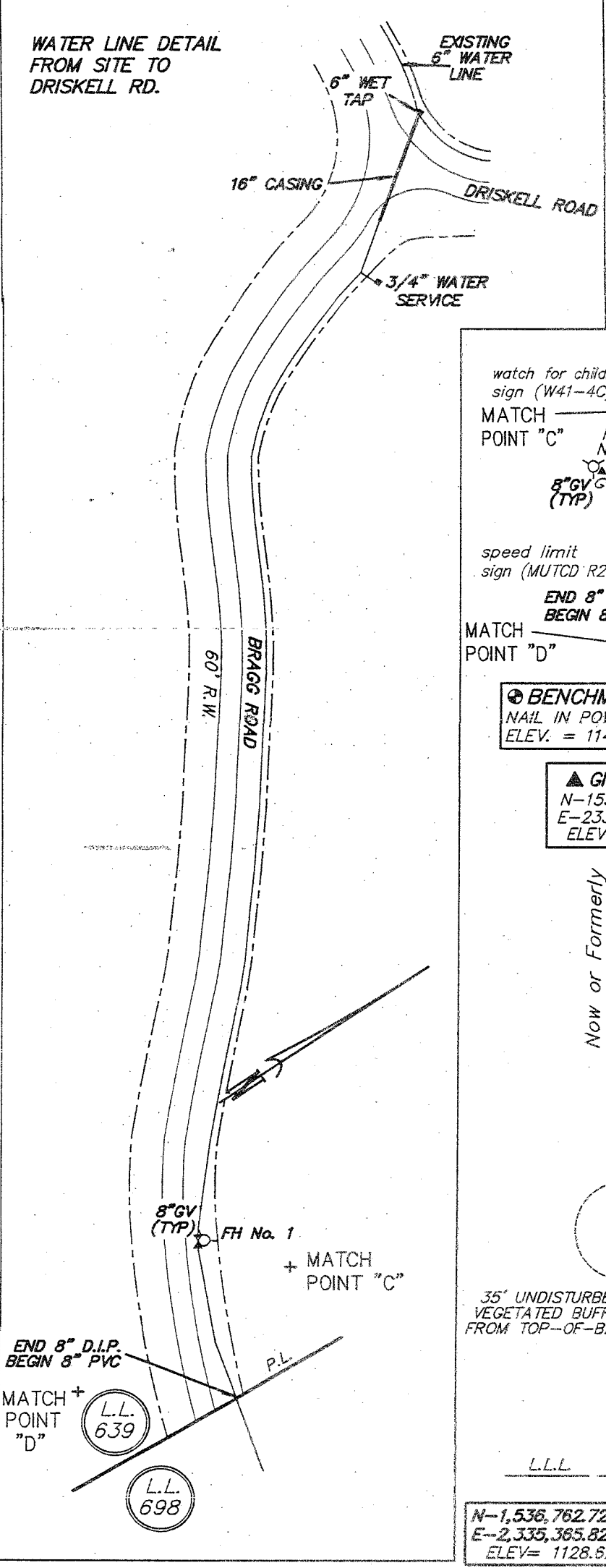
REVISION NO. 1 - 06/06/2013:  
THIS PLAT SUPERSEDES A PORTION OF THE PLAT RECORDED IN PB 83, PGS 155-160. THE PURPOSE OF THIS REVISION IS TO CHANGE NANTUCKET COVE, LIGHTHOUSE HARBOUR POINTE AND CUMBERLAND HARBOUR FROM PRIVATE STREETS TO PUBLIC RIGHT OF WAY.  
DAVID BARTON, GA RLS 2533  
DATE 6-06-13

EXISTING PUBLIC STREET RIGHT OF WAY:  
BRAGG ROAD & COLLINS POINT ROAD = 125,502 SQ. FT. or 2.881 AC.  
PROPOSED PUBLIC STREET RIGHT OF WAY:  
NANTUCKET COVE = 23,111 SQ. FT. or 0.531 AC.  
LIGHTHOUSE POINTE = 36,289 SQ. FT. or 0.833 AC.  
CUMBERLAND HARBOUR = 14,417 SQ. FT. or 0.331 AC.

LOCATION MAP  
NOT TO SCALE



MATCH POINT "B"



Now or Formerly  
Fay Dodd Appling  
ZONED "LR"

Now or Formerly  
Linda Sumpter  
ZONED "LR"

Now or Formerly  
Patricia Ann Cook  
& Richard P. Cook  
ZONED "LR"

Now or Formerly  
Linda W. Walraven  
ZONED "LR"

Now or Formerly  
Jacquelyn Temple  
ZONED "LR"

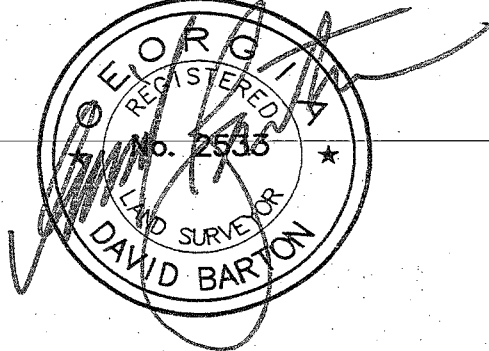
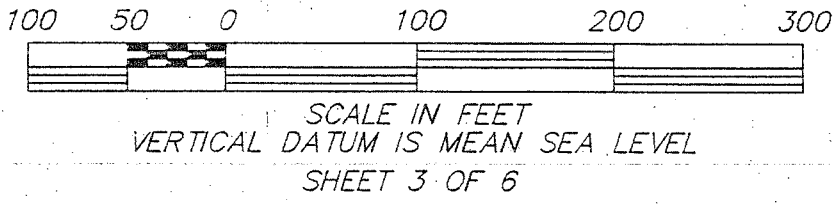
Now or Formerly  
Gary Kaufman  
ZONED "LR"

**LEGEND**

IPF	1/2" REBAR FND.
IPS	1/2" REBAR SET
R.W.	RIGHT OF WAY
SSE	SANITARY SEWER EASEMENT
DE	DRAINAGE EASEMENT
LL.L.	LAND LOT LINE
C.L.	CENTERLINE
CT	CRIMP TOP PIPE
OT	OPEN TOP PIPE
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET
JB	JUNCTION BOX
MH	MANHOLE
CB	CATCH BASIN
BM	BENCHMARK
PP	POWER POLE
FH	FIRE HYDRANT
CMF	CONCRETE MONUMENT FND.
B.C.	BACK OF CURB
E.P.	EDGE OF PAVEMENT
FEN	FENCE
O.H.	OVERHEAD ELEC. SERVICE LINE
B.L.	BUILDING LINE
U.G.	UNDERGROUND POWER LINE

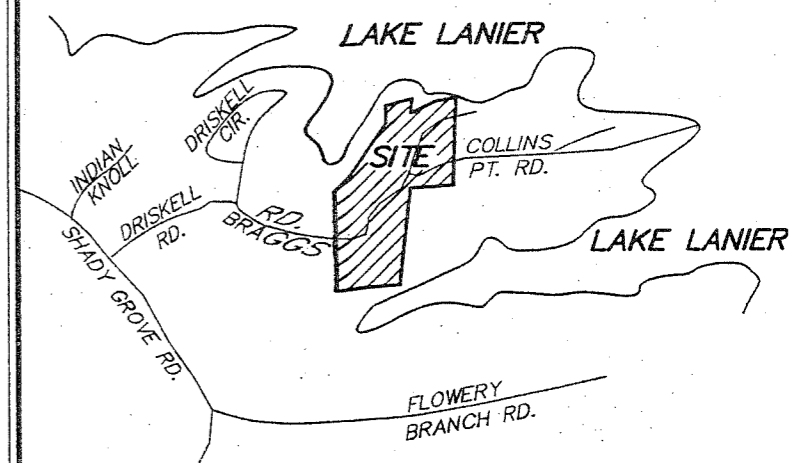
FINAL PLAT OF  
**LIGHTHOUSE HARBOUR**

LOCATED IN LAND LOTS 697, 698 & 717  
14th DISTRICT, 1st SECTION  
FORSYTH COUNTY, GEORGIA  
JUNE 14, 2004 1"=100'



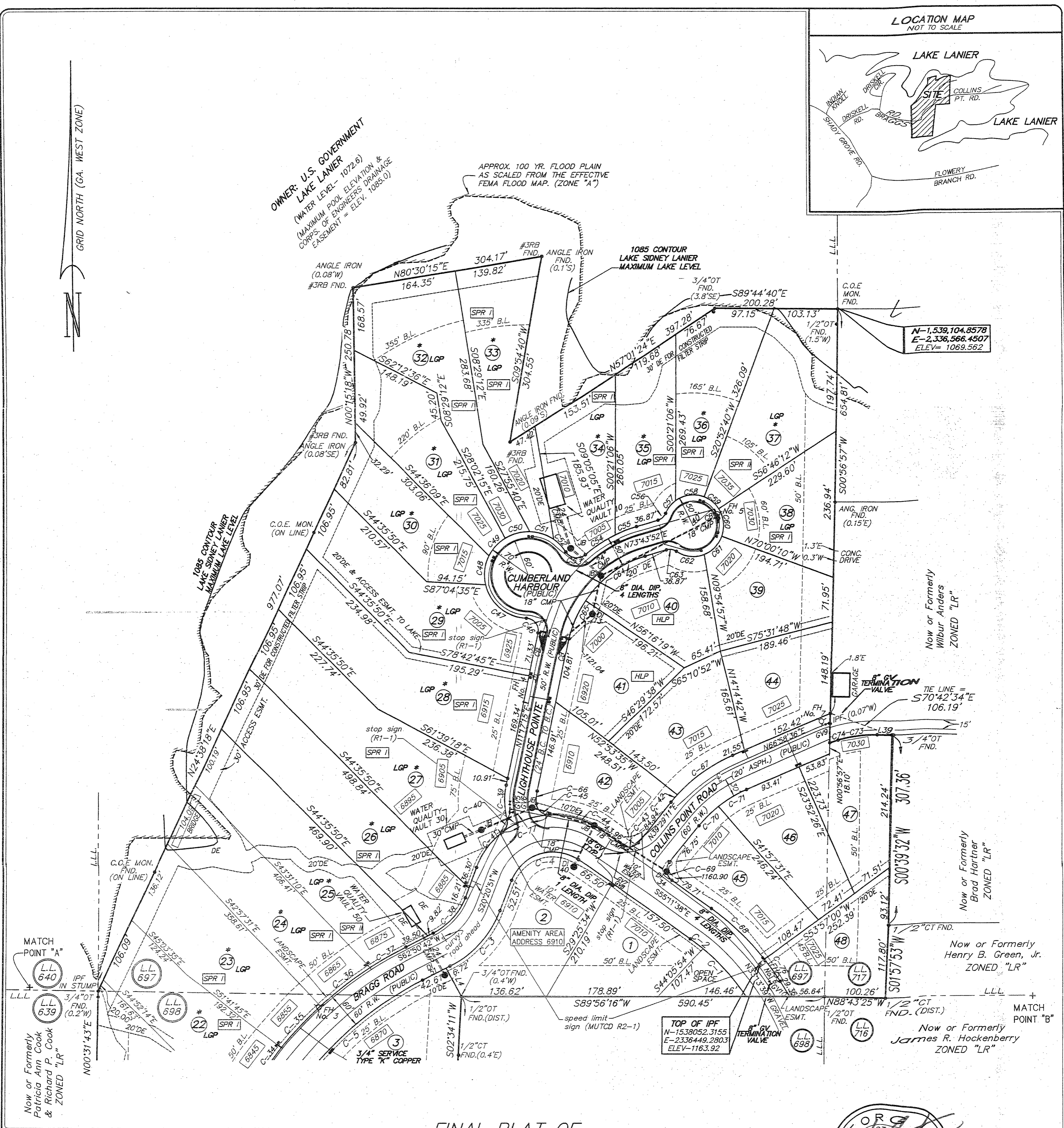
**BARTON SURVEYING, INC.**  
1500 PALM ROAD  
CANTON, GEORGIA 30115  
(770) 345-2810

LOCATION MAP  
NOT TO SCALE



OWNER: U.S. GOVERNMENT  
LAKE LANIER  
(WATER LEVEL - 1072.6)  
(MAXIMUM POOL ELEVATION &  
CORPS OF ENGINEERS DRAINAGE  
EASEMENT = ELEV. 1085.0)

APPROX. 100 YR. FLOOD PLAIN  
AS SCALED FROM THE EFFECTIVE  
FEMA FLOOD MAP. (ZONE "A")



N-1,539,104.8578  
E-2,336,566.4507  
ELEV= 1069.562

Now or Formerly  
Wilbur Anders  
ZONED "LR"

Now or Formerly  
Brad Hartner  
ZONED "LR"

Now or Formerly  
Henry B. Green, Jr.  
ZONED "LR"

Now or Formerly  
James R. Hockenberry  
ZONED "LR"

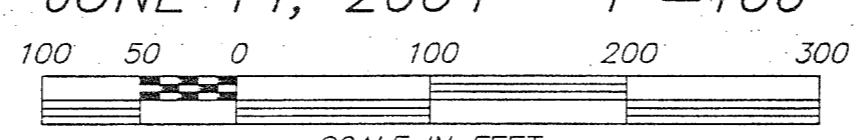
Now or Formerly  
Patricia Ann Cook  
& Richard P. Cook  
ZONED "LR"

**LEGEND**

IPF	= 1/2" REBAR FND.
IPS	= 1/2" REBAR SET
R.W.	= RIGHT OF WAY
SSE	= SANITARY SEWER EASEMENT
DE	= DRAINAGE EASEMENT
LL.L.	= LAND LOT LINE
C.L.	= CENTERLINE
CT	= CRIMP TOP PIPE
OT	= OPEN TOP PIPE
CMP	= CORRUGATED METAL PIPE
RCP	= REINFORCED CONCRETE PIPE
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JB	= JUNCTION BOX
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BM	= BENCHMARK
PP	= POWER POLE
FH	= FIRE HYDRANT
CMF	= CONCRETE MONUMENT FND.
B.C.	= BACK OF CURB
E.P.	= EDGE OF PAVEMENT
F.V.	= FENCE
O.H.	= OVERHEAD ELEC. SERVICE LINE
B.L.	= BUILDING LINE
U.G.	= UNDERGROUND POWER LINE

FINAL PLAT OF  
**LIGHTHOUSE HARBOUR**

LOCATED IN LAND LOTS 697, 698 & 717  
14th DISTRICT, 1st SECTION  
FORSYTH COUNTY, GEORGIA  
JUNE 14, 2004 1"=100'

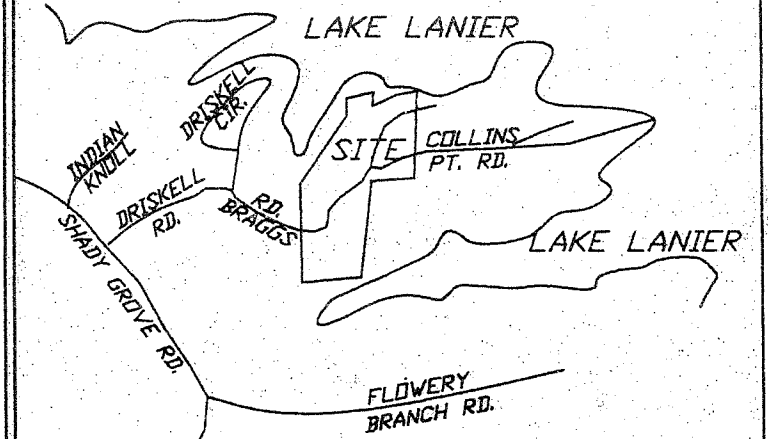


SCALE IN FEET  
VERTICAL DATUM IS MEAN SEA LEVEL  
SHEET 4 OF 6

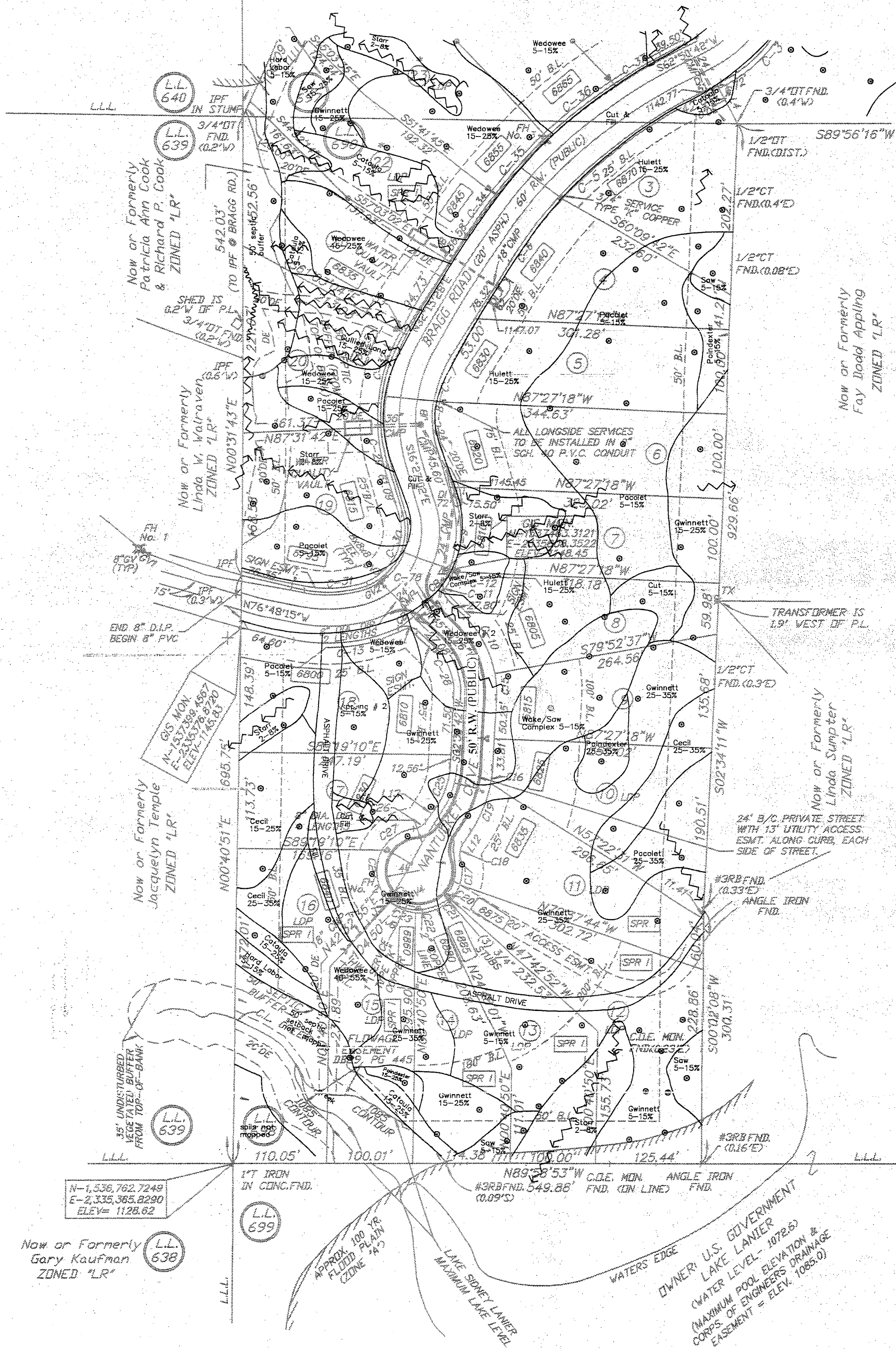


**BARTON SURVEYING, INC.**  
1500 PALM ROAD  
CANTON, GEORGIA 30115  
(770) 345-2810

LOCATION MAP  
NOT TO SCALE



GRID NORTH (GA. WEST ZONE)

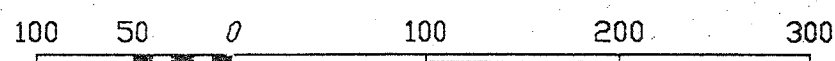


LEGEND

- 1/2" REBAR FND.
- 1/2" REBAR SET
- R.W. = RIGHT OF WAY
- SSE = SANITARY SEWER EASEMENT
- DE = DRAINAGE EASEMENT
- LLL = LAND LOT LINE
- CL = CENTERLINE
- CT = CRIMP TOP PIPE
- DT = OPEN TOP PIPE
- CMP = CORRUGATED METAL PIPE
- RCP = REINFORCED CONCRETE PIPE
- DI = DROP INLET
- JB = JUNCTION BOX
- MH = MANHOLE
- CB = CATCH BASIN
- BM = BENCHMARK
- PP = POWER POLE
- FH = FIRE HYDRANT
- CMF = CONCRETE MONUMENT FND.
- B.C. = BACK OF CURB
- E.P. = EDGE OF PAVEMENT
- FEN = FENCE
- O.H. = OVERHEAD ELEC. SERVICE LINE
- BL = BUILDING LINE
- U.G. = UNDERGROUND POWER LINE

FINAL PLAT SOILS EXHIBIT  
LIGHTHOUSE HARBOUR

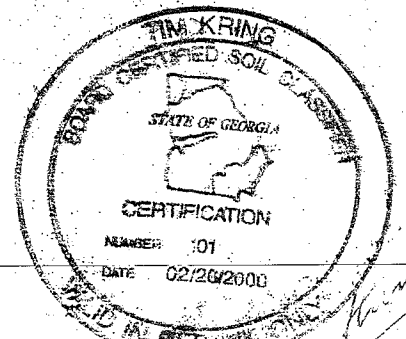
LOCATED IN LAND LOTS 697, 698 & 717  
14th DISTRICT, 1st SECTION  
FORSYTH COUNTY, GEORGIA  
JUNE 14, 2004 1"=100'



SCALE IN FEET  
VERTICAL DATUM IS MEAN SEA LEVEL  
SHEET 5 OF 6

GENERAL SOILS NOTE:

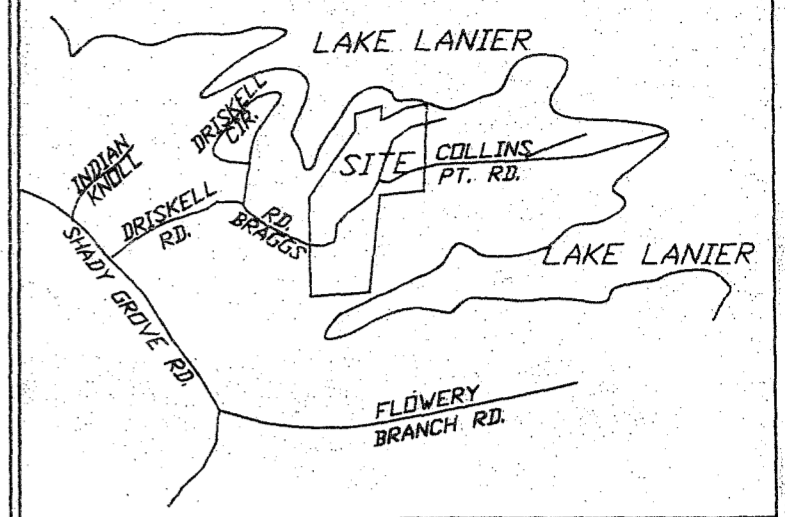
THE SOILS SHOWN OVER THIS SUBDIVISION FINAL PLAT ARE THOSE ORIGINALLY DELINEATED BY GEORGIA LAND EVALUATION, INC. ON FEBRUARY 27, 2003.



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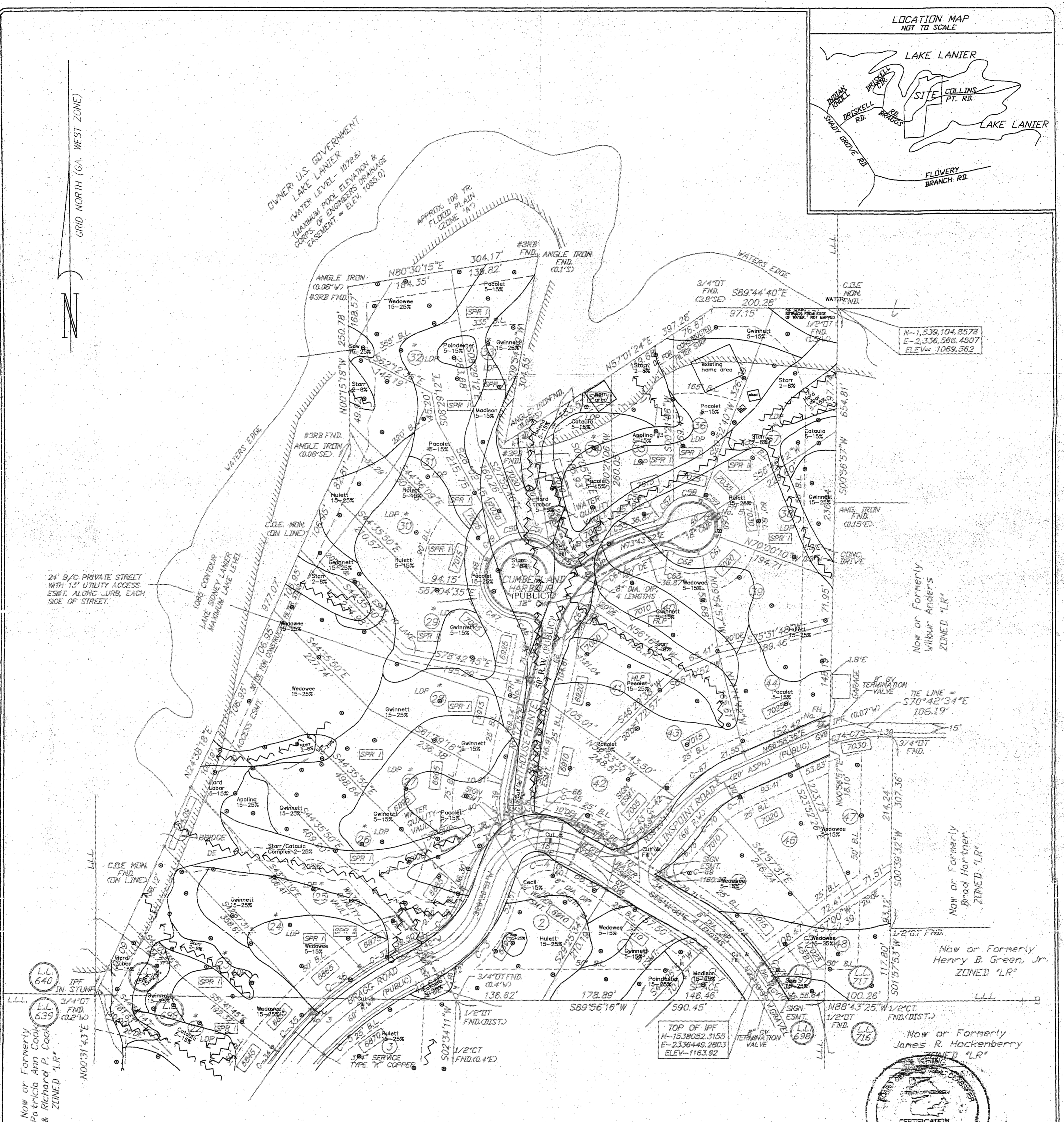
LOCATION MAP  
NOT TO SCALE



GRID NORTH (GA. WEST ZONE)

OWNER: U.S. GOVERNMENT  
LAKE LANIER  
(WATER POOL ELEVATION - 1072.6)  
(MAXIMUM POOL ELEVATION &  
CORPS OF ENGINEERS DRAINAGE  
EASEMENT = ELEV. 1088.0)

APPROX. 100 YR.  
FLOOD PLAIN  
ZONE 'A'



N=1,539,104.8578  
E=2,336,266.4507  
ELEV= 1089.582

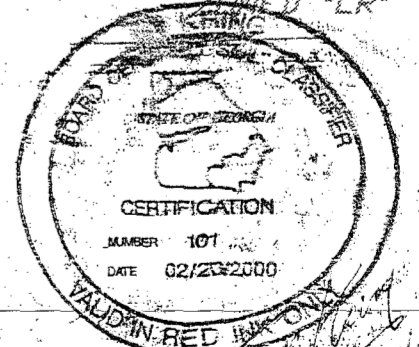
24' B/C PRIVATE STREET  
WITH 13' UTILITY ACCESS  
ESMT. ALONG CURB, EACH  
SIDE OF STREET.

Now or Formerly  
Wilbur Anders  
ZONED 'LR'

Now or Formerly  
Brad Hartner  
ZONED 'LR'

Now or Formerly  
Henry B. Green, Jr.  
ZONED 'LR'

Now or Formerly  
James R. Hockenberry  
ZONED 'LR'



LEGEND

- IPF = 1/2" REBAR FND.
- IPS = 1/2" REBAR SET
- R.V. = RIGHT OF WAY
- SSE = SANITARY SEWER EASEMENT
- DE = DRAINAGE EASEMENT
- L.L.L. = LAND LOT LINE
- C.L. = CENTERLINE
- CT = CRIMP TOP PIPE
- OT = OPEN TOP PIPE
- CMP = CORRUGATED METAL PIPE
- RCP = REINFORCED CONCRETE PIPE
- DI = DRAIN INLET
- JB = JOINT BOX
- MH = MANHOLE
- CB = CATCH BASIN
- BM = BENCHMARK
- PP = POWER POLE
- FH = FIRE HYDRANT
- CMF = CONCRETE MONUMENT FND.
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FINAL PLAT SOILS EXHIBIT  
**LIGHTHOUSE HARBOUR**

LOCATED IN LAND LOTS 697, 698 & 717  
14th DISTRICT, 1st SECTION  
FORSYTH COUNTY, GEORGIA

JUNE 14, 2004 1"=100'

100 50 0 100 200 300

SCALE IN FEET  
VERTICAL DATUM IS MEAN SEA LEVEL  
SHEET 6 OF 6

GENERAL SOILS NOTE:

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ARE THOSE ORIGINALLY DELINEATED BY GEORGIA LAND  
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