

Cornerstone Inspection

Property Inspection Report



339 Partridge Ave, Paso Robles, CA 93446

Inspection prepared for: Mark Polhemus

Real Estate Agent: Shannon Bowdey - SLO Happy Homes

Date of Inspection: 4/22/2026 Time: 1:30 PM

Age of Home: 1981 Size: 1320

Weather: Clear

Order ID: 13545

Inspector: Peter Ruiz

CREIA #167160

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INTRODUCTION

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. After you have reviewed your report, please give us a call if you have any questions you would like us to address. Remember, once the inspection is completed and the report is delivered, we will remain available to provide more information throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, because we recognize that our clients' time is valuable, and do not wish to provide you with an unnecessarily lengthy report about components that are not in need of service.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report are intended to illustrate an example of the issue being reported. More issues or defects may exist that could be discovered by a licensed specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as 'left', 'right', 'front', or 'rear' of the property are described from the perspective of facing the front door. Please use the photo on the cover page of this report to define the 'front' of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

REPORT SUMMARY

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct, or items to which I would like to draw extra attention. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report, as the summary alone does not explain all of the issues. All repairs should be done by a licensed and bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for any work done on the property.

On this page you will find a brief summary of any critical concerns of the inspection, as they relate to health and safety, or if they may be costly to repair. An example could be exposed live electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommended upgrade items will be in BLUE. Informational comments will be in typical black lettering. It is important to read your entire report. For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the building has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those of who will be on this property, other items listed in the body of the report may also be a concern for you; be sure to read your inspection report in its entirety. Note: If there are no comments in **RED** below, we located no **CRITICAL** systems or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 6 Item: 2	Environmental Comments	2.2. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home, adjacent to the bedrooms, but not any closer than 10 feet (3.05 m) to a gas appliance.
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Foundation Comments

Page 14 Item: 1	Crawlspace Observations	1.10. The crawlspace is not adequately ventilated, which is allowing condensation to form. This will accelerate the deterioration of the framing, and generally contribute to unhealthy conditions. The termite inspector should comment on this issue, but this condition should be further evaluated by a qualified tradesperson.
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Roofing

Page 16 Item: 2	Composition Shingle Observations	2.6. The roof has one or more damaged or missing shingles that should be repaired or replaced by a licensed roofing contractor. 2.7. The ridge or roof-line appears to be wavy in silhouette. We will elaborate on the possible reasons for this, but you should have a qualified roofing contractor evaluate the roof or comment on this specific feature.
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Plumbing Components

Page 21 Item: 4	Gas Water Heater Comments	4.16. There is a leak at the water connector on the inlet side of the gas water heater, which should be repaired by a qualified tradesperson. 4.17. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.
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Bedrooms

Page 29 Item: 1	Master Bedroom Observations	1.4. There is no smoke alarm, which is mandated in this jurisdiction and should be installed.
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Kitchen

Page 30 Item: 4	Electrical Components	4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature. 4.3. There is exposed romex present, which is a potential safety hazard. We recommend having it evaluated and serviced by a licensed electrician, possibly by installing the romex inside the wall cavity or into conduit. 4.4. There is an electrical connection that has been improperly made outside of a junction box which should be rewired by a licensed electrical contractor.
Page 31 Item: 8	Exhaust Fan	8.1. There is no provision for an exhaust fan, which is recommended for optimal safety.

Bathrooms

Page 33 Item: 1	Master Bathroom Observations	1.15. The sink countertop is not secure, and should be serviced. 1.16. The floor is out of level. We can elaborate, but this condition should be evaluated by a qualified tradesperson.
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The buyer's agent was present during the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.5. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.6. We do not inspect window coverings as a part of our service. However, there are blinds present with pull cords that have been found to be a choke hazard, especially if small children occupy the home. These cords should be secured within the window sill area at a point where they can only be reached by an adult.

1.7. We do not evaluate auxiliary structures, such as storage buildings, as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.8. We prefer to have our clients present during or immediately following the inspection, so that we can elaborate on what may well be complicated or technical issues that may be challenging for the layperson to effectively communicate. Therefore, to avoid any misunderstandings or miscommunications, we strongly encourage anyone utilizing this report to read the entire report, not just the summary, and to consult with us directly regarding any questions or concerns. In addition, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others.

1.9. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.10. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

Site and Other Comments (continued)

1.11. Because this is a report on a mobile home within a managed park, we do not inspect or report on the condition of any components beyond the unit, such as grading and drainage, which we believe to be the responsibility of the park management association.

1.12. Over the life of a mobile home it will need to be re-leveled every 7 to 10 years. We do not evaluate the level of a mobile home, but do recommend that you have it evaluated by a licensed specialist in the near future, or ask the sellers when it was last re-leveled.

2. Environmental Comments

Observations:

2.1. It is recommended that smoke alarms older than 10 years old be replaced due to safety concerns, as the sensors may no longer be effective.

2.2. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home, adjacent to the bedrooms, but not any closer than 10 feet (3.05 m) to a gas appliance.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, as they provide the most effective barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may be hidden or difficult to detect without the proper conditions present. For example, we may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. The landscaping includes precast concrete accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked, or balanced components that can represent a safety hazard, particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason, the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation, hard surfaces, area drains, and full or partial gutters. We did not observe any evidence of moisture threatening the living space. However, the area drains must be kept clean or moisture intrusion could result.

2.3. The property does not have hard surfaces in some of the side yards to facilitate drainage. Water will percolate and pond adjacent to the residence which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, swales or area drains that direct water away from the residence.

2.4. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

2.5. The property is served by area drains that appear to be in acceptable condition. However, because it is impossible to see inside them, the seller should verify that the drains are functional. Surface water carries minerals and silt that is deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a plumbing service.

2.6. There are area drains in planter beds or yards that will be subject to contamination by dirt and debris, and these drains should be periodically monitored and cleaned.

2.7. There are missing or broken area drain covers. This could have allowed leaves and other debris to enter the drain lines and contribute to blockages. Therefore, it would be prudent to have the lines flushed through to the street or to their termination point before the broken covers are replaced.

Exterior (continued)



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3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with cement-fiber siding.

3.2. The siding needs typical maintenance such as sealing and painting.

3.3. There are separations, gaps, cracks or openings on the siding that need to be serviced/sealed. This includes hose bibs, electrical or cable wires that enter the home, or cracks around the windows or doors.

3.4. Portions of the siding have dry rot or are moisture damaged, and should be evaluated by a pest inspector.

Exterior (continued)



Portions of the siding have dry rot or are moisture damaged, and should be evaluated by a pest inspector.

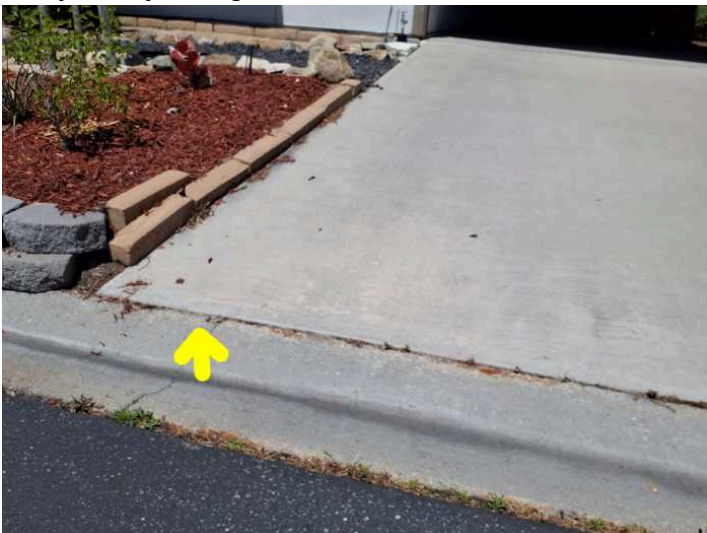


Portions of the siding have dry rot or are moisture damaged, and should be evaluated by a pest inspector.

4. Hard Surfaces

Observations:

- 4.1. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.2. There are one or more offsets in the driveway that could prove to be trip-hazards.
- 4.3. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. There could be many causes for the cracks, such as by the lack of expansion joints, or a tree that is too close to the concrete decking.
- 4.4. There are one or more offsets in the walkways or patio that could prove to be trip-hazards.
- 4.5. The paver patio or walkway has one or more offsets that may prove to be trip-hazards. This may be by design or due to unsuitable soil below the pavers.



There are one or more offsets in the driveway that could prove to be trip-hazards.



There are one or more offsets in the walkways or patio that could prove to be trip-hazards.

Exterior (continued)



The paver patio or walkway has one or more offsets that may prove to be trip-hazards. This may be by design or due to unsuitable soil below the pavers.

5. Wood Trim, Facia and Eave

Observations:

5.1. Sections of the fascia, trim and/or eaves need maintenance type service, such as sealing and painting.

6. Electrical Components

Observations:

6.1. The exterior outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the hallway bathroom.

6.2. The lights outside the doors of the residence are functional.

6.3. We do not evaluate low-voltage or decorative lights, such as Malibu lights, and you may wish to have the sellers demonstrate them as functional.

7. Windows

Observations:

7.1. In accordance with industry standards, we only test a representative sample of windows.

7.2. Dual-pane windows are present that include hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

7.3. The windows have been replaced. You should request documentation from the sellers, which would confirm a professional installation, and could include a transferable warranty, etc.

Exterior (continued)

8. Yard and Retaining Walls

Observations:

8.1. The stacked masonry or natural stone yard walls, though functional, have no value as retaining walls and will need to be periodically monitored for movement.



The stacked masonry or natural stone yard walls, though functional, have no value as retaining walls and will need to be periodically monitored for movement.

9. Landscaping

Observations:

9.1. There are trees on this property that we do not have the expertise to evaluate, and you may wish to have them examined by an arborist.

9.2. There are tree limbs over growing the residence that should be trimmed or monitored to ensure that they do not impact or damage the roof or its components.



There are tree limbs over growing the residence that should be trimmed or monitored to ensure that they do not impact or damage the roof or its components.

Exterior (continued)

10. *Patio Covers and Arbors*

Observations:

10.1. There is damage to the wooden supports that should be evaluated by a pest inspector.



There is damage to the wooden supports that should be evaluated by a pest inspector.

11. *Carport*

Observations:

11.1. The carport is in acceptable condition.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing, which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than ¼ inch and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

1.3. The crawlspace access is located at the rear exterior.

1.4. The soils within the crawlspace are moist, which appears to have resulted from recent rains. This can contribute to differential settling, and facilitate the growth of a variety of molds and fungi that can produce unhealthy conditions. The crawlspace should be carefully monitored to insure there is adequate ventilation and that it can dry out in an appropriate manner and length of time.

1.5. Portions of the steel beams are being deteriorated by rust and should be serviced and monitored. This is important because rust deterioration can be progressive and may result in a structural failure.

1.6. The metal piers are beginning to deteriorate and should be monitored closely. They are serviceable but have corrosion and deterioration that is commensurate with their age. It would be wise to have them evaluated and serviced by a qualified specialist in the near future.

1.7. The electrical components that are visible within the crawlspace appear to be in acceptable condition.

1.8. The visible portions of the water pipes are in acceptable condition but should be monitored because of their location. Leaks from pipes that pass through a crawlspace can be difficult to detect until significant damage is evident elsewhere.

1.9. The rodent barrier has voids or openings that should be sealed. This could also imply that there have been some leaks or plumbing repairs done in the past. You may want to ask the seller regarding this issue.

Foundation Comments (continued)

1.10. The crawlspace is not adequately ventilated, which is allowing condensation to form. This will accelerate the deterioration of the framing, and generally contribute to unhealthy conditions. The termite inspector should comment on this issue, but this condition should be further evaluated by a qualified tradesperson.



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The metal piers are beginning to deteriorate and should be monitored closely. They are serviceable but have corrosion and deterioration that is commensurate with their age. It would be wise to have them evaluated and serviced by a qualified specialist in the near future.

Foundation Comments (continued)



The metal piers are beginning to deteriorate and should be monitored closely. They are serviceable but have corrosion and deterioration that is commensurate with their age. It would be wise to have them evaluated and serviced by a qualified specialist in the near future.

Roofing

1. Roof Gutters

Observations:

- 1.1. Some of the gutters need to be cleaned to drain properly.
- 1.2. It would be prudent to have splash blocks installed at the bottom of the downspouts, to divert water away from the house and its foundation.
- 1.3. We have noted that one or more downspouts enter into underground drains, but we cannot confirm their termination points. You should check with the seller to verify the location of the termination points, and check the points to see if they are clear and clean.
- 1.4. We recommend that you install gutter guards to restrict leaves and other debris from entering the gutter system, which could restrict proper drainage.

Roofing (continued)

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The most common of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors, including the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. It does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks, many of which only become evident after they have caused other damage. Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. We observed repairs done to the roof. You should have the sellers disclose the reason that the repairs were completed, as well as any documentation of any warranty or guarantee from the roofer.

2.4. The shingles are losing granules but would not need to be replaced at this time.

2.5. One or more of the roof flashings need to be sealed or serviced. They are comprised of metal that seals valleys, vents, and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashings on a layered roof, which are covered by the roofing material and are even more susceptible to leaks.

2.6. The roof has one or more damaged or missing shingles that should be repaired or replaced by a licensed roofing contractor.

2.7. The ridge or roof-line appears to be wavy in silhouette. We will elaborate on the possible reasons for this, but you should have a qualified roofing contractor evaluate the roof or comment on this specific feature.

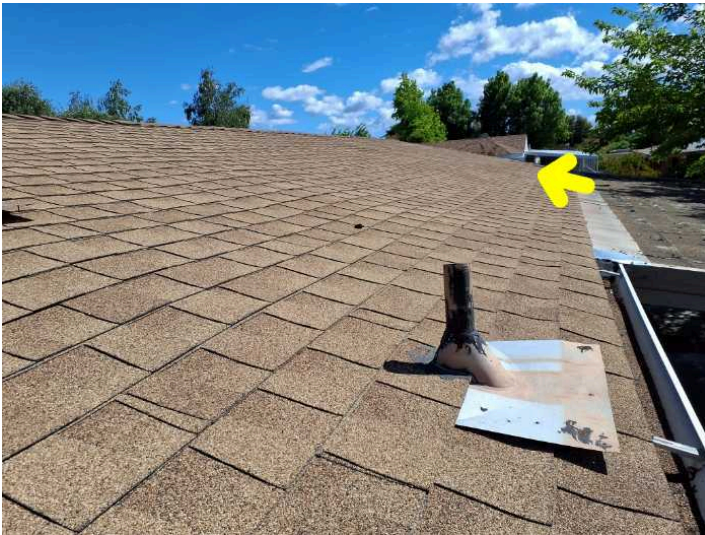
Roofing (continued)



The roof has one or more damaged or missing shingles that should be repaired or replaced by a licensed roofing contractor.



The ridge or roof-line appears to be wavy in silhouette. We will elaborate on the possible reasons for this, but you should have a qualified roofing contractor evaluate the roof or comment on this specific feature.



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Roofing (continued)



We observed repairs done to the roof. You should have the sellers disclose the reason that the repairs were completed, as well as any documentation of any warranty or guarantee from the roofer.



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Plumbing Components

1. Water Supply Comments

Observations:

- 1.1. The main water shut-off valve is located at the right side of the home, unit, or building.
- 1.2. A functional pressure regulator is in place on the plumbing system.
- 1.3. The residence is served primarily by CPVC (Chlorinated PolyVinyl Chloride) potable water pipes that appear to be in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are inside walls, and we can only view the pipes as they exit the walls.
- 1.4. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.



The main water shut-off valve is located at the right side of the home, unit, or building.



A functional pressure regulator is in place on the plumbing system.

2. Gas Service Information

Observations:

- 2.1. Natural gas is odorized in the manufacturing process. Should you smell the distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shut off the gas at the main and clear the area. Immediately call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.
- 2.2. The gas main shut-off is located underneath the sidewalk.
- 2.3. The visible portions of the gas pipes appear to be in acceptable condition.
- 2.4. We recommend that a wrench, designed to fit the gas shut-off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.

Plumbing Components (continued)

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested do not include anti-siphon valves. These valves are relatively inexpensive, and are required by current standards. However, we may not have located and tested every hose bib on the property.

3.3. A hose bib on the front is not functional or has been abandoned.



A hose bib on the front is not functional or has been abandoned.

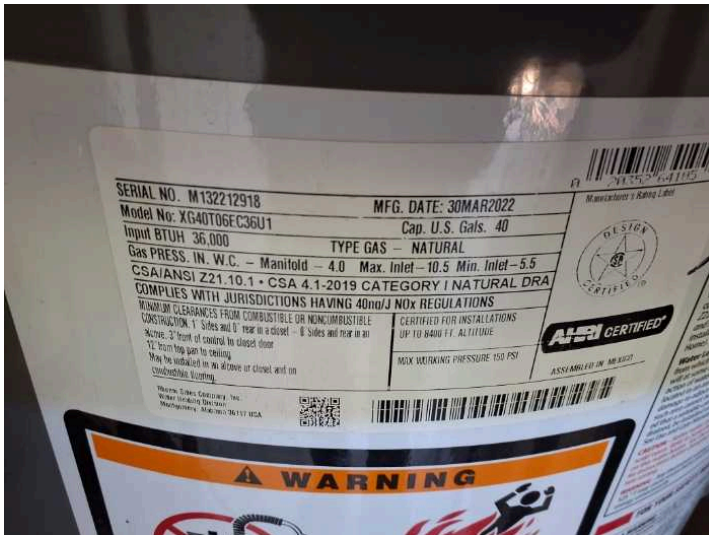
Plumbing Components (continued)

4. Gas Water Heater Comments

Observations:

- 4.1. Hot water is provided by a 40 gallon gas water heater that is located in an exterior closet.
- 4.2. The water heater is functional.
- 4.3. The exterior flame cover is missing and should be replaced.
- 4.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and are susceptible to damage due to the lack of use.
- 4.5. The water heater system includes an expansion tank that we do not have the expertise to evaluate. We recommend having the seller disclose its operation, maintenance history, and relevant documentation.
- 4.6. The gas control valve and its connector at the water heater are presumed to be functional.
- 4.7. The vent pipe is functional.
- 4.8. There are moisture stains on the ceiling at the vent pipe which should be explained or further explored. It could indicate the roof vent flashing is not properly sealed.
- 4.9. The water heater is equipped with a mandated pressure & temperature relief valve.
- 4.10. The drain valve of the gas water heater is in place and presumed to be functional.
- 4.11. The water heater is equipped with a drip pan and a drainpipe, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak.
- 4.12. We recommend adding a moisture sensor to the pan, which will alert to the presence of a water leak. Many of the sensors are wireless and can be controlled with home automation systems or virtual assistant apps.
- 4.13. The water heater appears to have adequate combustion-air.
- 4.14. The water heater is seismically secured.
- 4.15. There is a moisture stain on the wall or ceiling that should be explained or explored further.
- 4.16. There is a leak at the water connector on the inlet side of the gas water heater, which should be repaired by a qualified tradesperson.
- 4.17. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Plumbing Components (continued)



Hot water is provided by a 40 gallon gas water heater that is located in an exterior closet.



There is a leak at the water connector on the inlet side of the gas water heater, which should be repaired by a qualified tradesperson.



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

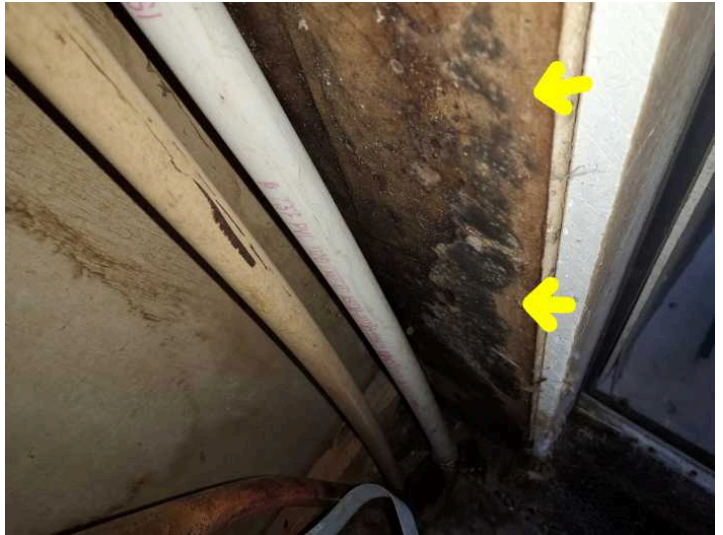


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Plumbing Components (continued)



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Plumbing Components (continued)



The water heater system includes an expansion tank that we do not have the expertise to evaluate. We recommend having the seller disclose its operation, maintenance history, and relevant documentation.



The exterior flame cover is missing and should be replaced.



There are moisture stains on the ceiling at the vent pipe which should be explained or further explored. It could indicate the roof vent flashing is not properly sealed.



There is a moisture stain on the wall or ceiling that should be explained or explored further.

Plumbing Components (continued)

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

5.4. A clean-out is located at the right side.



A clean-out is located at the right side.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weather proof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 100 amp main electrical panel, located at the right side of the home or unit.

1.3. The main electric panel is under the jurisdiction of the park management and was not inspected.



The residence is served by a 100 amp main electrical panel, located at the right side of the home or unit.

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located at the right exterior side of the home.

2.3. The sub panel was not accessible and was not inspected.

Electrical Service Panels (continued)



The sub panel was not accessible and was not inspected.

Interior Space

1. Main Entry

Observations:

1.1. The front door is functional.

1.2. The doorbell does not work and should be serviced.

1.3. There is damage to the threshold that should be evaluated by a qualified specialist and serviced as necessary.



There is damage to the threshold that should be evaluated by a qualified specialist and serviced as necessary.

Interior Space (continued)

2. Living Room

Observations:

2.1. The living room is located adjacent to the main entry.

2.2. There is a moisture stain/damage on the ceiling that should be explained or explored further.



There is a moisture stain/damage on the ceiling that should be explained or explored further.



There is a moisture stain/damage on the ceiling that should be explained or explored further.



There is a moisture stain/damage on the ceiling that should be explained or explored further.

3. Dining Room

Observations:

3.1. The dining room is located adjacent to the kitchen.

3.2. We have evaluated the dining room, and found it to be in acceptable condition.

Bedrooms

1. Master Bedroom Observations

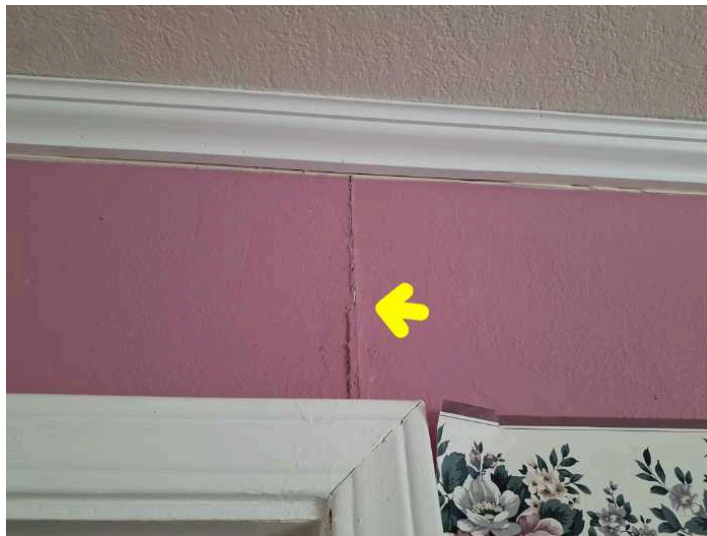
Observations:

1.1. This bedroom is located at the end of the main hallway.

1.2. It would be prudent to add a door stop at the door to protect the wall into which it opens.

1.3. The walls have stress fractures which may have resulted from movement. I can elaborate on this issue, but you should have a specialist comment, and be aware that such cracks can reappear, and typically if they are not repaired correctly.

1.4. There is no smoke alarm, which is mandated in this jurisdiction and should be installed.



The walls have stress fractures which may have resulted from movement. I can elaborate on this issue, but you should have a specialist comment, and be aware that such cracks can reappear, and typically if they are not repaired correctly.

2. Bedroom 2

Observations:

2.1. This bedroom is located at the 1st bedroom door on the right going down the main hallway.

2.2. The smoke alarm responded to the test button, but should be checked and tested periodically.

2.3. It would be prudent to add a door stop at the door to protect the wall into which it opens.

2.4. The floor is out of level. We can elaborate, but this condition should be evaluated by a qualified tradesperson.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

3. Countertop

Observations:

3.1. The counter top has typical damage, such as small cracks or scuffs which you should view for yourself.

4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

4.3. There is exposed romex present, which is a potential safety hazard. We recommend having it evaluated and serviced by a licensed electrician, possibly by installing the romex inside the wall cavity or into conduit.

4.4. There is an electrical connection that has been improperly made outside of a junction box which should be rewired by a licensed electrical contractor.

Kitchen (continued)



There is exposed romex present, which is a potential safety hazard. We recommend having it evaluated and serviced by a licensed electrician, possibly by installing the romex inside the wall cavity or into conduit.



There is an electrical connection that has been improperly made outside of a junction box which should be rewired by a licensed electrical contractor.

5. Sink and Faucet

Observations:

- 5.1. The sink is functional.
- 5.2. The sink faucet is functional.
- 5.3. The valves and connector below the sink are functional.
- 5.4. The trap and drain are functional.

6. Garbage Disposal Comments

Observations:

- 6.1. The garbage disposal is functional.

7. Dishwasher Comments

Observations:

- 7.1. The dishwasher is functional.

8. Exhaust Fan

Observations:

- 8.1. There is no provision for an exhaust fan, which is recommended for optimal safety.

Kitchen (continued)



There is no provision for an exhaust fan, which is recommended for optimal safety.

9. Gas Range & Cook Top

Observations:

9.1. The gas cook top is functional.

10. Built-in Ovens

Observations:

10.1. The gas oven is functional, but was neither calibrated nor tested for its performance.

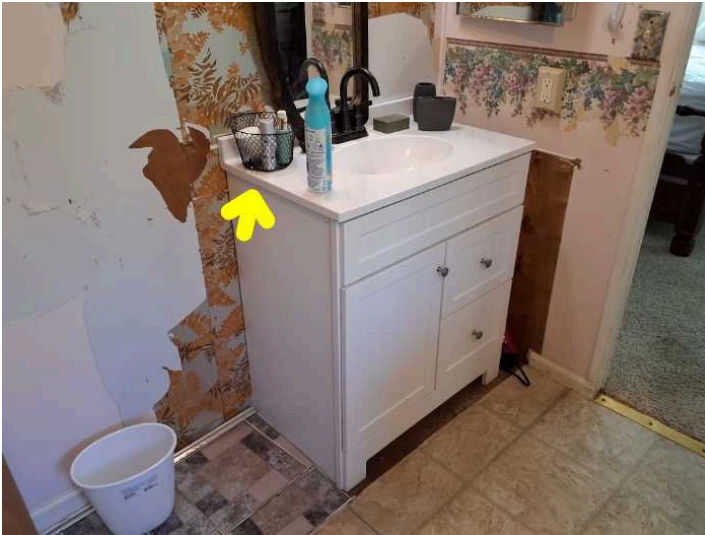
Bathrooms

1. Master Bathroom Observations

Observations:

- 1.1. The master bathroom is a full and is located adjacent to the master bedroom.
- 1.2. The cabinets have typical cosmetic damage, or that which is commensurate with age.
- 1.3. The sink is functional.
- 1.4. The mechanical sink stopper will need to be adjusted to engage.
- 1.5. The trap and drain are functional.
- 1.6. The outlets are functional and include ground-fault protection.
- 1.7. The lights are functional.
- 1.8. There is no exhaust fan and although there are operable windows, we recommend one be installed.
- 1.9. The toilet is functional.
- 1.10. The toilet is identified as a low flush type, and is rated at 1.28 GPF.
- 1.11. The tub is functional.
- 1.12. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.
- 1.13. It would be prudent to add door stops at the doors to protect the walls into which they open.
- 1.14. The floor is worn or cosmetically damaged, which you should view for yourself.
- 1.15. The sink countertop is not secure, and should be serviced.
- 1.16. The floor is out of level. We can elaborate, but this condition should be evaluated by a qualified tradesperson.

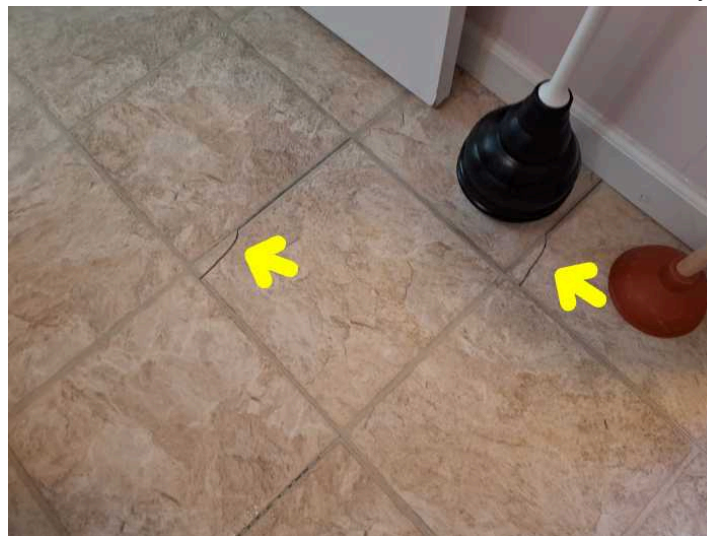
Bathrooms (continued)



The sink countertop is not secure, and should be serviced.



The floor is out of level. We can elaborate, but this condition should be evaluated by a qualified tradesperson.



The floor is worn or cosmetically damaged, which you should view for yourself.

Bathrooms (continued)

2. Hallway Bathroom

Observations:

- 2.1. The hallway bathroom is a three-quarter and is located adjacent to the hallway.
- 2.2. The cabinets are in acceptable condition.
- 2.3. The sink countertop is functional.
- 2.4. The sink is functional.
- 2.5. The sink faucet and its components are functional.
- 2.6. The trap and drain are functional.
- 2.7. The outlets are functional and include ground-fault protection.
- 2.8. The lights are functional.
- 2.9. The exhaust fan is functional but noisy. You may wish to consider upgrading it for a quieter one.
- 2.10. The toilet is functional.
- 2.11. The toilet is identified as a low-flush type, and is rated at 1.6 GPF.
- 2.12. The shower is functional and the showerhead is 1.75 gpm.
- 2.13. We do not pressure test shower pans. This can be performed by a licensed plumber or a leak detection company. Some termite/pest control operators will do this test on a single-story home, and you may wish to check with them for availability.
- 2.14. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.
- 2.15. There are stress fractures in the walls/ceiling that have resulted from movement. Such cracks can reappear if the movement is caused by expansive soils, and particularly if the cracks are not repaired correctly. However, only a geologist could predict the likelihood of further movement.
- 2.16. The floor is worn or cosmetically damaged, which you should view for yourself.

Bathrooms (continued)



There are stress fractures in the walls/ceiling that have resulted from movement. Such cracks can reappear if the movement is caused by expansive soils, and particularly if the cracks are not repaired correctly. However, only a geologist could predict the likelihood of further movement.



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Laundry

1. Laundry Room

Observations:

- 1.1. The laundry room is located adjacent to the main hallway.
- 1.2. Some of the components behind the washer/ dryer were obstructed from view and were not inspected.
- 1.3. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 1.4. The dryer vent appears to vent vertically. The lint trap must be kept clean because trapped lint can eventually turn into a fire hazard.
- 1.5. The gas line and its components were obstructed from view and were not inspected.
- 1.6. The outlets that were tested are functional.
- 1.7. A 220 volt receptacle for the dryer is not in use and was not tested.
- 1.8. A light is missing its globe or cover and should be serviced.
- 1.9. The exhaust fan has been removed or was never installed, which is recommended in laundry rooms.
- 1.10. The cabinets have typical, cosmetic damage, or that which is commensurate with their age.
- 1.11. It would be prudent to add door stops at the doors to protect the walls into which they open.
- 1.12. There has been a drywall/plaster repair that should be explained by the seller.

Heating & Air conditioning

1. Forced Air Furnace

Observations:

- 1.1. Central heat is provided by a forced-air furnace that is located in an exterior closet.
- 1.2. Serial Number A232018332 - Manufactured 2023
- 1.3. The furnace is functional. We recommend that the furnace be serviced before each heating season and you may want to ask the sellers when the furnace was last serviced.
- 1.4. The furnace is not original and you should obtain documentation of its replacement for your records, which would reveal its exact age and confirm that the installation was made by licensed specialists, and could include a transferable warranty.
- 1.5. The vent pipe is functional.
- 1.6. There are moisture stains on the ceiling at the vent pipe which should be explained or further explored. It could indicate the roof vent flashing is not properly sealed.
- 1.7. The gas valve and connector are in acceptable condition.
- 1.8. The combustion-air vents for the gas furnace are functional.
- 1.9. The return air filter is dirty and should be changed soon and every two or three months thereafter. If filters are not changed regularly, the ducts can become contaminated.
- 1.10. The circulating fan is clean and functional.
- 1.11. The thermostat is functional.
- 1.12. Significant portions of the supply ducts are concealed and cannot be viewed.
- 1.13. The flexible ducts in the crawlspace are in contact with the soil and should be a minimum of 4" off the ground. The plastic covering will deteriorate when in contact with the soil.
- 1.14. The registers are reasonably clean and functional.

Heating & Air conditioning (continued)



Central heat is provided by a forced-air furnace that is located in an exterior closet.



Serial Number A232018332 - Manufactured 2023



There are moisture stains on the ceiling at the vent pipe which should be explained or further explored. It could indicate the roof vent flashing is not properly sealed.



The flexible ducts in the crawlspace are in contact with the soil and should be a minimum of 4" off the ground. The plastic covering will deteriorate when in contact with the soil.

Heating & Air conditioning (continued)

2. Air Conditioning

Observations:

2.1. Central heat and air-conditioning are provided by a single split-system, consisting of a furnace with an evaporator coil that is located in an exterior closet and a condensing coil that is located on the exterior.

2.2. The electrical disconnect at the condensing coil is present and presumed to be functional.

2.3. The condensing coil responded to the thermostat and is functional.

2.4. The evaporator coil is functional.

2.5. The air conditioning responded and achieved an acceptable differential temperature split between the air entering the system and that coming out of 15-18 degrees or more.

2.6. Insulation is missing from the refrigerant lines at the evaporator coil, which will allow condensation to form and drip, and should be installed.



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