

DATE OF SURVEY: N/A

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN N/A FEET, AN ANGULAR ERROR OF N/A SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARED METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 251,847 FEET.

BEARINGS SHOWN ARE BASED ON ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION AND ARE SUBJECT TO FIELD CONDITIONS.

THE EQUIPMENT USED FOR ANGULAR AND DISTANCE MEASUREMENTS WAS A LEICA TS06+.

THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD HAZARD AREA AS PER FLOOD INSURANCE RATE MAP NO. 13117C0160F, DATED 03/04/2013.

TOTAL = 0.655 ACRES
28,551.12 SQUARE FEET
ZONED LR
PARCEL 272 125

PROPERTY OWNER ACKNOWLEDGES THAT ANY SEPTIC SYSTEMS CONFORM TO ALL SETBACK REQUIREMENTS.

APPROVAL OF PLAT DOES NOT GUARANTEE THAT THE FORSYTH COUNTY HEALTH DEPARTMENT WILL ISSUE A SEPTIC SYSTEM PERMIT.

THERE ARE NO APPARENT STATE WATERS LOCATED ON THIS PROPERTY.

IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHT OF WAY AND CONSIDERED TO BE A VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UNPERMITTED RIGHT OF WAY ENCROACHMENTS.

FORSYTH COUNTY SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY PIPES, DITCHES, DETENTION PONDS OR OTHER STRUCTURES WITHIN ANY DRAINAGE EASEMENT BEYOND THE COUNTY RIGHT OF WAY.

NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING.

THIS PROPERTY IS LOCATED IN THE LANIER CHARACTER AREA. MAXIMUM HEIGHT REQUIRED FOR THIS CHARACTER AREA IS 40 FEET.

WATER SERVICE TO BE PROVIDED BY FORSYTH COUNTY DEPARTMENT OF WATER AND SEWER.

THIS SURVEY AND ITS FINDINGS DOES NOT CONSTITUTE A TITLE SEARCH OR TITLE OPINION BY RICHARD WEBB & ASSOCIATES AS LAND SURVEYORS. ALL DATA USED FOR THE LOCATION OF PROPERTY LINES, EASEMENTS, ADJOINING OWNERS, ETC. WAS GAINED FROM PUBLIC RECORDS, THE CLIENT, OR OTHER SOURCES AS REFERENCED. NO ABSTRACT OF TITLE OR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE PROVIDED TO THE SURVEYOR, UNLESS OTHERWISE NOTED. OTHER DOCUMENTS OR SITUATIONS MAY EXIST THAT WOULD AFFECT THIS PROPERTY, AS WITH ANY LAND TRANSACTION, A TITLE SEARCH AND CERTIFICATE IS RECOMMENDED IN CONJUNCTION WITH THIS SURVEY, OR YOU MUST CONSULT A COMPETENT TITLE ATTORNEY.

SEPTIC DESIGN - 4 BEDROOM

PRIMARY REQUIRED: 268 LF
PRIMARY PROVIDED: 274 LF

SECONDARY REQUIRED: 400 LF
SECONDARY PROVIDED: 410 LF

TOTAL REQUIRED: 668 LF
TOTAL PROVIDED: 684 LF

- LEGEND**
- BOC = BACK OF CURB
 - BSL = BUILDING SETBACK LINE
 - P/L = PROPERTY LINE
 - R/W = RIGHT OF WAY
 - LL = LAND LOT
 - LLL = LAND LOT LINE
 - N/F = NOW OR FORMERLY
 - POB = POINT OF BEGINNING
 - NTS = NOT TO SCALE
 - IPF = IRON PIN FOUND
 - IPS = IRON PIN SET
 - COR MON = USCOE MONUMENT
 - RB = REBAR
 - CTP = CRIMP TOP PIPE
 - OTP = OPEN TOP PIPE
 - SQ. ROD = SQUARE ROD
 - AIF = ANGLE IRON FOUND
 - CMP = CORRUGATED METAL PIPE
 - RCP = REINFORCED CONC. PIPE
 - WM = WATER METER
 - WV = WATER VALVE
 - PP = POWER POLE
 - LP = LIGHT POLE
 - PH. BOX = PHONE BOX
 - U/G = UNDERGROUND
 - C.O. = SEWER CLEAN-OUT
 - SS = SANITARY SEWER
 - MH = MAN HOLE
 - FFE = FINISHED FLOOR ELEV.
 - FH = FIRE HYDRANT
 - DE = DRAINAGE EASEMENT
 - PDI = PEDESTAL DROP INLET
 - DI = DROP INLET
 - LGP = LOT GRADING PLAN
 - SWCB = SINGLE WING CATCH BASIN
 - DWCB = DOUBLE WING CATCH BASIN
 - G-- = GAS LINE
 - P-- = POWER LINE
 - SS-- = SANITARY SEWER LINE
 - FM-- = SANITARY FORCE MAIN
 - T-- = TELEPHONE LINE
 - W-- = WATER LINE
 - X-- = FENCE LINE

NOTES & REFERENCES:

1. FORSYTH COUNTY RECORDS: DEED BOOK 9339 PG 379
2. FORSYTH COUNTY RECORDS: PLAT BOOK 83 PGS 155-160
3. LGP: CLEARING ONLY - NO GRADING (NO STRUCTURES).

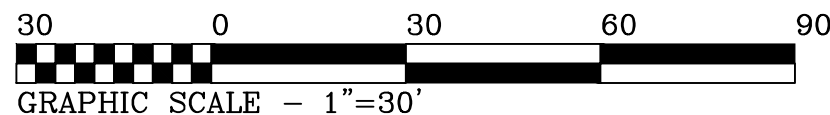
OWNER INFO:
CHRISTOPHER SHAUN SCHICK &
SUSAN JEANETTE SCHICK
16 WREN DRIVE
ROSWELL, GA 30076
678-350-8738

PROPERTY INFO:
6870 BRAGG ROAD
CUMMING, GA 30041
PARCEL #272 125
ZONED LR

LGP FOR:

CHRISTOPHER SCHICK

LOT 3 LIGHTHOUSE HARBOUR S/D
LAND LOTS 697 & 698
14TH DISTRICT-1ST SECTION
FORSYTH COUNTY, GEORGIA
AUGUST 21, 2023



Curve	Radius	Length	Chord	Chord Bear.
C1	535.00'	188.08'	187.11'	N 52°46'27" E

Course	Bearing	Distance
L1	N 62°51'04" E	42.61'
L2	S 27°20'06" E	52.12'

LIMITS OF DISTURBANCE:
0.373 ACRES
16,283 FT²

TOTAL IMPERVIOUS AREA:
HOUSE (INCLUDING GARAGE): 4809 FT²
DRIVEWAY: 1301 FT²

TOTAL: 6110 FT²

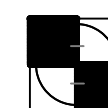
NOTES:

1. THIS PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD HAZARD AREA AS PER FLOOD INSURANCE RATE MAP NO. 13117C0160, DATED 3/4/2013.
2. A COPY OF THESE PLANS SHALL BE KEPT ON SITE DURING THE DURATION OF THE PROJECT.
3. THIS PLAN DOES NOT CONSTITUTE AN APPROVAL OF A RETAINING WALL DESIGN.
4. A RETAINING WALL DESIGN FOR WALL 6' OR GREATER, AS MEASURED FROM THE FOOTING, MUST BE SUBMITTED TO FORSYTH COUNTY DEPARTMENT OF ENGINEERING PRIOR TO INSTALLATION. ALL WALLS GREATER THAN 30" IN THE HEIGHT SHALL REQUIRE A FENCE OR HANDRAIL ACROSS THE TOP.
5. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHT-OF-WAYS, AND ARE CONSIDERED A VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UNPERMITTED RIGHT-OF-WAY ENCROACHMENTS.
6. FORSYTH COUNTY SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY PIPES, DITCHES, DETENTION PONDS, OR ANY OTHER STRUCTURES WITHIN ANY DRAINAGE EASEMENT BEYOND THE COUNTY RIGHT-OF-WAY.
7. ALL IMPROVEMENTS TO EXISTING STRUCTURES MUST CONFORM TO FORSYTH COUNTY STANDARDS AND SPECIFICATIONS, LATEST EDITION.
8. MAXIMUM CUT SLOPES SHALL BE 2' HORIZONTAL TO 1' VERTICAL. CONTINUOUS FILL SLOPES 10 FEET IN HEIGHT OR LESS MAY BE 2' HORIZONTAL TO 1' VERTICAL. ALL CONTINUOUS SLOPES THAT EXCEED 10 FEET IN HEIGHT MUST BE 3' HORIZONTAL TO 1' VERTICAL UNLESS (A) A MECHANICALLY ENGINEERED STABILIZED SLOPE IS APPROVED BY THE DIRECTOR OF ENGINEERING; OR (B) THE DESIGNED AND CONSTRUCTED SLOPES ARE CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF GEORGIA WITH EXPERIENCE GEOTECHNICAL ENGINEERING.
9. SETBACKS, BUFFERS, AND ZONING CONDITIONS ARE NOT REVIEWED OR APPROVED ON THIS PLAN. QUESTIONS REGARDING THESE REGULATIONS SHALL BE DIRECTED TO THE PLANNING & COMMUNITY DEVELOPMENT DEPARTMENT.
10. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE ANY APPROVAL OF A BUILDING PERMIT. THIS PLAN ONLY CONSTITUTES APPROVAL OF GRADING ACTIVITIES.



It is hereby certified that all monuments and improvements shown hereon actually exist except as otherwise indicated, and that their location, size, type and material are correctly shown.

By: *[Signature]*
Registered Georgia Land Surveyor No.: RLS2507



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JOB NO.
23219