

Cornerstone Inspection

Property Inspection Report



630 E Cook St, Santa Maria, CA 93454

Inspection prepared for: Bill Ready and Debra Strawhun

Real Estate Agent: Shannon Bowdey - Keller Williams

Date of Inspection: 7/15/2026 Time: 1:00 PM

Age of Home: 1920 Size: 1654

Inspector: Greg Hines

Order ID: 13921

CREIA #166634

P.O. Box 1511, Pismo Beach, 93449

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 6 Item: 2	Environmental Comments	2.4. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.
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Exterior

Page 9 Item: 6	Electrical Components	6.4. A ground-fault protected outlet in the rear of the house does not trip on test, and should be serviced.
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Foundation Comments

Page 16 Item: 1	Crawlspace Observations	1.14. The foundation is raised and unbolted. We can elaborate on structural safety issues but you may want to consult a licensed specialist about retrofitting the foundation, which could affect your evaluation of the property. 1.15. A light in the crawlspace is damaged and should be serviced. 1.16. A drain and waste vent terminates in the crawlspace which should be evaluated and serviced by a licensed specialist.
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Plumbing Components

Page 20 Item: 1	Water Supply Comments	1.4. The pressure inside the residence is at or exceeds 80psi, which is too strong and will stress components of the system, and a regulator should be installed. Most regulators come factory pre-set at 60psi.
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Page 21 Item: 3	Irrigation and Hose Bibb Information	3.3. A hose bib at the rear leaks and should be serviced.
Page 23 Item: 4	Electric Water Heater	4.10. There is no service disconnect at the water heater, which is required by current standards, unless the water heater is within fifty-feet and within the line of sight of the electrical panel. We recommend a qualified licensed plumber or electrical Contractor install a service disconnect. 4.11. The discharge pipe is plumbed incorrectly to discharge into the sub area which is improper and should be plumbed to discharge at the exterior and terminate at a point no more than twenty-four inches above grade and no less than six inches to it.

Interior Space

Page 27 Item: 2	Living Room	2.5. One or more outlets has an open-ground, and should be evaluated and serviced by a licensed electrical contractor. 2.6. A window lock is missing or damaged and needs to be serviced to be functional. 2.7. A lock on the window is missing or does not engage and should be serviced. 2.8. There is no smoke detector and although one may not be mandated it is strongly recommended.
Page 27 Item: 3	Breakfast-Dining Area	3.3. A GFCI outlet does not trip on test which should be evaluated and serviced. 3.4. The carbon monoxide detector did not respond, and should be serviced.

Bedrooms

Page 28 Item: 1	Bedroom 1	1.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended. 1.5. The closet employs a light bulb that should have a cover. 1.6. One or more light switch covers are missing and should be installed.
Page 29 Item: 2	Bedroom 2	2.5. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

Kitchen

Page 30 Item: 4	Electrical Components	4.3. Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.
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Page 31 Item: 8	Gas Range & Cook Top	8.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.
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Bathrooms

Page 32 Item: 1	Jack and Jill Bathroom	1.16. There is mold or mildew within the ceiling area that should be evaluated and treated by the appropriate specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.
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Heating & Air conditioning

Page 34 Item: 1	Floor Furnace	1.5. The double-walled vent pipe should be one inch away from the floor framing, or it could create pyrophoric conditions and a fire-hazard, and should be serviced by an HVAC contractor. 1.6. The vent pipe is missing a termination cap which should be replaced. 1.7. The floor furnace is functional however you may wish to have it evaluated for efficiency and amount of heat.
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Attics

Page 36 Item: 1	Attic	1.15. One or more outlets is missing a cover which should be installed. 1.16. There is an open electrical junction box, which should be sealed so that any arcing or sparking would be contained within the box. 1.17. The exhaust duct is separated and should be extended to an exterior port. 1.18. The attic has missing insulation over the some areas, which should be installed to meet current standards.
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The buyer's agent was present during the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.5. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.6. We do not evaluate auxiliary structures, such as storage buildings or play structures as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.7. The home appears to have been recently painted. Because of this, stains, defects or other issues may be concealed from view. Please thoroughly review all disclosures; especially the seller's disclosure and question any issues that could be present but concealed.

1.8. We prefer to have our clients present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others

1.9. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately at (805) 619-5092 to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.10. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

Site and Other Comments (continued)

1.11. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

2. Environmental Comments

Observations:

2.1. Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants, but if this is a concern, you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.

2.2. We have noticed the presence of termite droppings in sttic and you may wish to have a pest control company evaluate.

2.3. It is recommended that smoke alarms older than 10 years old be replaced for safety reasons as the sensors may no longer be effective.

2.4. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. The landscaping includes pre-cast concrete accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked or balanced, components that can represent a safety hazard, particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage on this property is solely dependant on soil-percolation and hard surfaces. There are no roof gutters or area drains. Such conditions are not ideal, and water may pond at various points during prolonged rains. Therefore, you may wish to have a specialist evaluate. We did not see any evidence of moisture contaminating the living space.

2.3. There are areas at the residence where water will percolate and pond, which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, or area drains that direct water away from the residence.

2.4. The property does not have hard surfaces in some of the side yards to facilitate drainage. Water will percolate and pond adjacent to the residence which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, swales or area drains that direct water away from the residence.

2.5. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

Exterior (continued)

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with wooden siding.

3.2. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.

3.3. The siding needs typical maintenance such as sealing and painting.

3.4. There are areas where the wooden siding is close to or touching the ground and is subject to moisture damage. These areas should be monitored closely and sealed frequently to prevent moisture damage. Wooden siding should be a minimum of 4 inches from soil and 2 inches from hard surfaces.



Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.



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4. Hard Surfaces

Observations:

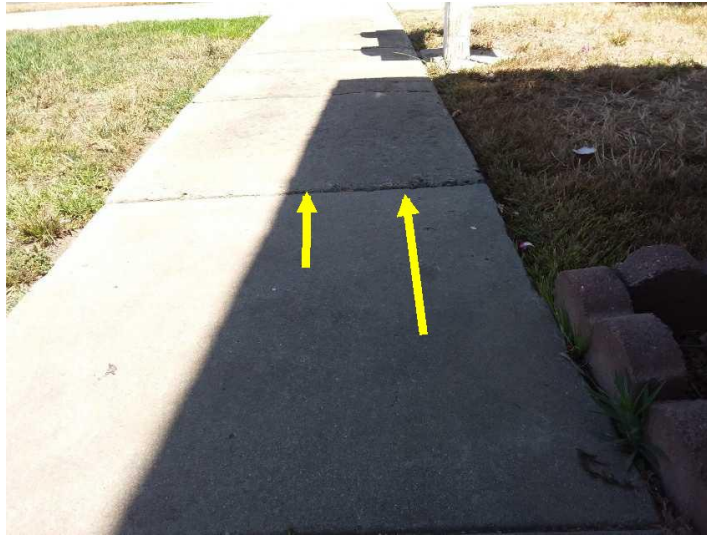
4.1. The walkways are in acceptable condition.

4.2. The patio surface is in acceptable condition.

4.3. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. The cracks could be caused by the lack of expansion joint, or a tree that is too close to the concrete decking.

4.4. There is one or more offsets in the walkways that could prove to be trip-hazards.

Exterior (continued)



There is one or more offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Facia and Eave

Observations:

5.1. The fascia board and trim has been recently painted, and are in acceptable condition.

6. Electrical Components

Observations:

6.1. We were not able to activate some of the exterior lights which may be operated on a timer, sensors, or a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

6.2. A light is missing its globe or cover and should be serviced.

6.3. The lights outside the doors of the residence are functional.

6.4. A ground-fault protected outlet in the rear of the house does not trip on test, and should be serviced.

Exterior (continued)



A light is missing its globe or cover and should be serviced.



A ground-fault protected outlet in the rear of the house does not trip on test, and should be serviced.

7. Windows

Observations:

7.1. In accordance with industry standards, we only test a representative sample of windows.

7.2. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

7.3. The windows have been replaced. You should request documentation from the sellers, which would confirm a professional installation, and could include a transferable warranty, etc.

8. Stairs and Handrails

Observations:

8.1. The wood stairs need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.

8.2. Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.

8.3. The openings in the stair risers are more than 4 inches apart and does not meet current standards. You may want this condition serviced to meet current standards.

8.4. Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.

Exterior (continued)



Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.



Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.



Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.



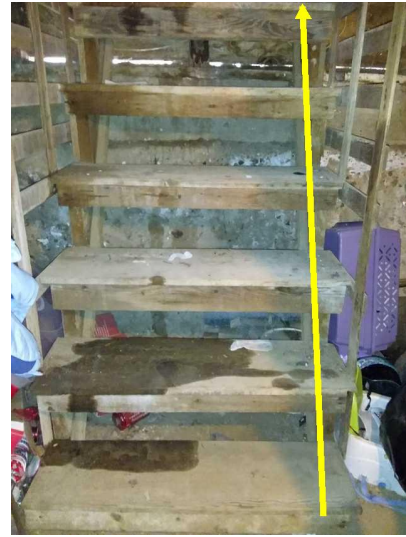
The wood stairs need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.

Exterior (continued)

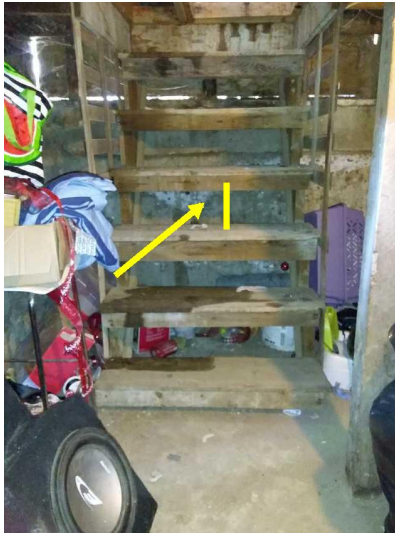


Some of the steps have unequal treads or risers.

Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.



Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.



The openings in the stair risers are more than 4 inches apart and does not meet current standards. You may want this condition serviced to meet current standards.

Exterior (continued)

9. Fences and Gates

Observations:

9.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

9.2. The fences and gates have damage that is commensurate with their age such as loose or missing boards, weathered boards, and or posts which could be repaired but is not essential.

9.3. Removing the soil from the bottom of the fences will extend their life.

9.4. It should be disclosed who is responsible for the fences that are located at this property.

10. Landscaping

Observations:

10.1. There are trees on this property that we do not have the expertise to evaluate, but which you may wish to have them examined by an arborist.

10.2. There are tree limbs over growing the residence that should be trimmed or monitored to insure that they do not impact or damage the roof or its components.

10.3. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.



There are tree limbs over growing the residence that should be trimmed or monitored to insure that they do not impact or damage the roof or its components.

Exterior (continued)

11. Patio Covers and Arbors

Observations:

11.1. The patio cover or arbor needs maintenance type service such as sealing and painting.

12. Guardrails

Observations:

12.1. The balcony/deck guardrail does not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30" or more above grade.

12.2. If small children occupy or visit this residence, suitable precautions should be taken to safeguard them.

12.3. Sections of the guardrail need maintenance type service such as sealing, staining and or painting.

12.4. There is damage to the wood guardrail that should be evaluated by the termite inspector.

12.5. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk off's less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.



The balcony/deck guardrail does not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30" or more above grade.

There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk off's less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than $\frac{1}{4}$ " and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

1.3. The crawlspace can be accessed within the laundry room.

1.4. The crawlspace soil is accessible and in acceptable condition.

1.5. Moisture has entered the crawlspace, as is evident by salt crystal formations around the base of the stem walls. However, this is a common phenomenon that does not necessarily indicate a chronic or serious problem. The soils are currently dry, but it would be prudent to monitor this area.

1.6. There is evidence that vegetation has migrated under or through the stem walls of the raised foundation and stood in the crawlspace. We recommend having this condition evaluated and serviced by a licensed specialist.

1.7. There are stains or moisture damage to the sub-floor beneath the residence. The termite inspector is responsible for pressure testing shower pans, and will evaluate and comment on the condition of the shower pan and any resulting damage to the intermediate floor framing.

1.8. There are storage items in the crawlspace, which obscure some areas or components of the foundation.

1.9. Concrete is sloughing off the foundation walls due to its age which should be evaluated by a foundation contractor.

1.10. The intermediate floor framing is in acceptable condition. There may be some deviations from plumb, level, etc, but none that would have any serious structural significance.

Foundation Comments (continued)

1.11. The crawlspace ventilation is limited and could be improved. This does not appear to have had any adverse affects on the framing, which should be confirmed by the termite report, but the area should be monitored to ensure that no condensation forms, However, if you do notice a musty odor, or if the finish floors appear to ripple, crack, or otherwise move, the foundation may have to be mechanically ventilated.

1.12. There is no floor insulation which would not have been required when this residence was constructed.

1.13. The rodent barrier or sub floor has voids or openings that should be sealed. This could also imply that there has been some leaks or plumbing repairs done in the past. You may want to ask the seller regarding this issue.

1.14. The foundation is raised and unbolted. We can elaborate on structural safety issues but you may want to consult a licensed specialist about retrofitting the foundation, which could affect you evaluation of the property.

1.15. A light in the crawlspace is damaged and should be serviced.

1.16. A drain and waste vent terminates in the crawlspace which should be evaluated and serviced by a licensed specialist.



There is evidence that vegetation has migrated under or through the stem walls of the raised foundation and stood in the crawlspace. We recommend having this condition evaluated and serviced by a licensed specialist.



A light in the crawlspace is damaged and should be serviced.

Foundation Comments (continued)



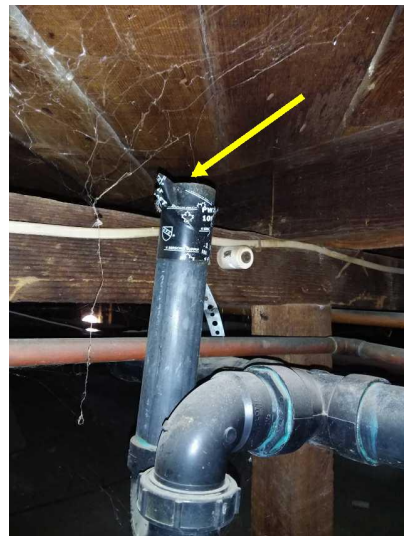
There are stains or moisture damage to the sub-floor beneath the residence. The termite inspector is responsible for pressure testing shower pans, and will evaluate and comment on the condition of the shower pan and any resulting damage to the intermediate floor framing.



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A drain and waste vent terminates in the crawlspace which should be evaluated and serviced by a licensed specialist.

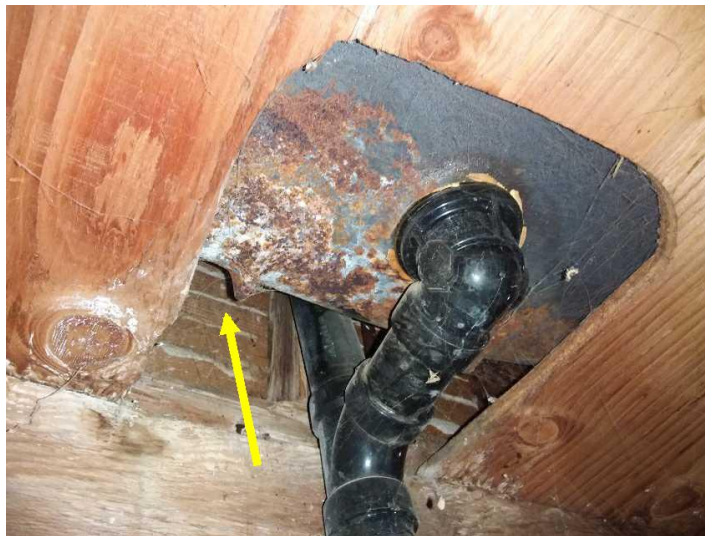
Foundation Comments (continued)



Moisture has entered the crawlspace, as is evident by salt crystal formations around the base of the stem walls. However, this is a common phenomenon that does not necessarily indicate a chronic or serious problem. The soils are currently dry, but it would be prudent to monitor this area.



There are stains or moisture damage to the sub-floor beneath the residence. The termite inspector is responsible for pressure testing shower pans, and will evaluate and comment on the condition of the shower pan and any resulting damage to the intermediate floor framing.



The rodent barrier or sub floor has voids or openings that should be sealed. This could also imply that there has been some leaks or plumbing repairs done in the past. You may want to ask the seller regarding this issue.

Roofing

1. Roof Gutters

Observations:

1.1. There are no gutters on the home which are recommended for the maintenance of the foundation and for good grading and drainage.

Roofing (continued)

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.4. The shingles are losing granules but would not need to be replaced at this time.

2.5. The roof flashings are in acceptable condition.



The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

Plumbing Components

1. Water Supply Comments

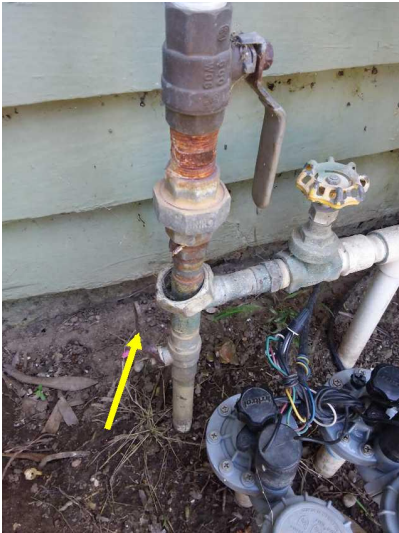
Observations:

1.1. The main water shut-off valve is located at the front of the house.

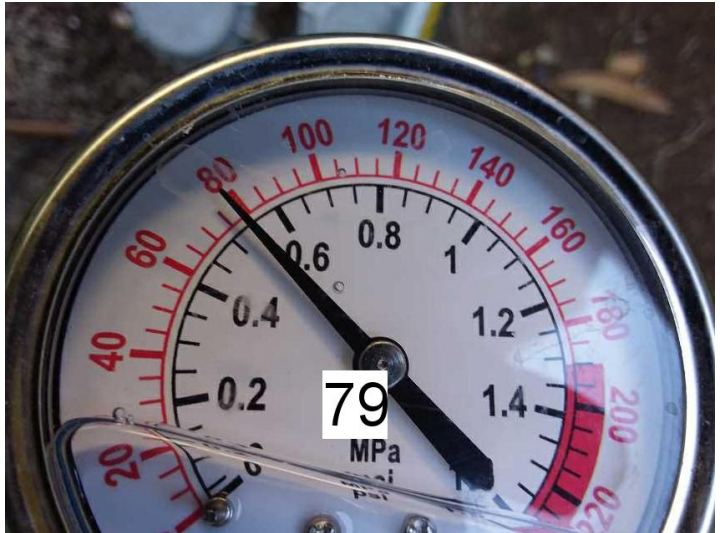
1.2. The visible copper water pipes are in acceptable condition and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls and we can only view the pipes as they exit walls.

1.3. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are inside walls which we can only view the pipes as they exit walls.

1.4. The pressure inside the residence is at or exceeds 80psi, which is too strong and will stress components of the system, and a regulator should be installed. Most regulators come factory pre-set at 60psi.



The main water shut-off valve is located at the front of the house.



The pressure inside the residence is at or exceeds 80psi, which is too strong and will stress components of the system, and a regulator should be installed. Most regulators come factory pre-set at 60psi.

Plumbing Components (continued)

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. The gas main shut-off is located on left side of the home at 630 unit B.

2.3. The visible portions of the gas pipes appear to be in acceptable condition.

2.4. We recommend that a wrench, designed to fit the gas shut off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.

2.5. We were unable to determine which shut-off valve is for your unit. It should be identified and disclosed to you, in case there's need for an emergency shut-off of the gas.



The gas main shut-off is located on left side of the home at 630 unit B.

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems beyond the sprinkler valves, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

3.3. A hose bib at the rear leaks and should be serviced.

Plumbing Components (continued)



A hose bib at the rear leaks and should be serviced.

Plumbing Components (continued)

4. Electric Water Heater

Observations:

4.1. There are a wide variety of residential electric water heaters that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from 5 to 8 years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water-softening systems. The water temperature should be set at a minimum of 110 degrees fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with a pressure/temperature relief valve and discharge pipe plumbed to the exterior.

4.2. Hot water is provided by a 40 gallon electric water heater that is located in the crawlspace.

4.3. The water heater is functional and was not leaking at the time of our inspection.

4.4. The water heater is about years old.

4.5. The electrical connection to the water heater is functional.

4.6. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.

4.7. The drain valve is in place and presumed to be functional.

4.8. The water heater is equipped with a drip pan and a drainpipe, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak.

4.9. The water heater is seismically secured.

4.10. There is no service disconnect at the water heater, which is required by current standards, unless the water heater is within fifty-feet and within the line of sight of the electrical panel. We recommend a qualified licensed plumber or electrical Contractor install a service disconnect.

4.11. The discharge pipe is plumbed incorrectly to discharge into the sub area which is improper and should be plumbed to discharge at the exterior and terminate at a point no more than twenty-four inches above grade and no less than six inches to it.

Plumbing Components (continued)

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

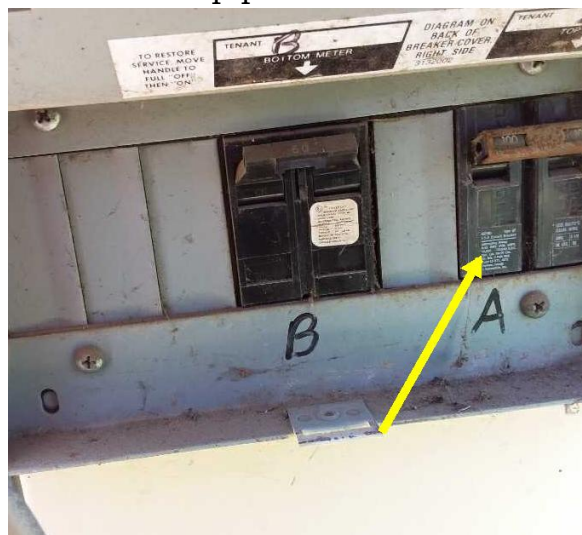
5.4. Given the age of this residence, it is likely that the main drainpipe is made of clay. Such drainpipes were widely used until the late 1940's thru the early 1960's. However, they are susceptible to root damage and displacement. They are no longer manufactured for sewer laterals. Therefore, it would be prudent to ask the sellers if they have ever had blockages in the main drainpipe or to have it video-scanned.

Electrical Service Panels

1. Main Electrical Panel

Observations:

- 1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.
- 1.2. The residence is served by a 100 amp main electrical panel, located at the front of the home at 630 unit B.
- 1.3. The exterior cover for the main electrical panel is in acceptable condition.
- 1.4. The interior cover for the main electrical panel is in acceptable condition.
- 1.5. The main panel and its components have no visible deficiencies.
- 1.6. The service entrance mast weather head and cleat are in acceptable condition.
- 1.7. The wiring in the main electrical panel has no visible deficiencies.
- 1.8. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.
- 1.9. There are no visible deficiencies with the circuit breakers in the main electrical panel.
- 1.10. The panel is grounded to a water pipe.



The residence is served by a 100 amp main electrical panel, located at the front of the home at 630 unit B.

Electrical Service Panels (continued)

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located at the rear exterior of the home.

2.3. The electrical sub panel has no visible deficiencies.

2.4. The exterior cover for the electrical sub panel is in acceptable condition.

2.5. The interior cover for the electrical sub panel is in acceptable condition.

2.6. There are no visible deficiencies with the electrical wiring in the sub panel.

2.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

2.8. The circuit breakers have no visible deficiencies.

2.9. The grounding system in the sub panel is correct.

Interior Space

1. Main Entry

Observations:

1.1. The front door is functional.

1.2. It would be prudent to add a door stop at the door to protect the wall that it opens into.

1.3. There is no doorbell and you may wish to have one installed.

1.4. The lights are functional.

Interior Space (continued)

2. Living Room

Observations:

- 2.1. The living room is located adjacent to the main entry.
- 2.2. The lights are functional.
- 2.3. Walls/ceilings have cosmetic damage that you should view for yourself.
- 2.4. There has been a drywall/plaster repair that should be explained by the seller.
- 2.5. One or more outlets has an open-ground, and should be evaluated and serviced by a licensed electrical contractor.
- 2.6. A window lock is missing or damaged and needs to be serviced to be functional.
- 2.7. A lock on the window is missing or does not engage and should be serviced.
- 2.8. There is no smoke detector and although one may not be mandated it is strongly recommended.



A window lock is missing or damaged and needs to be serviced to be functional.

3. Breakfast-Dining Area

Observations:

- 3.1. The breakfast/dining area is located adjacent to the kitchen.
- 3.2. The smoke detector responded to the test button, but should be checked periodically.
- 3.3. A GFCI outlet does not trip on test which should be evaluated and serviced.
- 3.4. The carbon monoxide detector did not respond, and should be serviced.

Interior Space (continued)



A GFCI outlet does not trip on test which should be evaluated and serviced.

Bedrooms

1. Bedroom 1

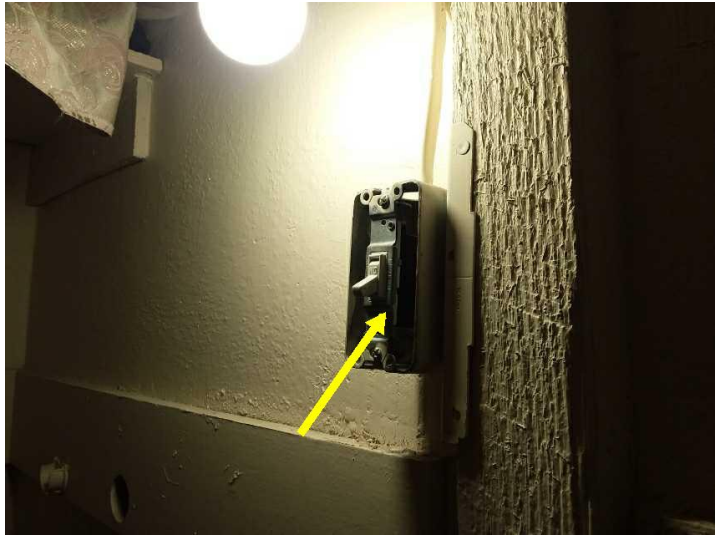
Observations:

- 1.1. This bedroom is located adjacent to the living room.
- 1.2. The door knob and or hardware needs to be serviced to work smoothly.
- 1.3. Walls/ceilings have cosmetic damage that you should view for yourself.
- 1.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.
- 1.5. The closet employs a light bulb that should have a cover.
- 1.6. One or more light switch covers are missing and should be installed.

Bedrooms (continued)



The closet employs a light bulb that should have a cover.



One or more light switch covers are missing and should be installed.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located adjacent to the laundry room.
- 2.2. It would be prudent to add door stops at the doors to protect the walls that they open into.
- 2.3. The door striker plate needs to be adjusted for the striker pin to engage.
- 2.4. Walls/ceilings have cosmetic damage that you should view for yourself.
- 2.5. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

1.2. A functional smoke detector is present within or close to the kitchen. Smoke detectors are not required in kitchens and they are not recommended due to nuisance activation.

Kitchen (continued)

2. Cabinets

Observations:

- 2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.
- 2.2. The floor of the kitchen sink cabinet is functional, but moisture damaged.

3. Countertop

Observations:

- 3.1. The counter top is functional.

4. Electrical Components

Observations:

- 4.1. The lights are functional.
- 4.2. A ceiling light panel is missing or broken and you may wish to have it replaced.
- 4.3. Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.



Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards. A ceiling light panel is missing or broken and you may wish to have it replaced.

5. Sink and Faucet

Observations:

- 5.1. The sink is functional.
- 5.2. The sink faucet is functional.
- 5.3. The valves and connector below the sink are functional.
- 5.4. The trap and drain are functional.

Kitchen (continued)

6. Garbage Disposal Comments

Observations:

6.1. The garbage disposal is functional.

7. Exhaust Fan

Observations:

7.1. The exhaust fan is functional and a type that vents internally.

7.2. The exhaust fan is functional, but it needs to be cleaned or degreased.

8. Gas Range & Cook Top

Observations:

8.1. The gas range is functional, but was neither calibrated nor tested for its performance.

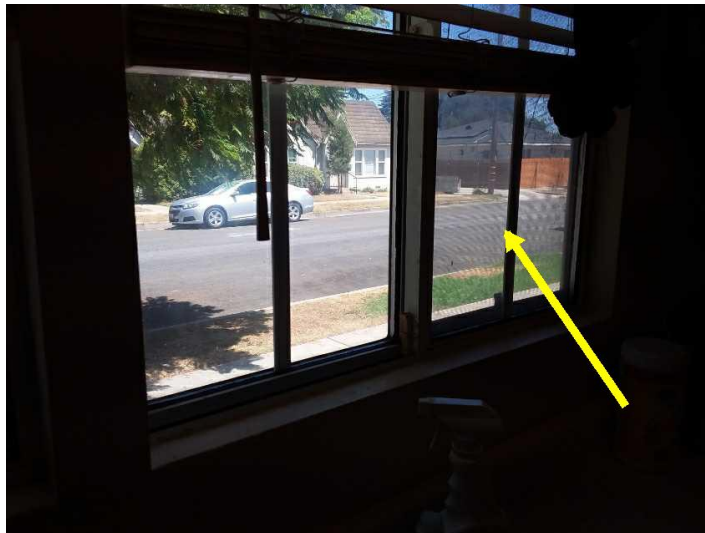
8.2. The gas cook top is functional.

8.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

9. Walls/Ceilings/Windows & Doors

Observations:

9.1. A window lock is missing or damaged and needs to be serviced to be functional however a secondary lock is installed.



A window lock is missing or damaged and needs to be serviced to be functional however a secondary lock is installed.

Bathrooms

1. Jack and Jill Bathroom

Observations:

- 1.1. This bathroom is a full and is located adjacent to the bedroom 1 and 2.
- 1.2. The cabinets are in acceptable condition.
- 1.3. The sink countertop is functional.
- 1.4. The sink is functional.
- 1.5. A mechanical sink stopper is incomplete and should be serviced.
- 1.6. The trap and drain are functional.
- 1.7. The outlets are functional and include ground-fault protection.
- 1.8. The lights are functional.
- 1.9. The exhaust fan is functional.
- 1.10. The toilet is functional.
- 1.11. The toilet is identified as being a low-flush type. 1.28gpf
- 1.12. The tub-shower is functional.
- 1.13. The tub is functional.
- 1.14. The door handles do not include a privacy lock, which you may wish to have installed.
- 1.15. The lock has been installed higher than 48 inches which could impede the exit of a child or short person.
- 1.16. There is mold or mildew within the ceiling area that should be evaluated and treated by the appropriate specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.

Bathrooms (continued)



There is mold or mildew within the ceiling area that should be evaluated and treated by the appropriate specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.



The lock has been installed higher than 48 inches which could impede the exit of a child or short person.

Laundry

1. Laundry Room

Observations:

- 1.1. The laundry room is located adjacent to the kitchen.
- 1.2. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 1.3. A dryer vent is provided and appears serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.
- 1.4. The gas line for the dryer is capped and would require a standard three-quarter inch shut-off valve
- 1.5. The outlets that were tested are functional.
- 1.6. The 220 volt receptacle is functional but is 3 prong. New electric dryers have a 4 prong appliance cord and may need to upgrade or adapt to this connection.
- 1.7. The lights are functional.

Heating & Air conditioning

1. Floor Furnace

Observations:

1.1. The floor furnace is a vintage heating system and probably the original furnace to the home. Given its age we recommend that a licensed HVAC contractor familiar with these units evaluate the floor furnace system.

1.2. The gas valve and connector are in acceptable condition.

1.3. The furnace vents through a transite pipe. This could become problematic inasmuch as exhaust gases cause corrosive condensation to form within the pipe, which then drip and corrode the metal vent pipe. Regardless, with the advent of high efficiency furnaces around 1992, vent pipes have been required to be a double-walled metal type, which you may wish to have installed, or you should seek a second opinion from an HVAC contractor.

1.4. The thermostat is functional.

1.5. The double-walled vent pipe should be one inch away from the floor framing, or it could create pyrophoric conditions and a fire-hazard, and should be serviced by an HVAC contractor.

1.6. The vent pipe is missing a termination cap which should be replaced.

1.7. The floor furnace is functional however you may wish to have it evaluated for efficiency and amount of heat.



The double-walled vent pipe should be one inch away from the floor framing, or it could create pyrophoric conditions and a fire-hazard, and should be serviced by an HVAC contractor.



The furnace vents through a transite pipe. This could become problematic inasmuch as exhaust gases cause corrosive condensation to form within the pipe, which then drip and corrode the metal vent pipe. Regardless, with the advent of high efficiency furnaces around 1992, vent pipes have been required to be a double-walled metal type, which you may wish to have installed, or you should seek a second opinion from an HVAC contractor.

Attics

1. Attic

Observations:

1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1.2. The attic can be accessed through a hatch located in the laundry room/area ceiling.

1.3. We evaluated the attic by direct access.

1.4. There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.

1.5. There are water stains on the ceiling that implies that a leak has occurred. Since it was not raining during our inspection, we were unable to determine if the leak is currently leaking, or, it is an old leak that has been repaired. You should ask the sellers for information regarding this issue.

1.6. The visible portions of the conventionally stacked roof framing are in acceptable condition, and would conform to the standards of the year in which they were installed.

1.7. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.

1.8. The heat vents appear to be functional.

1.9. The vents include a clay-based type, known as a transite pipe that contains asbestos fibers, but which are encapsulated and thereby do not pose any viable health threat.

1.10. The visible portions of the water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.

1.11. The drainpipe vents that are fully visible are in acceptable condition.

1.12. The attic is adequately insulated, but not necessarily to a maximum standard. The amount of insulation can range from three to eighteen inches, depending upon the climate, the region, and the year in which the residence was constructed.

1.13. The attic floor is insulated with approximately three-inches or more of fiberglass, batt insulation. Current standards call for nine and even twelve-inches, and you may wish to consider adding more.

Attics (continued)

1.14. Some paper-faced, batt, insulation in the attic has been installed upside down. This is of no serious consequence, but the paper-face is intended to be installed toward the heated area or inside of the residence.

1.15. One or more outlets is missing a cover which should be installed.

1.16. There is an open electrical junction box, which should be sealed so that any arcing or sparking would be contained within the box.

1.17. The exhaust duct is separated and should be extended to an exterior port.

1.18. The attic has missing insulation over the some areas, which should be installed to meet current standards.



Some paper-faced, batt, insulation in the attic has been installed upside down. This is of no serious consequence, but the paper-face is intended to be installed toward the heated area or inside of the residence.



One or more outlets is missing a cover which should be installed.

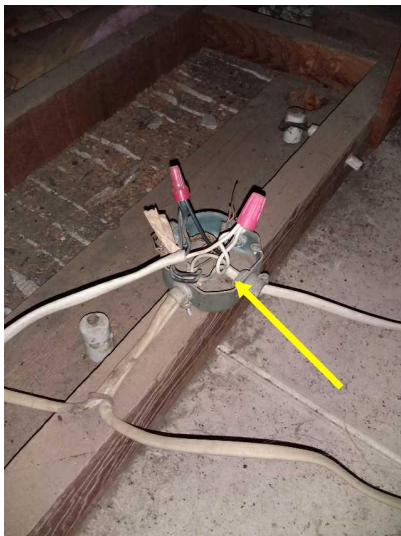
Attics (continued)



There are water stains on the ceiling that implies that a leak has occurred. Since it was not raining during our inspection, we were unable to determine if the leak is currently leaking, or, it is an old leak that has been repaired. You should ask the sellers for information regarding this issue.



There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.



There is an open electrical junction box, which should be sealed so that any arcing or sparking would be contained within the box.



The attic has missing insulation over the some areas, which should be installed to meet current standards.

Attics (continued)



The vents include a clay-based type, known as a transite pipe that contains asbestos fibers, but which are encapsulated and thereby do not pose any viable health threat.



The exhaust duct is separated and should be extended to an exterior port.

Cornerstone Inspection

Property Inspection Report



630 E Cook St unit B, Santa Maria, CA 93454

Inspection prepared for: Bill Ready and Debra Strawhun

Real Estate Agent: Shannon Bowdey - Keller Williams

Date of Inspection: 7/15/2026 Time: 1:00 PM

Age of Home: 1987 Size: 1654

Inspector: Greg Hines

Order ID: 13921

CREIA #166634

P.O. Box 1511, Pismo Beach, 93449

Email: greg@cornerstonecentralcoast.com



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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 5 Item: 2	Environmental Comments	2.2. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance. 2.3. Current standards require at least one smoke alarm be installed at every level of a home. There is not a smoke alarm installed on one or more of the levels which should be serviced.
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Exterior

Page 11 Item: 12	Decks	12.2. The ledger board that supports the stair deck has been improperly attached and should be lag-bolted, structurally screwed or attached per current standards.
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Plumbing Components

Page 19 Item: 4	Gas Water Heater Comments	4.11. The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away. 4.12. The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.
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Interior Space

Page 24 Item: 4	Main Hallway	4.4. The smoke detector did not respond, and should be serviced.
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Bedrooms

Page 25 Item: 1	Bedroom 1	1.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.
Page 25 Item: 2	Bedroom 2	2.3. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

Kitchen

Page 26 Item: 4	Electrical Components	4.2. Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.
Page 28 Item: 9	Gas Range & Cook Top	9.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Laundry

Page 31 Item: 1	Laundry Area	1.13. There is a mold-like substance that we will point out, which should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat.
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Heating & Air conditioning

Page 33 Item: 1	Forced Air Furnace	1.11. The furnace is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by an HVAC contractor prior to the close of the inspection period. 1.12. The furnace does not respond properly and should be evaluated and serviced by a licensed HVAC contractor. The pilot kit right away but the burner took a long time.
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Garages

Page 38 Item: 1	Three Car Garage	1.19. The voids in the ceiling firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence. 1.20. One or more outlet covers is missing and should be installed.
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The buyer's agent was present during the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.5. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.6. We do not inspect window coverings as a part of our service, however there are blinds present with pull cords that have been found to be a choke hazard, especially if small children occupy the home. These cords should be secured within the windowsill area at a point where they can only be reached by on adult.

1.7. We prefer to have our clients present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others

1.8. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately at (805) 619-5092 to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.9. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

Site and Other Comments (continued)

2. Environmental Comments

Observations:

2.1. It is recommended that smoke alarms older than 10 years old be replaced for safety reasons as the sensors may no longer be effective.

2.2. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.

2.3. Current standards require at least one smoke alarm be installed at every level of a home. There is not a smoke alarm installed on one or more of the levels which should be serviced.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. The landscaping includes pre-cast concrete accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked or balanced, components that can represent a safety hazard, particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation hard surfaces and full or partial gutters, which is not ideal. We did not see any evidence of moisture threatening the living space.

2.3. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with stucco siding.

3.2. The house wall finish is in acceptable condition.

3.3. The siding needs typical maintenance such as sealing and painting.

3.4. There are typical cracks in the stucco, which you should view for yourself. Most cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. You may wish to have this confirmed by a specialist.

Exterior (continued)



The siding needs typical maintenance such as sealing and painting.

4. Hard Surfaces

Observations:

- 4.1. The driveway is in acceptable condition.
- 4.2. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.3. There is one or more offsets in the driveway that could prove to be trip-hazards.
- 4.4. The driveway is shared or part of an easement. Refer to disclosures on responsibilities of maintenance cost.
- 4.5. The walkways are in acceptable condition.
- 4.6. The patio surface is in acceptable condition.
- 4.7. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. The cracks could be caused by the lack of expansion joint, or a tree that is too close to the concrete decking.
- 4.8. There is one or more offsets in the walkways that could prove to be trip-hazards.

Exterior (continued)



There is one or more offsets in the driveway that could prove to be trip-hazards.



There is one or more offsets in the walkways that could prove to be trip-hazards.



There is one or more offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Facia and Eave

Observations:

5.1. Sections of the fascia, trim and eave need maintenance type service such as sealing and painting.

5.2. There is damage to the wood trim that should be evaluated by a termite inspector.

Exterior (continued)



There is damage to the wood trim that should be evaluated by a termite inspector.

6. Electrical Components

Observations:

6.1. The exterior outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the garage.

6.2. We were not able to activate some of the exterior lights which may be operated on a timer, sensors, or a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

7. Sliding Glass Doors and Screens

Observations:

7.1. The sliding glass door is tempered and in acceptable condition.

7.2. The sliding glass door or doors are mounted on the outside, which is not as secure as being mounted on the inside.

Exterior (continued)



The sliding glass door or doors are mounted on the outside, which is not as secure as being mounted on the inside.

8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

8.3. Most of the windows appear to be the same age as the home and will not necessarily function or operate as smoothly as modern windows. However we do test every unrestricted window in every bedroom to ensure that they facilitate an emergency exit.

9. Stairs and Handrails

Observations:

9.1. The wood stairs need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.

9.2. There is damage to the wood stairs that should be evaluated by the termite inspector.

Exterior (continued)



There is damage to the wood stairs that should be evaluated by the termite inspector.

10. Fences and Gates

Observations:

10.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

10.2. The fences and gates have damage that is commensurate with their age such as loose or missing boards, weathered boards, and or posts which could be repaired but is not essential.

11. Yard and Retaining Walls

Observations:

11.1. The yard walls may have some cosmetic damage but are functional.

11.2. It should be disclosed who is responsible for the fences and yard walls that are located at this property.

12. Decks

Observations:

12.1. The deck needs maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the deck.

12.2. The ledger board that supports the stair deck has been improperly attached and should be lag-bolted, structurally screwed or attached per current standards.

Exterior (continued)



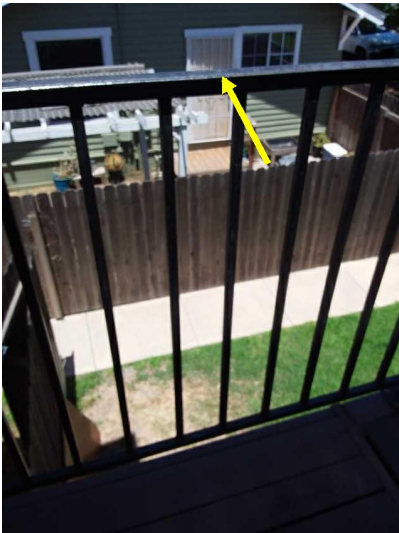
The ledger board that supports the stair deck has been improperly attached and should be lag-bolted, structurally screwed or attached per current standards.

13. Guardrails

Observations:

13.1. The guardrail, or guardrails, is an adequate height and in acceptable condition. However, standards for guardrails are not uniform. Nonetheless, common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade.

13.2. The balusters in the guardrail are more than 4" apart and are not child safe. Therefore, you may wish to add a protective barrier.



The guardrail, or guardrails, is an adequate height and in acceptable condition. However, standards for guardrails are not uniform. Nonetheless, common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade.



The balusters in the guardrail are more than 4" apart and are not child safe. Therefore, you may wish to add a protective barrier.

Exterior (continued)



The guardrail, or guardrails, is an adequate height and in acceptable condition. However, standards for guardrails are not uniform. Nonetheless, common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade.

Foundation Comments

1. Slab Foundation

Observations:

1.1. This residence has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or even a slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert, and we would be happy to refer one.

1.2. We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

1.3. The slab is typical with no visible structural abnormalities.

1.4. Given the homes age, the slab is presumed to be bolted foundation with no visible or significant abnormalities.

Roofing

1. Roof Gutters

Observations:

1.1. The roof gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they should function as they were intended.

1.2. Some of the gutters need to be cleaned to drain properly.

1.3. It would be prudent to have splash blocks installed at the bottom of the downspouts, to divert water away from the house and its foundation.

Roofing (continued)



Some of the gutters need to be cleaned to drain properly.



Some of the gutters need to be cleaned to drain properly.

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

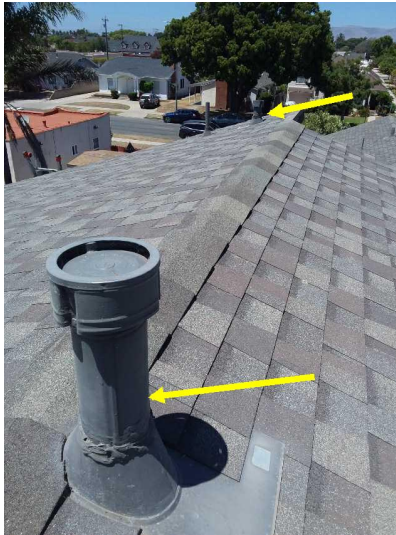
2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.4. The shingles are losing granules but would not need to be replaced at this time.

2.5. A rain collar is missing on a heat vent and should be installed.

Roofing (continued)



A rain collar is missing on a heat vent and should be installed.

Plumbing Components

1. Water Supply Comments

Observations:

- 1.1. The main water shut-off valve is located at the right side of the house.
- 1.2. A functional pressure regulator is in place on the plumbing system.
- 1.3. The pressure at the street is approaching 80PSI which is too strong and should be monitored closely to prevent water pressure above 80PSI. We recommend that a pressure regulator be adjusted to protect against spikes in the water pressure.
- 1.4. The visible copper water pipes are in acceptable condition and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls and we can only view the pipes as they exit walls.
- 1.5. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are inside walls which we can only view the pipes as they exit walls.

Plumbing Components (continued)



The main water shut-off valve is located at the right side of the house.



A functional pressure regulator is in place on the plumbing system.

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. The gas main shut-off is located on left side of the home, unit or building.

2.3. We were unable to determine which shut-off valve is for your unit. It should be identified and disclosed to you, in case there's need for an emergency shut-off of the gas.

2.4. The visible portions of the gas pipes appear to be in acceptable condition.

2.5. We recommend that a wrench, designed to fit the gas shut off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.

Plumbing Components (continued)



The gas main shut-off is located on left side of the home, unit or building.

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems beyond the sprinkler valves, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

Plumbing Components (continued)

4. Gas Water Heater Comments

Observations:

4.1. We were unable to verify the capacity of the water heater due to the seismic straps or the insulated blanket.

4.2. The water heater is functional and there were no leaks at the time of our inspection.

4.3. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.

4.4. The gas control valve and its connector at the water heater is presumed to be functional.

4.5. The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.

4.6. The water heater is equipped with a mandated pressure & temperature relief valve.

4.7. The drain valve of the gas water heater is in place and presumed to be functional.

4.8. The water heater is equipped with a drip pan, which is designed to minimize water damage from a leak, but does not have a visible drainpipe to the exterior. Therefore, the water heater should be monitored periodically for sign of a leak.

4.9. The water heater appears to have adequate combustion-air.

4.10. The floor of the water heater closet is damaged but serviceable.

4.11. The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.

4.12. The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.

Plumbing Components (continued)



The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.



The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.



The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.

Plumbing Components (continued)

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 60 amp main electrical panel, located at the front of the home or unit.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. The main panel and its components have no visible deficiencies.

1.6. The main electrical panel is small by current standards, and you may wish to have it evaluated by an electrician with a view to upgrading the service.

1.7. The service entrance mast weather head and cleat are in acceptable condition.

1.8. The wiring in the main electrical panel has no visible deficiencies.

1.9. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.10. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.11. The panel is grounded to a water pipe.



The residence is served by a 60 amp main electrical panel, located at the front of the home or unit.

Electrical Service Panels (continued)

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located within the hallway.

2.3. The electrical sub panel has no visible deficiencies.

2.4. The exterior cover for the electrical sub panel is in acceptable condition.

2.5. The interior cover for the electrical sub panel is in acceptable condition.

2.6. There are no visible deficiencies with the electrical wiring in the sub panel.

2.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

2.8. The circuit breakers have no visible deficiencies.

2.9. The grounding system in the sub panel is correct.

Interior Space

1. Main Entry

Observations:

1.1. The front door is functional.

1.2. The lights are functional.

1.3. Walls/ceilings have cosmetic damage that you should view for yourself.

1.4. The walls have stress fractures which may have resulted from movement. I can elaborate on this issue, but you should have a specialist comment, and be aware that such cracks can reappear, and typically if they are not repaired correctly.

2. Living Room

Observations:

2.1. The living room is located adjacent to the main entry.

2.2. The lights are functional.

2.3. A lock on the window is missing or does not engage and should be serviced.

Interior Space (continued)



A lock on the window is missing or does not engage and should be serviced.

3. Breakfast-Dining Area

Observations:

- 3.1. The breakfast/dining area is located adjacent to the kitchen.
- 3.2. We have evaluated the breakfast-dining room, and found it to be in acceptable condition.
- 3.3. The lights are functional.
- 3.4. There are audible sub-floor squeaks at various points in this area. They result when the sub-floor separates slightly from the floor joists or sub-floor and then rubs up and down on the fasteners that hold it in place.

4. Main Hallway

Observations:

- 4.1. This hallway leads to the bedrooms.
- 4.2. The lights are functional.
- 4.3. The floor is out of level. We can elaborate, but this condition should be evaluated by a structural engineer or a foundation contractor.
- 4.4. The smoke detector did not respond, and should be serviced.

Bedrooms

1. Bedroom 1

Observations:

- 1.1. This bedroom is located at the end of the hall to the right.
- 1.2. The door striker plate needs to be adjusted for the striker pin to engage.
- 1.3. The door guides for the bypass closet doors are missing. The door can become scratched and damaged without the guides.
- 1.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.



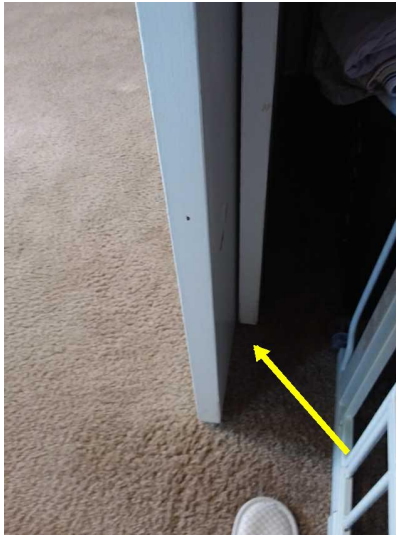
The door guides for the bypass closet doors are missing. The door can become scratched and damaged without the guides.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the end of the hall to the left.
- 2.2. The door guides for the bypass closet doors are missing. The door can become scratched and damaged without the guides.
- 2.3. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

Bedrooms (continued)



The door guides for the bypass closet doors are missing. The door can become scratched and damaged without the guides.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.

Kitchen (continued)



Some of the outlets at the kitchen counter top are not GFCI protected as required by today standards.

5. Microwave Oven

Observations:

5.1. The built-in microwave is functional but we did not test it for leakage, which would require a specialized instrument.

6. Sink and Faucet

Observations:

6.1. The sink is functional.

6.2. The sink faucet is functional.

6.3. The valves and connector below the sink are functional.

6.4. The trap and drain are functional.

7. Garbage Disposal Comments

Observations:

7.1. The garbage disposal is functional.

8. Exhaust Fan

Observations:

8.1. The exhaust fan or downdraft is functional.

Kitchen (continued)

9. Gas Range & Cook Top

Observations:

9.1. The gas range is functional, but was neither calibrated nor tested for its performance.

9.2. The gas cook top is functional.

9.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

10. Flooring

Observations:

10.1. There are audible sub-floor squeaks at various points in this area. They result when the sub-floor separates slightly from the floor joists or sub-floor and then rubs up and down on the fasteners that hold it in place.

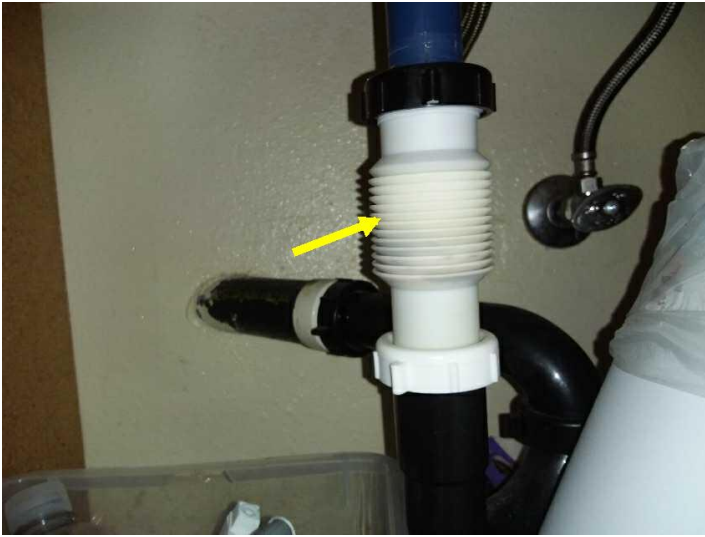
Bathrooms

1. Hallway Bathroom

Observations:

- 1.1. The hallway bathroom is a full and is located adjacent to the hallway.
- 1.2. The cabinets have typical, cosmetic damage.
- 1.3. The sink countertop is functional.
- 1.4. The sink is functional.
- 1.5. The mechanical sink stopper will need to be adjusted to engage.
- 1.6. The trap and drain are functional.
- 1.7. The sink employs an unconventional flexible drainpipe that could contribute to blockages.
- 1.8. The outlets are functional and include ground-fault protection.
- 1.9. A ceiling light does not respond and should be serviced.
- 1.10. The exhaust fan is functional.
- 1.11. The toilet is functional.
- 1.12. The toilet is identified as being a low-flush type.
- 1.13. The tub-shower is functional.
- 1.14. The tub is functional.
- 1.15. The tub stopper is missing or incomplete, and should be repaired or replaced.
- 1.16. It would be prudent to add a door stop at the door to protect the wall that it opens into.

Bathrooms (continued)



The sink employs an unconventional flexible drainpipe that could contribute to blockages.



A ceiling light does not respond and should be serviced.

Laundry

1. Laundry Area

Observations:

- 1.1. The laundry area is located within the garage.
- 1.2. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 1.3. A dryer vent is provided and appears serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.
- 1.4. The gas control valve and its connector is presumed to be functional.
- 1.5. The outlets that were tested are functional.
- 1.6. The 220 volt receptacle is functional but is 3 prong. New electric dryers have a 4 prong appliance cord and may need to upgrade or adapt to this connection.
- 1.7. A light is missing its globe or cover and should be serviced.
- 1.8. There is no exhaust fan or openable window, which is required by current standards and should be evaluated and serviced as needed by a licensed specialist for optimal safety.
- 1.9. Walls/ceilings have cosmetic damage that you should view for yourself.
- 1.10. There has been a drywall/plaster repair that should be explained by the seller.
- 1.11. There is a moisture stain on the ceiling that should be explained or explored further.
- 1.12. The floor is worn or cosmetically damaged, which you should view for yourself.
- 1.13. There is a mold-like substance that we will point out, which should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat.

Laundry (continued)



A light is missing its globe or cover and should be serviced.



There is a mold-like substance that we will point out, which should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat.



There is a mold-like substance that we will point out, which should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and represent a health threat.

Heating & Air conditioning

1. Forced Air Furnace

Observations:

1.1. Central heat is provided by a forced-air furnace that is located in a hallway closet.

1.2. The vent pipe is functional.

1.3. The gas valve and connector are in acceptable condition.

1.4. The combustion-air vents for the gas furnace are functional.

1.5. The filter is dirty and should be changed soon and every two or three months. If filters are not changed regularly, the ducts can become contaminated.

1.6. The return-air compartment is dirty, and should be cleaned.

1.7. The blades and motor on the circulating fan and motor are dirty. They should be cleaned, and the filters changed regularly, as part of a scheduled maintenance service. We recommend that an HVAC contractor clean, service and evaluate the furnace.

1.8. The thermostat is functional.

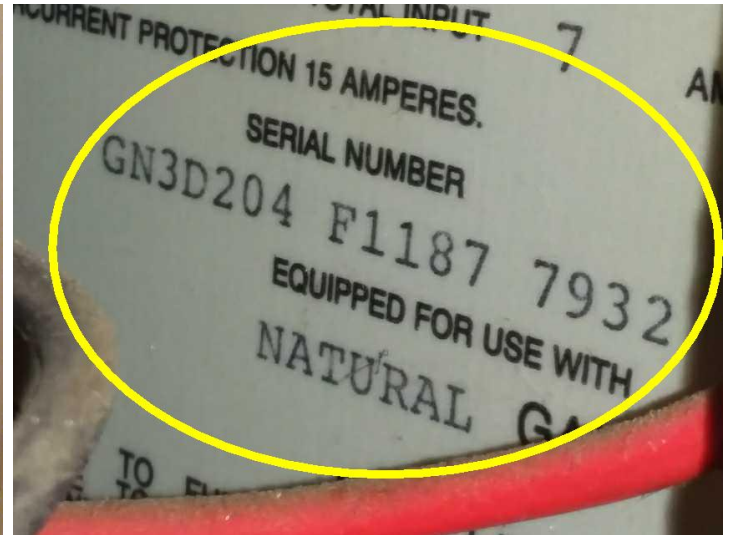
1.9. The ducts are a fairly modern flexible type that are comprised of a clear inner liner and an outer plastic shell that contains fiberglass insulation. However, the outer shell has been found to be susceptible to ultra-violet contamination, which causes the outer shell to deteriorate and, therefore, should be monitored.

1.10. The registers are reasonably clean and functional.

1.11. The furnace is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by an HVAC contractor prior to the close of the inspection period.

1.12. The furnace does not respond properly and should be evaluated and serviced by a licensed HVAC contractor. The pilot kit right away but the burner took a long time.

Heating & Air conditioning (continued)



Central heat is provided by a forced-air furnace that is located in a hallway closet. Serial number GN3D204 F1187 7932 - manufactured 1987

2. Window Units

Observations:

2.1. Our service does not include an evaluation of thru-wall or thru-window air-conditioning units. The older ones are typically noisy and inefficient and, relative to the more modern ones, are expensive to operate.

Attics

1. Attic

Observations:

1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1.2. The attic can be accessed through a hatch located in the hallway ceiling.

1.3. We evaluated the attic by direct access.

1.4. The electrical components that are fully visible appear to be in acceptable condition.

1.5. The visible roof framing consists of a factory - built truss system that is in acceptable condition. It is comprised of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

1.6. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.

1.7. The visible portions of the exhaust ducts are functional.

1.8. The heat vents appear to be functional.

1.9. The visible portions of the water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.

1.10. The drainpipe vents that are fully visible are in acceptable condition.

1.11. There are visible ABS drainpipe vents that are alleged to be defective. They include those manufactured between 1984 and 1990 under the trade names of Centaur, Gable, Phoenix, Polaris, and Apache. I can elaborate on this issue, but you should seek the opinion of a plumber who is familiar with these allegedly defective pipes.

1.12. The attic is insulated, with approximately six-inches of blown-in cellulose, but current standards call for nine and even twelve inches. Some types of this insulation, which were manufactured and installed prior to 1979, consist of shredded paper and are flammable. However, we do not categorically recommend removing and replacing the insulation, because this is a personal decision that is best made by the owners or the occupants.

Attics (continued)



There are visible ABS drainpipe vents that are alleged to be defective. They include those manufactured between 1984 and 1990 under the trade names of Centaur, Gable, Phoenix, Polaris, and Apache. I can elaborate on this issue, but you should seek the opinion of a plumber who is familiar with these allegedly defective pipes.

Garages

1. Three Car Garage

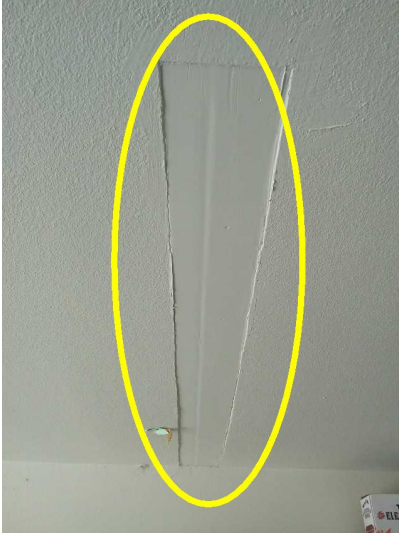
Observations:

- 1.1. The side doors are functional.
- 1.2. It would be prudent to add a door stop at the door to protect the wall that it opens into.
- 1.3. The slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.
- 1.4. There are no ventilation ports to vent exhaust fumes. Therefore, vehicle engines should not be left running with the garage door closed or carbon monoxide poisoning could result.
- 1.5. The garage walls are too full or covered to provide a clear view them and other components of the garage.
- 1.6. There had been a drywall/plaster repair that should be explained by the seller.
- 1.7. The outlets that were tested are functional, and include ground-fault protection.
- 1.8. A ceiling fan does not respond, and should be removed.
- 1.9. A light is missing its globe or cover and should be serviced.
- 1.10. The double garage door and its hardware are functional.
- 1.11. The single garage door is a heavy, wooden, type that is potentially dangerous because of its weight. Therefore, its springs should be periodically tested to make sure that they are able to bear the full weight of the door at almost any angle, and particularly if children or the elderly occupy the residence.
- 1.12. The garage door has cosmetic damage that you should view for yourself.
- 1.13. The garage door and its hardware could not be tested because it is blocked or locked, and should be demonstrated by the sellers.
- 1.14. The single garage door hardware is an old and obsolete, swing-arm, type that has not been made for fifty years, and you may wish to consider upgrading it.
- 1.15. The garage door hardware needs to be adjusted, so that the door is squarely aligned in its opening.
- 1.16. A door spring is missing or broken, and should be replaced.
- 1.17. The garage door opener is functional.
- 1.18. A window screen is missing, which you may wish to have replaced.

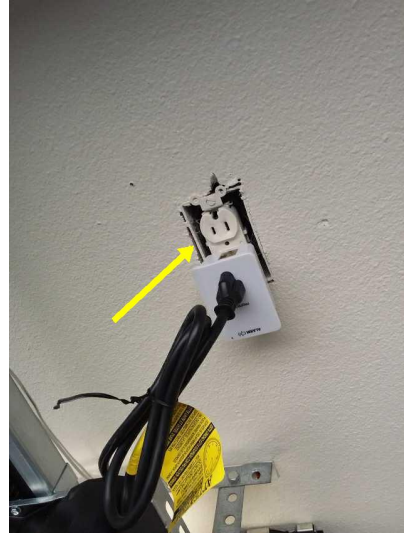
Garages (continued)

1.19. The voids in the ceiling firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.

1.20. One or more outlet covers is missing and should be installed.



The voids in the ceiling firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.



The side doors are functional.



A light is missing its globe or cover and should be serviced.



The garage walls are too full or covered to provide a clear view them and other components of the garage.

Garages (continued)



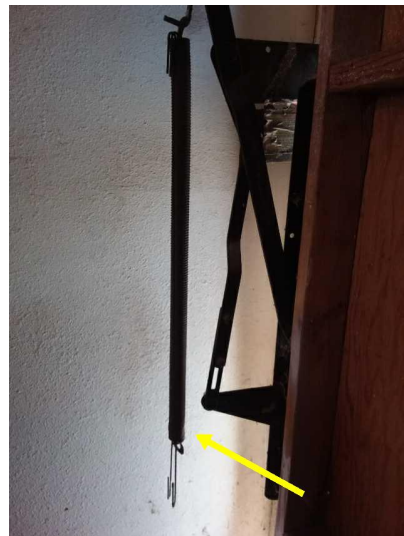
A window screen is missing, which you may wish to have replaced.



A light is missing its globe or cover and should be serviced.



The voids in the ceiling firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.



A door spring is missing or broken, and should be replaced.

Garages (continued)



A door spring is missing or broken, and should be replaced.



One or more outlet covers is missing and should be installed.



The voids in the ceiling firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.