

TITLE SURVEY

ATS Job #1301250/5

Reference: Reyna Address: 5301 Cardinal Flower Cove, Spicewood, Texas
Lot 10, Block C, WEST CYPRESS HILLS PHASE ONE, SECTION 4A, a subdivision in Travis County, Texas,
according to the map or plat thereof, recorded in Doc. No. 201100168, Official Public Records, Travis
County, Texas.

LEGEND	
●	1/2" (IRF) IRON ROD FOUND
(E)	ELECTRIC METER
(G)	GAS METER
(C)	CABLE RISER
(T)	TELEPHONE RISER
(EV)	ELECTRIC RISER
(WV)	WATER VALVE
(CW)	WASTEWATER CLEANOUT
(PB)	ELECTRIC PULL BOX
(A)	AIR CONDITIONER
(WM)	WATER METER
⊠	"X" INSCRIBED IN CONCRETE
○	1/2" (IRS) AIS IRON ROD SET
ROW	RIGHT OF WAY
()	RECORD INFORMATION
SE	SLOPE EASEMENT
BSL	BUILDING SETBACK LINE
PUE	PUBLIC UTILITY EASEMENT
DAD	DEVELOPMENT AREA DECLARATION
—	METAL FENCE
—	WOOD FENCE

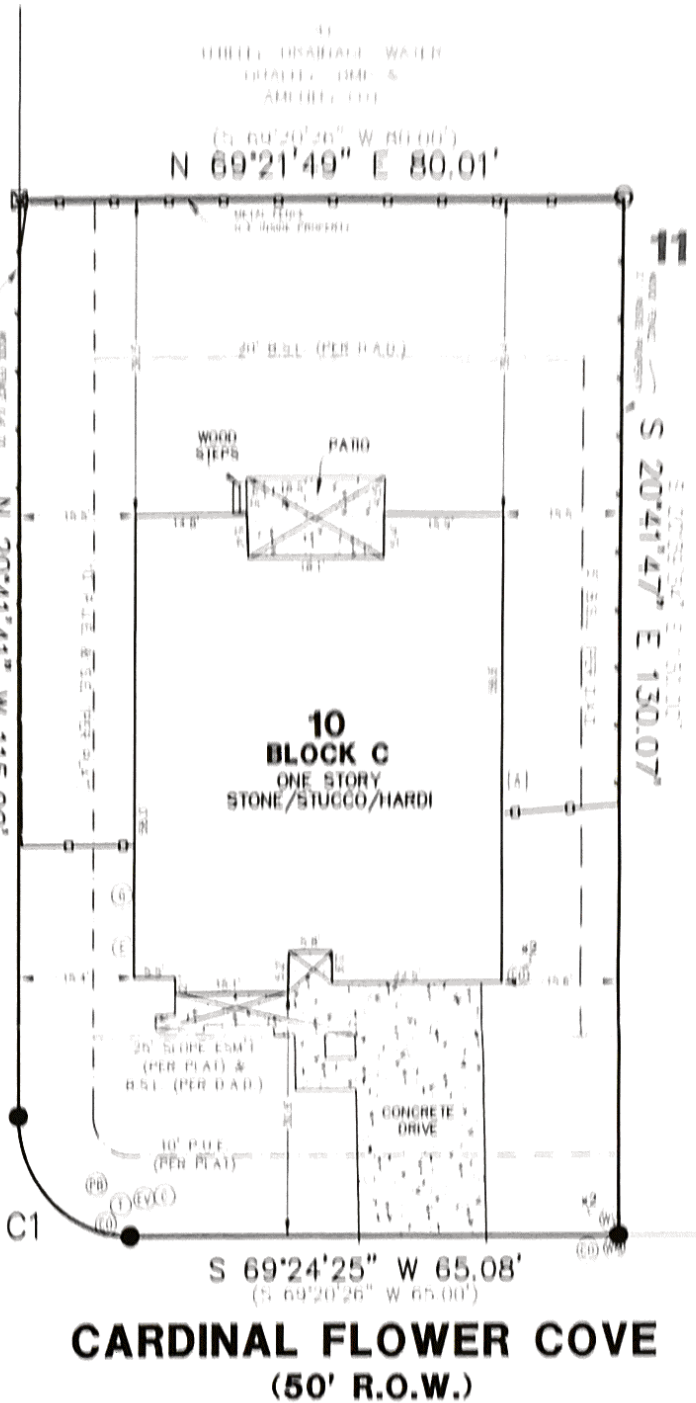


SCALE: 1"=20'

Surveyor's Note:
The bearings shown hereon are based on the
final plat of WEST CYPRESS HILLS PHASE ONE,
SECTION 4A, according to the map or plat
thereof, recorded in Doc. No. 201100168,
Official Public Records, Travis County, Texas.

CURVE DATA TABLE				
CURVE	RADIUS	CHORD DIRECTION	CHORD LENGTH	ARC LENGTH
C1	15.00	N 65°30'08" W	21.20'	23.54'
(C1)	(15.00)	(N 65°39'34" W)	(21.21')	(23.56')

ROCK WREN ROAD
(50' R.O.W.)



CARDINAL FLOWER COVE
(50' R.O.W.)

- Notes:
- 1) All easements, of which I have knowledge and those recorded easements furnished by Graystone Title and Stewart Title Guaranty Company according to Title Commitment File No. 771300032, DO AFFECT the subject property. Other than visible easements, no unrecorded or unwritten easements are shown hereon.
 - 2) Subject to restrictive covenants and easement rights as recorded in Doc. Nos. 2005014654, 2005214311, 2006220570, 2006222235, 2007167594, 2007170572, 2007227596, 2008049036, 2011028164, 2011028165, 2011149746, 2011185314, 2012005832, 2012046793, 2012046794, and 2012047085, Official Public Records, Travis County, Texas.
 - 3) Subject to easements and building setback lines as recorded in Doc. Nos. 201100168, 2006222235, and 2012047085, Official Public Records, Travis County, Texas.
 - 4) Subject to an electric utility easement as recorded in Doc. No. 2012057005, Official Public Records, Travis County, Texas.
 - 5) Subject to easement and right-of-way agreement as recorded in Doc. No. 2000053049, as affected by Doc. Nos. 2005161931, 2005218429, 2005222376, and 2006178071, and an electric easement as recorded in Doc. No. 2002049329 further affected by assignment as recorded in Doc. No. 2009176533, Official Public Records, Travis County, Texas, to the extent that the same may affect the subject property.
 - 6) Subject to an equipment station easement as recorded in Vol. 10020, Pg. 572, Real Property Records, Travis County, Texas, to the extent that the same may affect the subject property.
 - 7) Subject to all terms, conditions, and provisions of that certain Joint Use Access Easement as recorded in Doc. No. 2002049326, and as affected by Doc. Nos. 2002146471, 2002146742, 2002192445, and 2004161319, Official Public Records, Travis County, Texas.
 - 8) Easements as recorded in Doc. Nos. 2009125748, 2011138822, 2011138823, 2011138824, 2004119034, 2009203196, and 2010048715, Official Public Records, Travis County, Texas, DO NOT AFFECT the subject tract shown hereon.

I, Paul Utterback, HEREBY CERTIFY that a survey was made on the ground of the property shown hereon; that there are no visible discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or right-of-way, except as shown; that said property has access to and from a public roadway; and that this plat is an accurate representation of the property to the best of my knowledge.

Paul Utterback, RPLS No. 5738
Client: Graystone Title
Date of Field Work: 2/21/13
Field: J.Currie
Tech: M.Putman
Date Drawn: 2/27/13
Path:Projects\MilestoneComBuilders\WestCypressHills1-4A\Titles\T010-00C-WCH1-4A.dwg



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