

6 AMBLER WAY

Location	6 AMBLER WAY	Mblu	206/ / 33/0 0/0
Owner	CLARKE REV TRUST, NANCY H	Assessment	\$630,400
Appraisal	\$630,400	PID	1031
Building Count	1	Location	

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2025	\$362,700	\$267,700	\$630,400
Assessment			
Valuation Year	Improvements	Land	Total
2025	\$362,700	\$267,700	\$630,400

Parcel Addresses

Additional Addresses
No Additional Addresses available for this parcel

Owner of Record

Owner	CLARKE REV TRUST, NANCY H	Sale Price	\$0
Co-Owner		Certificate	
Address	6 AMBLER WAY	Book & Page	1946/0579
	DURHAM, NH 03824	Sale Date	08/21/1997
		Instrument	

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
CLARKE REV TRUST, NANCY H	\$0		1946/0579		08/21/1997

Building Information

Building 1 : Section 1

Year Built:	1972
Living Area:	2,560
Replacement Cost:	\$438,760
Building Percent Good:	80
Replacement Cost Less Depreciation:	\$351,000

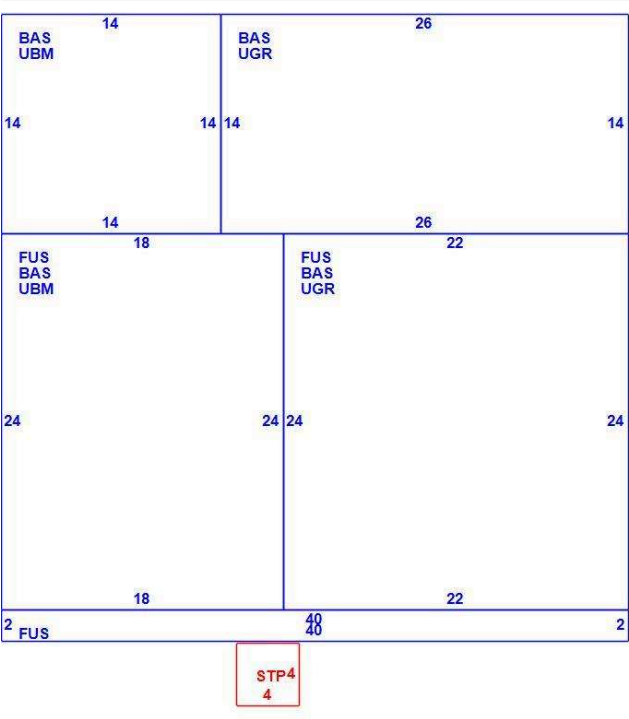
Building Attributes	
Field	Description
Style:	Colonial
Model	Residential
Grade:	Average
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Gable/Hip
Roof Cover	Asph/F GlS/Cmp
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Hardwood
Interior Flr 2	
Heat Fuel	Gas
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	4 Bedrooms
Total Bthrms:	2
Total Half Baths:	1
Total Xtra Fixtrs:	3
Total Rooms:	8 Rooms
Bath Style:	
Kitchen Style:	
Num Kitchens	01
Cndtn	
Num Park	
Fireplaces	
Color	
Fndtn Cndtn	
Basement	

Building Photo



(https://images.vgsi.com/photos/DurhamNHPhotos/\A0005\DSC00314_593)

Building Layout



(ParcelSketch.ashx?pid=1031&bid=1031)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	1,520	1,520
FUS	Upper Story, Finished	1,040	1,040
STP	Stoop	16	0
UBM	Basement, Unfinished	628	0
UGR	Garage, Undergrade	892	0
		4,096	2,560

Extra Features

Extra Features				<u>Legend</u>
Code	Description	Size	Assessed Value	
FPL3	2 STORY CHIM	1.00 UNITS	\$5,700	
FPO	EXTRA FPL OPEN	1.00 UNITS	\$1,800	

Parcel Information

Use Code	1010
Description	Single Fam MDL-01
Deeded Acres	0.93

Land

Land Use		Land Line Valuation	
Use Code	1010	Size (Acres)	0.93
Description	Single Fam MDL-01	Frontage	0
Zone	RB	Depth	0
Neighborhood	60	Assessed Value	\$267,700
Alt Land Appr Category	No	Appraised Value	\$267,700

Outbuildings

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Assessed Value	
RD2	RES DRIVEWAY MED			1.00 UNITS	\$1,800	
PAT1	PATIO-AVG			448.00 S.F.	\$2,400	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2025	\$362,700	\$267,700	\$630,400
2024	\$335,100	\$173,100	\$508,200
2023	\$335,100	\$173,100	\$508,200

Assessment			
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