

1 Site Plan @ Ground Floor

A001 1/16" = 1'-0"

Flood Zone:	AE 11'	Main Building Footprint:	3,092 S.F.	Lot Area:	33,208 S.F.
Restrictions - Front:	Within Limit of Moderate Wave Action	Detached Garage:	558 S.F.	Total Improvement Percentage:	24.70%
Right Side:	15'	Porches:	606 S.F.		
Left Side:	0'	Stairs:	202 S.F.		
Rear:	30'	HVAC:	146 S.F.		
Height Restriction:	Curb Height + 50'	Driveway and Walkways:	3,275 S.F.		
Curb Height Elevation Reference:	8.00'	Future Pavilion Footprint:	324 S.F.		
B.F.E.:	M.S.L. + 11'	Improvement Area:	8,203 S.F.		
Freeboard Amount:	+2'				
Lot Coverage Max:	50%				

REVISIONS

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DESIGNED BY: B.H.
 CHECKED BY: -
 DRAWN BY: N.V.

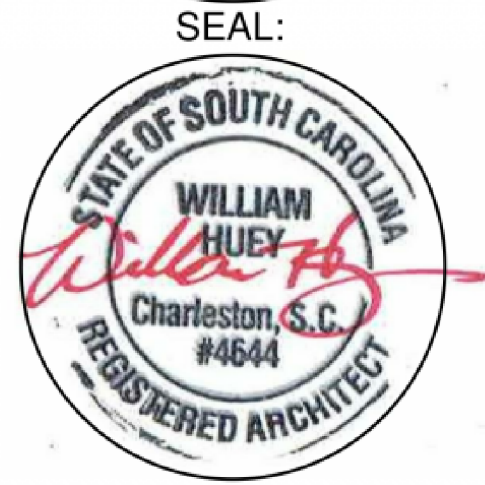
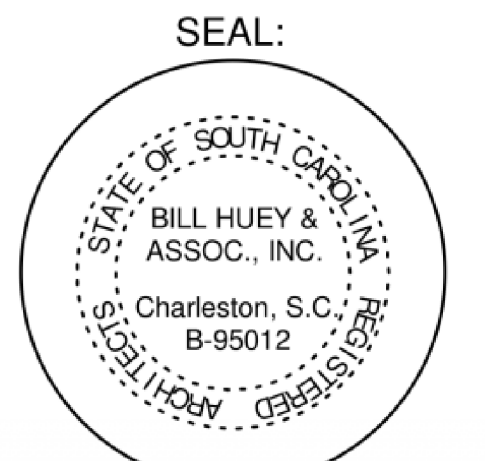
- PRELIMINARY
- BID
- PERMIT
- CONSTRUCTION


City Of Charleston Building Inspections
REVIEWED FOR CODE COMPLIANCE
BarCom 11/09/2020
 APPROVAL SUBJECT TO FIELD INSPECTION

BILL HUEY
 + ASSOCIATES

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 Johns Island, South Carolina 29454
 Phone: 843.805.6700

401 Wayfaring Pt.
 Daniel Island, SC



SHEET:

A001

SCALE: 1/16" = 1'-0"
 PROJECT NO.:
 DATE: 10/7/20 12:50:59
 PM

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