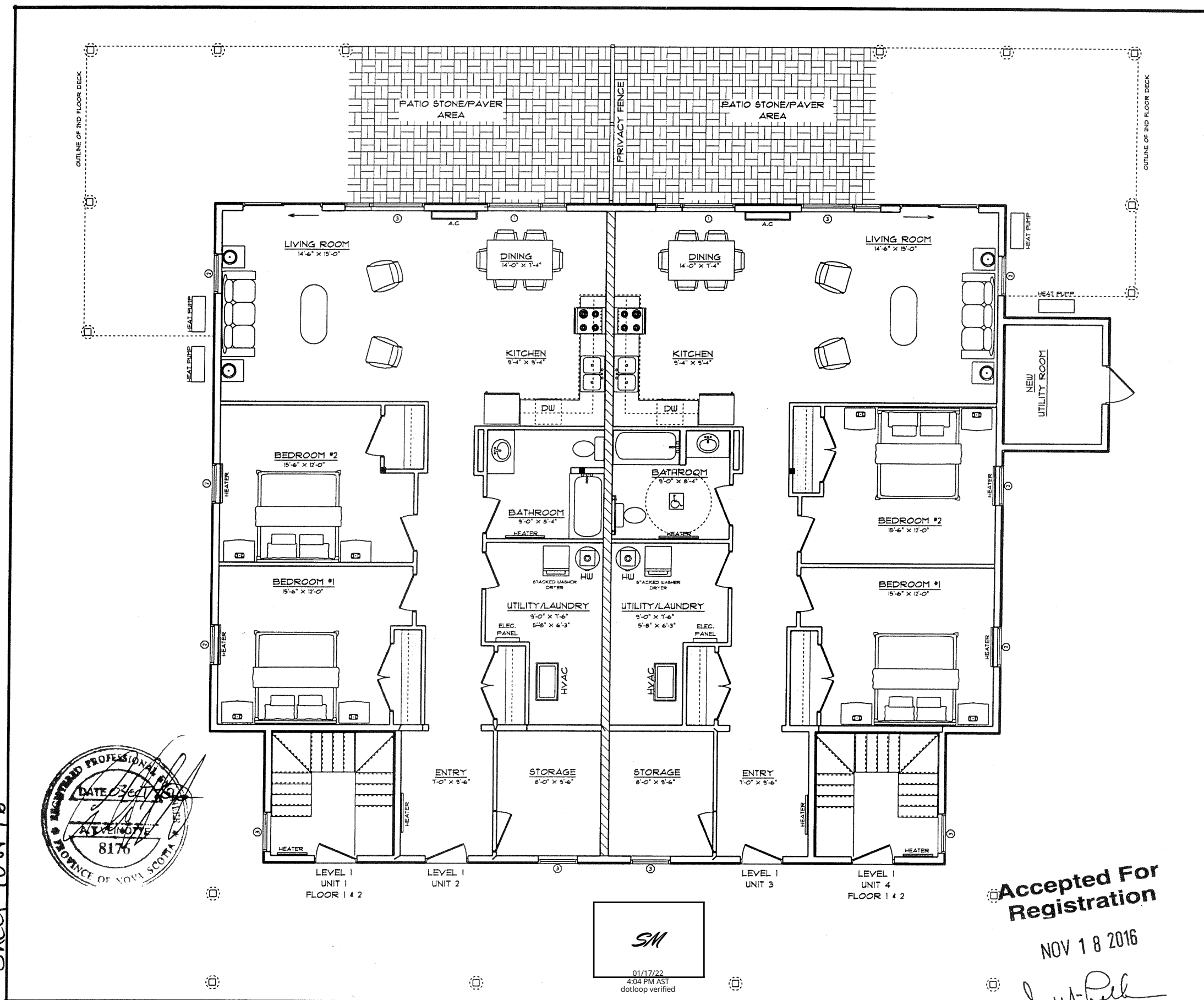
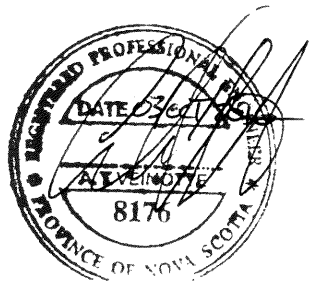


LUNenburg COUNTY LAND REGISTRATION OFFICE
 I certify that this plan was registered or recorded
 as shown here.
 Rebecca Bond, Registrar
 109940040
 Plan # LR/R RODD
 NOV 23 2016 15:17
 MM DD YYYY Time
 Sheet 10 of 16



SM
 01/17/22
 4:04 PM AST
 dotloop verified

Accepted For Registration
 NOV 18 2016
 Deputy Registrar of Condominiums

See Document 109940057 & 109940115

PROJECT .ca

ProjectHQ Design Services
 ...Concepts To Reality
 3797 Hwy #3 Chester, NS. B0J 1J0

- General Notes:**
1. By commencing construction of a building from these drawings, the owner and/or builder acknowledges that all notes on all sheets have been read and understood.
 2. All work shall conform to the Nova Scotia Building Code and adopted by authorities having jurisdiction as well as local building bylaws, which may take precedence.
 3. Before starting construction, owner and/or builder must verify all information, dimensions and specifications appearing on this plan. Printed dimensions always take precedence over scaled measurements.
 4. ProjectHQ Design Services shall not be responsible for any variances from the final construction drawings and specifications, or adjustments resulting from conditions encountered on site. Such variances are the sole responsibility of the owner and/or builder.
 5. The owner and/or builder shall be responsible for the correct siting of this building on the property. ProjectHQ Design Services assumes no liability for plan compliance with zoning regulations or lot conditions. Grades shown on elevations are estimated. Adjust on site as required. Retaining walls that may be required are beyond the scope of these drawings unless otherwise noted.
 6. All measurements on site plan to be governed and approved by authorities having jurisdiction before starting construction.
 7. All footing sizes and specifications noted on these drawings are provided as guidelines only. It is the responsibility of the owner and/or builder to ensure that the footings are adequately designed to meet the requirements of the authorities having jurisdiction.
 8. Wells and septic sewage systems to be located and constructed in accordance with the health authorities having jurisdiction.
 9. All engineering required by authorities having jurisdiction is to be provided by the owner and/or builder unless noted otherwise. Although these plans incorporate standard engineering and building practices, the local building department may require confirmation by a certified structural engineer.
 10. Work not specifically detailed shall be executed to the same quality as similar work that is detailed.
 11. This drawing is the property of ProjectHQ Design Services and may not be copied, reproduced or distributed in anyway unless authorized by ProjectHQ Design Services and must be returned upon request.

| | |
|--|------------------------|
| Customer: LUNenburg COUNTY CONDOMINIUM CORPORATION NO. 32 | Project No.: |
| Drawing: A100A | Scale: 1/8" = 1'-0" |
| Drawn: T.DEMPSEY | Checked: |
| Date: 2015-06-23 | Revised: 2016-09-14 |
| MAIN FLOOR / FURNITURE - AS BUILT | |

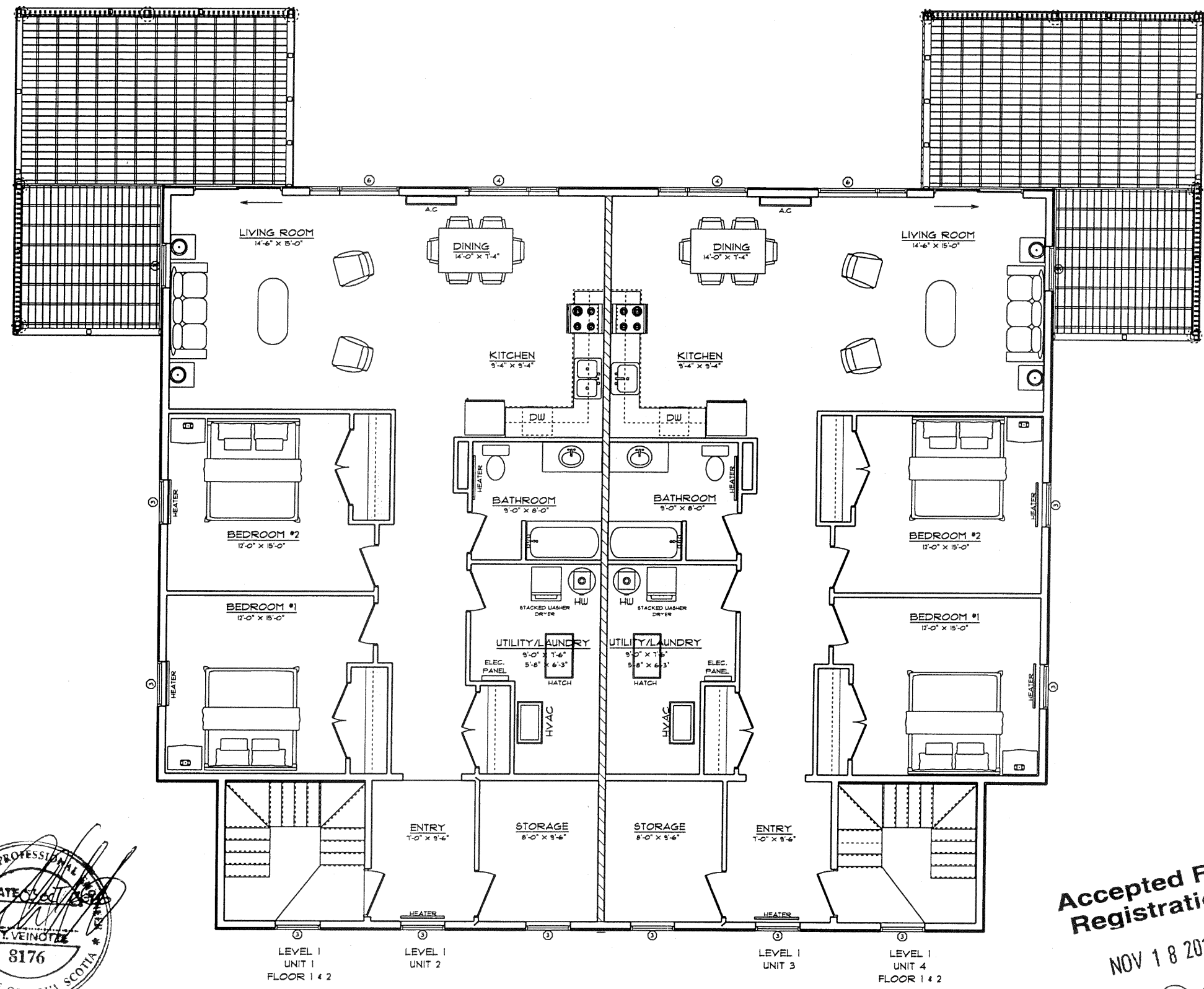
PROJECT .ca



ProjectHQ Design Services
 ...Concepts To Reality
 3797 Hwy #3 Chester, NS. B0J 1J0

General Notes:

1. By commencing construction of a building from these drawings, the owner and/or builder acknowledges that all notes on all sheets have been read and understood.
2. All work shall conform to the Nova Scotia Building Code and adopted by authorities having jurisdiction as well as local building bylaws, which may take precedence.
3. Before starting construction, owner and/or builder must verify all information, dimensions and specifications appearing on this plan. Printed dimensions always take precedence over scaled measurements.
4. ProjectHQ Design Services shall not be responsible for any variances from the final construction drawings and specifications, or adjustments resulting from conditions encountered on site. Such variances are the sole responsibility of the owner and/or builder.
5. The owner and/or builder shall be responsible for the correct siting of this building on the property. ProjectHQ Design Services assumes no liability for plan compliance with zoning regulations or lot conditions. Grades shown on elevations are estimated. Adjust on site as required. Retaining walls that may be required are beyond the scope of these drawings unless otherwise noted.
6. All measurements on site plan to be governed and approved by authorities having jurisdiction before starting construction.
7. All footing sizes and specifications noted on these drawings are provided as guidelines only. It is the responsibility of the owner and/or builder to ensure that the footings are adequately designed to meet the requirements of the authorities having jurisdiction.
8. Wells and septic sewage systems to be located and constructed in accordance with the health authorities having jurisdiction.
9. All engineering required by authorities having jurisdiction is to be provided by the owner and/or builder unless noted otherwise. Although these plans incorporate standard engineering and building practices, the local building department may require confirmation by a certified structural engineer.
10. Work not specifically detailed shall be executed to the same quality as similar work that is detailed.
11. This drawing is the property of ProjectHQ Design Services and may not be copied, reproduced or distributed in any way unless authorized by ProjectHQ Design Services and must be returned upon request.

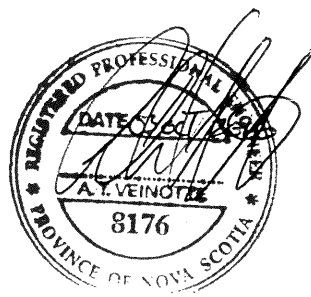


| | |
|---|-------------------------------|
| Customer: LUNENBURG COUNTY CONDOMINIUM CORPORATION NO. 32 | Project No.: |
| Drawing: A101A | Scale: 1/8" = 1'-0" |
| Drawn: T.DEMPSEY | Checked: |
| Date: 2015-06-23 | Revised: 2016-09-14 |

Accepted For Registration

NOV 18 2016

J. M. Bell
Deputy Registrar of Condominiums



LUNENBURG COUNTY LAND REGISTRATION OFFICE
 I certify that this plan was registered or recorded as shown here.
 Rebecca Bond, Registrar
 109940040 Plan #
 LR RODD
 NOV 23 2016
 MM DD YYYY
 15:17 Time
 Sheet 11 of 16

See Document 1099400574 109940115



PROJECT .ca



ProjectHQ Design Services
 ...Concepts To Reality
 3797 Hwy #3 Chester, NS. BOJ 1J0

General Notes:

1. By commencing construction of a building from these drawings, the owner and/or builder acknowledges that all notes on all sheets have been read and understood.
2. All work shall conform to the Nova Scotia Building Code and adopted by authorities having jurisdiction as well as local building bylaws, which may take precedence.
3. Before starting construction, owner and/or builder must verify all information, dimensions and specifications appearing on this plan. Printed dimensions always take precedence over scaled measurements.
4. ProjectHQ Design Services shall not be responsible for any variances from the final construction drawings and specifications, or adjustments resulting from conditions encountered on site. Such variances are the sole responsibility of the owner and/or builder.
5. The owner and/or builder shall be responsible for the correct siting of this building on the property. ProjectHQ Design Services assumes no liability for plan compliance with zoning regulations or lot conditions. Grades shown on elevations are estimated. Adjust on site as required. Retaining walls that may be required are beyond the scope of these drawings unless otherwise noted.
6. All measurements on site plan to be governed and approved by authorities having jurisdiction before starting construction.
7. All footing sizes and specifications noted on these drawings are provided as guidelines only. It is the responsibility of the owner and/or builder to ensure that the footings are adequately designed to meet the requirements of the authorities having jurisdiction.
8. Wells and septic sewage systems to be located and constructed in accordance with the health authorities having jurisdiction.
9. All engineering required by authorities having jurisdiction is to be provided by the owner and/or builder unless noted otherwise. Although these plans incorporate standard engineering and building practices, the local building department may require confirmation by a certified structural engineer.
10. Work not specifically detailed shall be executed to the same quality as similar work that is detailed.
11. This drawing is the property of ProjectHQ Design Services and may not be copied, reproduced or distributed in anyway unless authorized by ProjectHQ Design Services and must be returned upon request.



GRADE

LEVEL 1 UNIT 1 FLOOR 1 & 2 LEVEL 1 UNIT 2 FLOOR 1 & 2 LEVEL 1 UNIT 3 FLOOR 1 & 2 LEVEL 1 UNIT 4 FLOOR 1 & 2

See Document 109940057 & 109940115



LUNENBURG COUNTY LAND REGISTRATION OFFICE
 I certify that this plan was registered or recorded as shown here.
 Rebecca Bond, Registrar

109940040 Plan # LRI ROD
 NOV 23 2016 15:17
 MM DD YYYY Time

Sheet 12 of 16



01/17/22 4:04 PM AST dotloop verified

Accepted For Registration

NOV 18 2016

[Signature]
 Deputy Registrar of Condominiums

| | |
|--|------------------------|
| Customer: LUNENBURG COUNTY CONDOMINIUM CORPORATION NO. 32 | Project No.: |
| Drawing: A202 | Scale: 1/8" = 1'-0" |
| Drawn: T. DEMPSEY | Checked: |
| Date: 2015-06-23 | Revised: 2016-09-14 |

SOUTH ELEVATION - AS BUILT