

**Summary Plat of**  
**Lot 12-A-1 & 12-A-2 and 21-A-1, Block 1**  
**La Mesa Subdivision**  
Placitas, Sandoval County, New Mexico  
November 2004

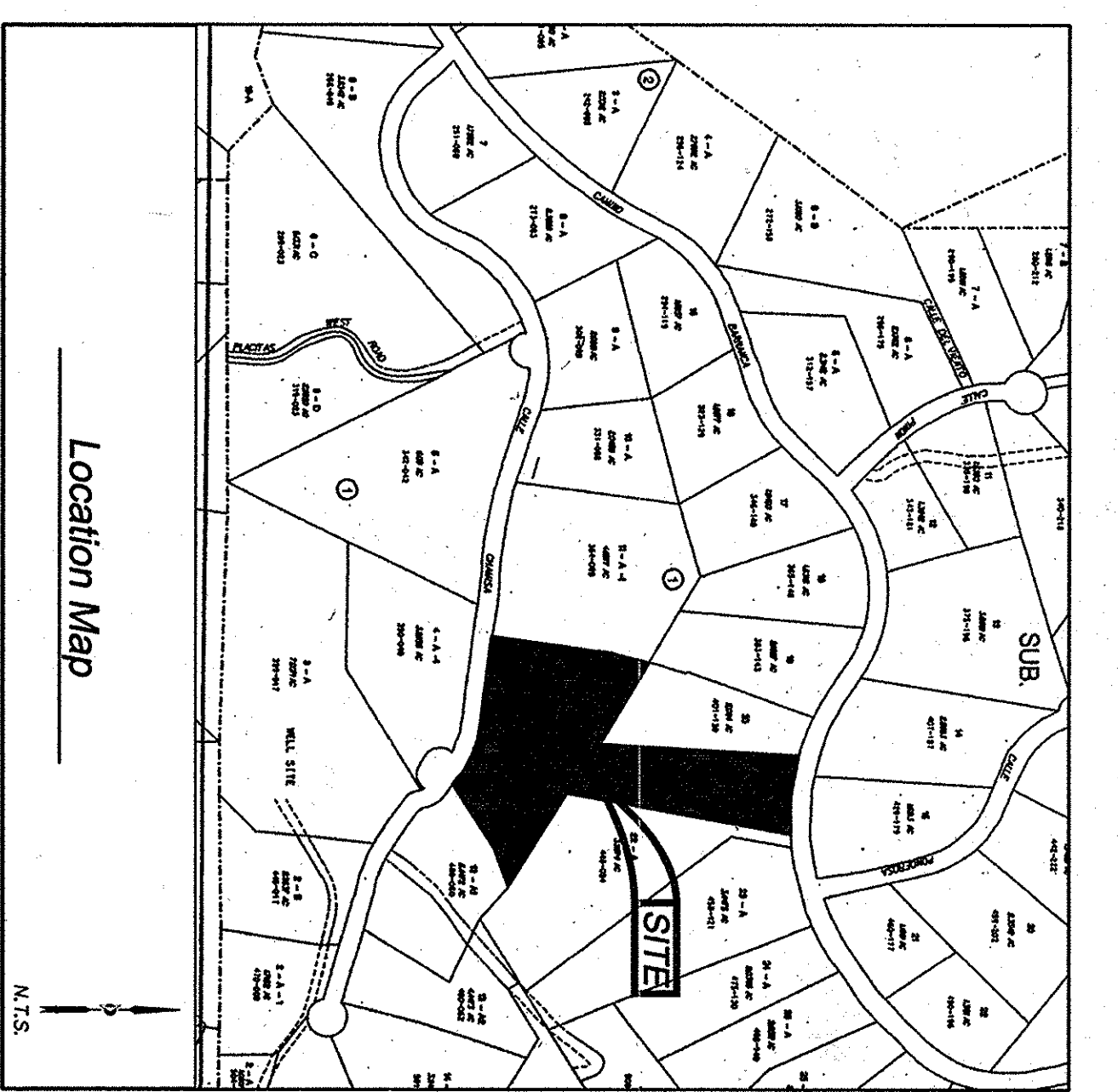
**Subdivision Data**  
GROSS SUBDIVISION ACRES: 6.16924  
NO. OF TRACTS CREATED: 0  
NO. OF LOTS CREATED: 3  
MILES OF FULL-WIDTH STREETS CREATED: 0

**Treasurer's Certification**  
I, JAMES TRUSCIC, TREASURER OF SANDOVAL COUNTY, NEW MEXICO, DO HEREBY CERTIFY THAT THE PERIODS TEN (10) YEARS PROPERTY TAXES HAVE BEEN PAID IN FULL.

SANDOVAL COUNTY TREASURER  
DATE

**Town of Bernalillo Planning and Zoning**  
THIS IS TO CERTIFY THAT THIS PLAT WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF BERNALILLO, NEW MEXICO, AT ITS MEETING ON THE 11th DAY OF OCTOBER, 2004.

**Sandoval County Department of Development**  
APPROVED FOR RECORDING THIS 11th DAY OF FEBRUARY 2005 BY  
SANDOVAL COUNTY CLERK  
DATE



**Fee Consent and Dedication**  
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERGROUND OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

ALLEN L. LEWIS  
OWNER-EXISTING LOT 12-A  
DATE 11-25-04

George Bailey  
CO-OWNER-EXISTING LOT 21-A  
DATE 11/8/04

Barbara O. Bailey  
CO-OWNER-EXISTING LOT 21-A  
DATE 11/8/04

**Acknowledgment**  
STATE OF NEW MEXICO )  
COUNTY OF SANDOVAL ) SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 5th DAY OF November 2004 BY ALLEN L. LEWIS, OWNER-EXISTING LOT 12-A  
BY *Allen Lewis*

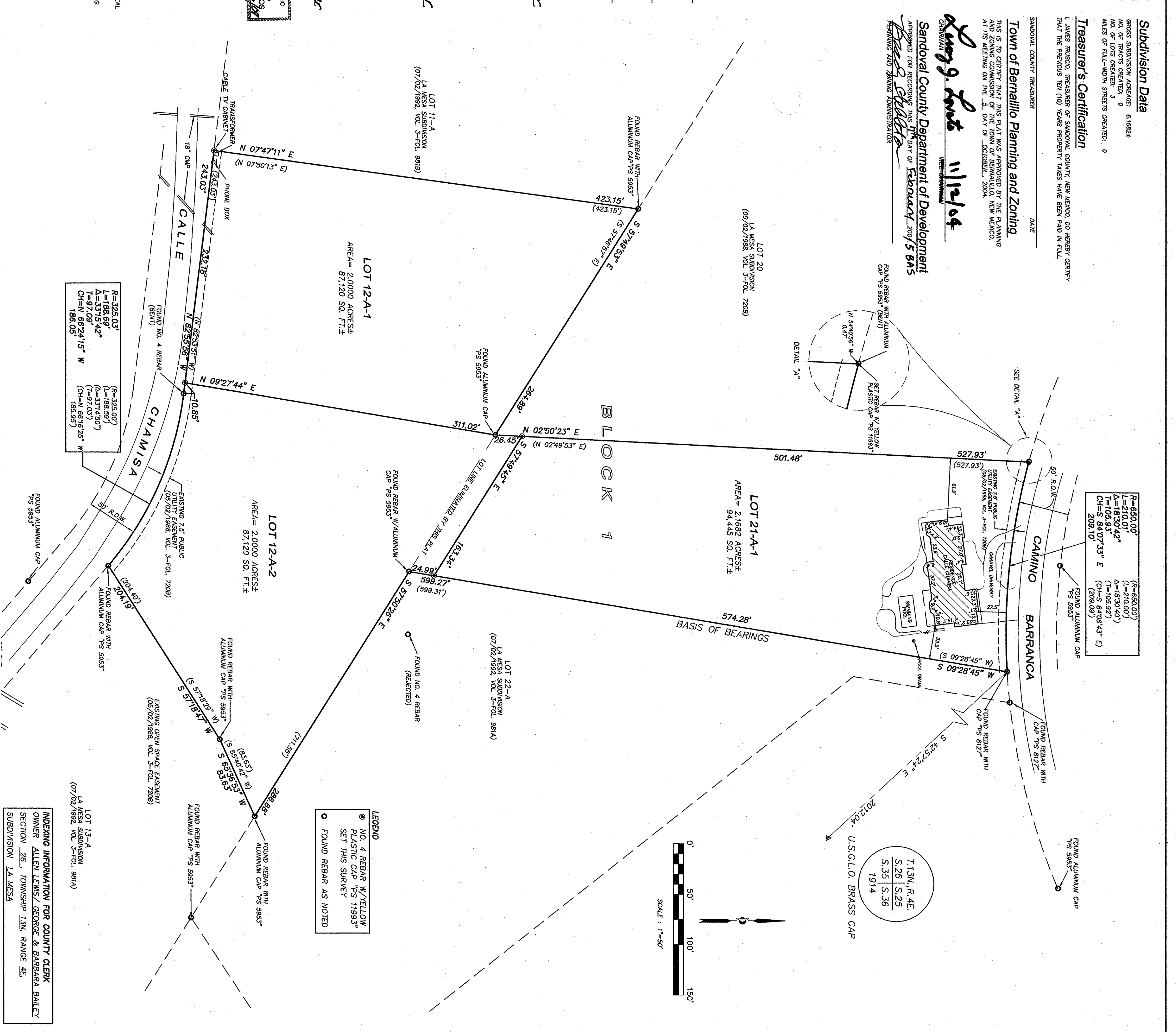
**Acknowledgment**  
STATE OF NEW MEXICO )  
COUNTY OF SANDOVAL ) SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF November 2004 BY GEORGE BAILEY, CO-OWNER-EXISTING LOT 21-A  
BY *George Bailey*

**Acknowledgment**  
STATE OF NEW MEXICO )  
COUNTY OF SANDOVAL ) SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF November 2004 BY BARBARA O. BAILEY, CO-OWNER-EXISTING LOT 21-A  
BY *Barbara Bailey*

**Acknowledgment**  
STATE OF NEW MEXICO )  
COUNTY OF SANDOVAL ) SS  
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF November 2004 BY ALLEN L. LEWIS, OWNER-EXISTING LOT 12-A  
BY *Allen Lewis*

**Notes**  
1. BEARINGS ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - MAD 1927).  
2. DISTANCES ARE GROUND DISTANCES (US SURVEY FOOT).  
3. THIS PROPERTY IS LOCATED IN SECTION 26, TOWNSHIP 13 NORTH, RANGE 4 EAST, N.M.P.M., SANDOVAL COUNTY, NEW MEXICO.  
4. PLAT SHOWS ALL EASEMENTS OF RECORD.  
5. AS TO THE TITLE MATTERS SHOWN HEREON, PRECISION SURVEYS, INC. HAS RELIED SOLELY ON THE NUMBER 9890024, DATED FEBRUARY 22, 1999, PRECISION SURVEYS, INC. MAPS NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT TITLE REPORT.  
6. DATE OF FIELD SURVEY: JUNE 6, 2004.  
7. FIELD MEASUREMENTS BY GLOBAL POSITIONING SYSTEM (GPS) SURVEY METHODS, REAL TIME DIFFERENTIAL SURVEYS WERE UTILIZED. (GSDN 053) TOTAL STATIONS WERE USED FOR REAL TIME DIFFERENTIAL SURVEYS.  
8. THE COUNTY CLERK HAS REQUIRED THIS PLAT TO BE ON A 24"x36" SIZE SHEET NOT WITHSTANDING SEC. 61-23-28 IC(4) NMSA 1978.

**Notary Public**  
STATE OF NEW MEXICO  
COUNTY OF SANDOVAL  
NOTARY PUBLIC  
BERNARD BUSTOS  
My Commission Expires 11/26/08



**Legal Description**  
A TRACT OF LAND LYING AND SITUATE WITHIN SECTION TWENTY-SIX, TOWNSHIP 13 NORTH, RANGE 4 EAST, SANDOVAL COUNTY, NEW MEXICO, COMPREHENSIVE OF LOTS 12-A AND 21-A OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF SANDOVAL COUNTY, NEW MEXICO ON JULY 21, 1992 IN VOLUME 3, FOLIO 981-B AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, SAID POINT LYING ON THE SOUTH RIGHT-OF-WAY LINE OF CAMINO BARRANCA, FROM WHENCE A RECORD DE TO THE S.E. CORNER OF LOT 20, TOWNSHIP 13 NORTH, RANGE 4 EAST BEARS S 42°57'24" E, A DISTANCE OF 202.04 FEET;  
THENCE S 57°16'42" W, A DISTANCE OF 204.19 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A FOUND REBAR WITH ALUMINUM CAP STAMPED "S 5953"; LYING ON THE NORTH RIGHT-OF-WAY LINE OF CALLE CHAMISA;  
THENCE ALONG A NON-TANGENTIAL CURVE TO THE LEFT ALONG SAID NORTH RIGHT OF WAY, HAVING AN ARC LENGTH OF 188.69 FEET, A RADIUS OF 325.03 FEET, A CHORD BEARING OF N 68°24'15" W, A DISTANCE OF 188.69 FEET, AND A DELTA ANGLE OF 33°15'42" TO A POINT OF TANGENCY MARKED BY A FOUND NUMBER 4 REBAR (GEN10);  
THENCE, CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, N 82°55'56" W, A DISTANCE OF 243.03 FEET TO SOUTHWEST CORNER OF DESCRIBED TRACT MARKED BY A SET REBAR WITH YELLOW PLASTIC CAP STAMPED "S 119933";  
THENCE, LEAVING SAID NORTH RIGHT OF WAY LINE, S 07°47'11" E, A DISTANCE OF 423.15 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH ALUMINUM CAP STAMPED "S 5953";  
THENCE S 57°16'42" E, A DISTANCE OF 284.88 FEET TO AN ANGLE POINT MARKED BY A FOUND REBAR WITH ALUMINUM CAP STAMPED "S 5953";  
THENCE N 02°50'23" E, A DISTANCE OF 527.93 FEET TO AN ANGLE POINT LYING ON SAID SOUTH RIGHT-OF-WAY LINE AND MARKED BY A FOUND REBAR WITH ALUMINUM CAP STAMPED "S 5953";  
THENCE ALONG A NON-TANGENTIAL CURVE TO THE LEFT HAVING AN ARC LENGTH OF 210.01 FEET, A RADIUS OF 660.00 FEET, A CHORD BEARING OF S 40°17'33" E, A DISTANCE OF 208.10 FEET, AND A DELTA ANGLE OF 18°30'42" TO THE POINT OF BEGINNING, HAVING AN AREA OF 6,168.2 ACRES (268,688 SQUARE FEET), MORE OR LESS.

**Sandoval County Treasurer Certificate**  
THE FIRST HALF/SECOND HALF OF SAID PROPERTY TAXES FOR THE PROPERTY SHOWN HEREON ARE PAID IN FULL.  
OWNER # 3181 5162881  
SANDOVAL COUNTY TREASURER  
DATE 2-9-05

**Sandoval County Recording Certificate**  
THIS INSTRUMENT WAS FILED FOR RECORD ON February 9th 2005 11:27:39 AM, AS DOCUMENT NO. 40813, IN THE OFFICE OF THE COUNTY CLERK OF SANDOVAL COUNTY, NEW MEXICO.  
BY *Salvador Torres* DEPUTY,  
SANDOVAL COUNTY CLERK AND RECORDER.

**Approvals**  
11/17/04  
11/17/04  
11/17/04

**Easements** (05/02/1988, VOL. 3-FOL. 7208)  
THE FOLLOWING EASEMENTS WILL BE PROVIDED AND WILL BE CONSIDERED AS AN EXISTING CONDITION AND INTERIOR PORTION OF EACH LOT:  
1. 7.5' PILE EASEMENTS - PUBLIC UTILITY EASEMENTS (GENOTED AS 7.5' PILE EASEMENTS) ARE HEREBY RESERVED FOR UNDERGROUND ELECTRIC DISTRIBUTION LINES AND FOR OTHER BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR ELECTRIC, TELEPHONE, WATER AND NATURAL GAS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS EXCEPT ALONG NM HWY 185 UNLESS OTHERWISE NOTED.  
2. MAINTENANCE OF SORES, ROADSIDE AND DRAINAGE AREAS, EACH OWNER CONSENTS AND AGREES TO THE CREATION OF AN EASEMENT TO ALLOW FOR MAINTENANCE OF CUT OR FILL SIDE SLOPE ON ANY LOT ALONG ANY PUBLICLY DEDICATED RIGHT OF WAY TO INSURE THE PROPER MAINTENANCE AND DRAINAGE OF ROADS IN THE SUBDIVISION.  
3. PROPERTY SUBJECT TO AN EXISTING PERMANENT DRAINAGE WAY ALONG NATURAL WATER COURSES FOR THE FREE FLOW OF STORM WATERS.

**Surveyor's Certificate**  
I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL NEW MEXICO LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD MEASUREMENTS AND CALCULATIONS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A MEMBER OF THE SANDOVAL COUNTY SURVEYORS ASSOCIATION AND STANDARDS FOR THE PRACTICE OF SURVEYING IN NEW MEXICO. I HAVE REVIEWED THE PLAT AND IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

**PRECISION SURVEYS, INC.**  
8414-D JEFFERSON ST., N.E. PHONE 505-856-5700  
ALBUQUERQUE, NEW MEXICO 87113 FAX 505-856-7300