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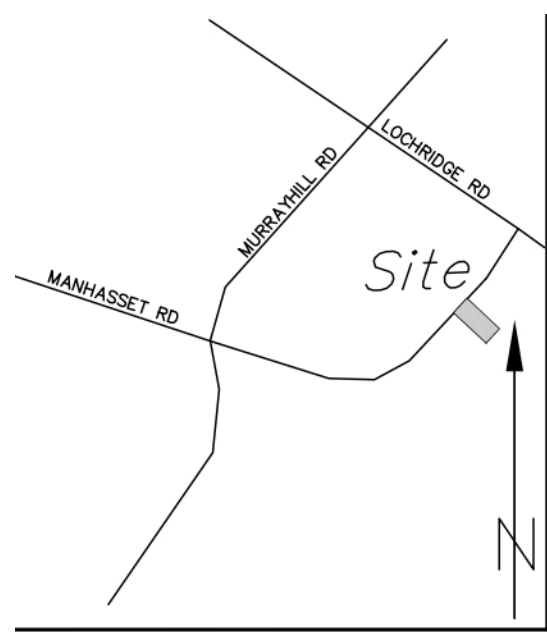
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808 MANHASSET ROAD

by
Castelletto
HOMES

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VICINITY MAP
(Not to Scale)

NOTES:

1. AREA CALCULATED BY COORDINATE COMPUTATION.
2. ADJOINING PROPERTY OWNERS NAMES WERE TAKEN FROM MECKLENBURG COUNTY TAX OFFICE RECORDS, AND ARE CONSIDERED AS NOW OR FORMERLY.
3. IRON RODS AT ALL CORNERS UNLESS NOTED.
4. THIS MAP IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHT-OF-WAY, UTILITIES AND RESTRICTIVE COVENANTS AND PRELIMINARY PLAN WHICH MAY BE OF RECORD.
5. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, MEASURED WITH ELECTRONIC MEASURING DEVICES.
6. LOT SUBJECT TO ALL ZONING ORDINANCES OF CITY OF CHARLOTTE. BUILDER/OWNER MUST VERIFY THAT LOT IS IN COMPLIANCE WITH ALL COUNTY AND HOMEOWNERS ASSOCIATION ZONING ORDINANCES PRIOR TO ANY LAND DISTURBANCE OR CONSTRUCTION.
7. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH.
8. NO NGS MONUMENT FOUND WITHIN 2000 FEET.
9. THIS PROPERTY MAY BE SUBJECT TO MAXIMUM IMPERVIOUS AREA REQUIREMENTS. BEFORE MAKING ANY RENOVATIONS OR REPAIRS TO THIS PROPERTY CHECK WITH THE LOCAL PLANNING OR ZONING DEPARTMENT FOR ANY RESTRICTIONS OR REGULATIONS IN PLACE.
10. UNDERGROUND UTILITIES ARE NOT LOCATED AT THE TIME OF SURVEY. IF SHOWN, UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATIONS OF ABOVE GROUND APPURTENANCES. UNDERGROUND UTILITIES NOT SHOWN HEREON MAY EXIST.
11. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO OBTAIN ALL UTILITY INFORMATION FROM THE LOCAL JURISDICTION PRIOR TO DEVELOPMENT OF PROPERTY TO ENSURE THERE ARE NO UTILITY CONFLICTS WITH PROPERTY. UTILITIES SHOWN ON SURVEY WERE FIELD LOCATED FROM ABOVE GROUND VISUAL EVIDENCE. CAROLINA GEOMATICS, PLLC MAKES NO CLAIM THAT ALL UNDERGROUND UTILITIES ARE SHOWN HEREON.
12. DEVELOPMENT OF THESE LOTS MAY BE SUBJECT TO THE CHARLOTTE UNIFIED DEVELOPMENT ORDINANCE (UDO) STORMWATER REGULATIONS, PART IX (ARTICLES 23-28) UNLESS OTHERWISE EXEMPTED. ANY DEVELOPMENT PROPOSING 5,000 SF OR MORE BUILT UPON AREA OR DISTURBING AN ACRE OR MORE OF LAND WILL BE REQUIRED TO COMPLY WITH ARTICLE 28, POST CONSTRUCTION STORMWATER REGULATIONS, INCLUDING WATER QUALITY STREAM BUFFERS AND ON-SITE STORMWATER CONTROLS FOR HIGH-DENSITY DEVELOPMENT. PLEASE NOTE THE LOTS SHOWN ON THIS PLAT MAY BE CONSIDERED A COMMON PLAN OF DEVELOPMENT.

ABBREVIATIONS:

RF REBAR FOUND
RS REBAR SET
R/W RIGHT-OF-WAY
SF SQUARE FEET
MB MAP BOOK
DB DEED BOOK
PG PAGE
FS FRONT SETBACK
RY REAR YARD
SY SIDE YARD
CP COMPUTED POINT
C&G CURB AND GUTTER

LINE LEGEND:

BOUNDARY ———
ADJOINER ———
RIGHT OF WAY ——— R/W ——— R/W ———
SETBACK ——— x ——— x ——— x ——— x ———
FENCE ——— x ——— x ——— x ——— x ———
OVERHEAD UTILITY ——— OHU ——— OHU ——— OHU ——— OHU ———

FLOOD NOTE:

NO PORTION OF THE SUBJECT PROPERTY SHOWN HEREON LIES WITHIN A SPECIAL FLOOD HAZARD AREA PER F.E.M.A. FLOOD INSURANCE RATE MAP. COMMUNITY PANEL 3710454200K DATED: FEBRUARY 19, 2014.

CERTIFICATION:

STATE OF NORTH CAROLINA, MECKLENBURG COUNTY

"I, CHEVIS L. KING, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 08401, PAGE 855); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK 6, PAGE 803 OR OTHER REFERENCE SOURCE. THAT THE RATIO OF PRECISION OR POSITION ACCURACY IS 1:10,000, AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600)." THIS 23RD DAY OF JANUARY, 2026.

PROFESSIONAL LAND SURVEYOR



Chevis L. King

PROFESSIONAL LAND SURVEYOR

PROFESSIONAL LAND SURVEYOR

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SYMBOL LEGEND:

⊗ GAS METER
⊗ WATER METER
⊗ DECIDUOUS TREE
⊗ UTILITY POLE
⊗ ELECTRIC METER
⊗ HVAC

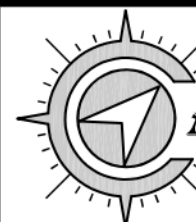


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ZONING:

BUILDING SETBACK REQUIREMENTS (MINIMUM) ZONED N1-B
FRONT: 35' FEET (MB 6 PG 803)
SIDE YARD: 5' FEET
REAR YARD: 35' FEET
LOT AREA: 8,000 SF
LOT WIDTH: 60' FEET
MAXIMUM BUILDING COVERAGE LOTS 10,000 SF & >- 40%
MAXIMUM BUILDING COVERAGE LOTS < 10,000 SF- 50%

Job No.:	Drawn:	Checked:	Date:
26-034	MGE	CLK	01/23/26



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NC #P-1965
WWW.CAROLINAGEOMATICS.COM

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

PHYSICAL SURVEY

AT PROPERTY KNOWN AS
808 MANHASSET ROAD
LOT 49, A PORTION OF SELWYN PARK, ADDITION NO.4
MB 6 PG 803
PARCEL #149-161-05 DB 08401 PG 855
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
FOR: DAPPER DEVELOPMENT

GENERAL PAGE NOTES

1. ALL FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATION SHALL BE CONSIDERED AS PART OF THESE DRAWINGS AND DETAILS FOR THIS BUILDING AND SHALL PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
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5. ALL WINDOW NUMBERS ARE GENERIC AND REFER TO THE SASH SIZE.
6. DEVIATION FROM THESE CONSTRUCTION DOCUMENTS, WITHOUT COORDINATING REVISION CHANGES WITH THE OWNER AND INCITE 3D SHALL ABSOLVE INCITE 3D FROM LIABILITIES ARISING FROM DISCREPANCIES AND CONSTRUCTION.

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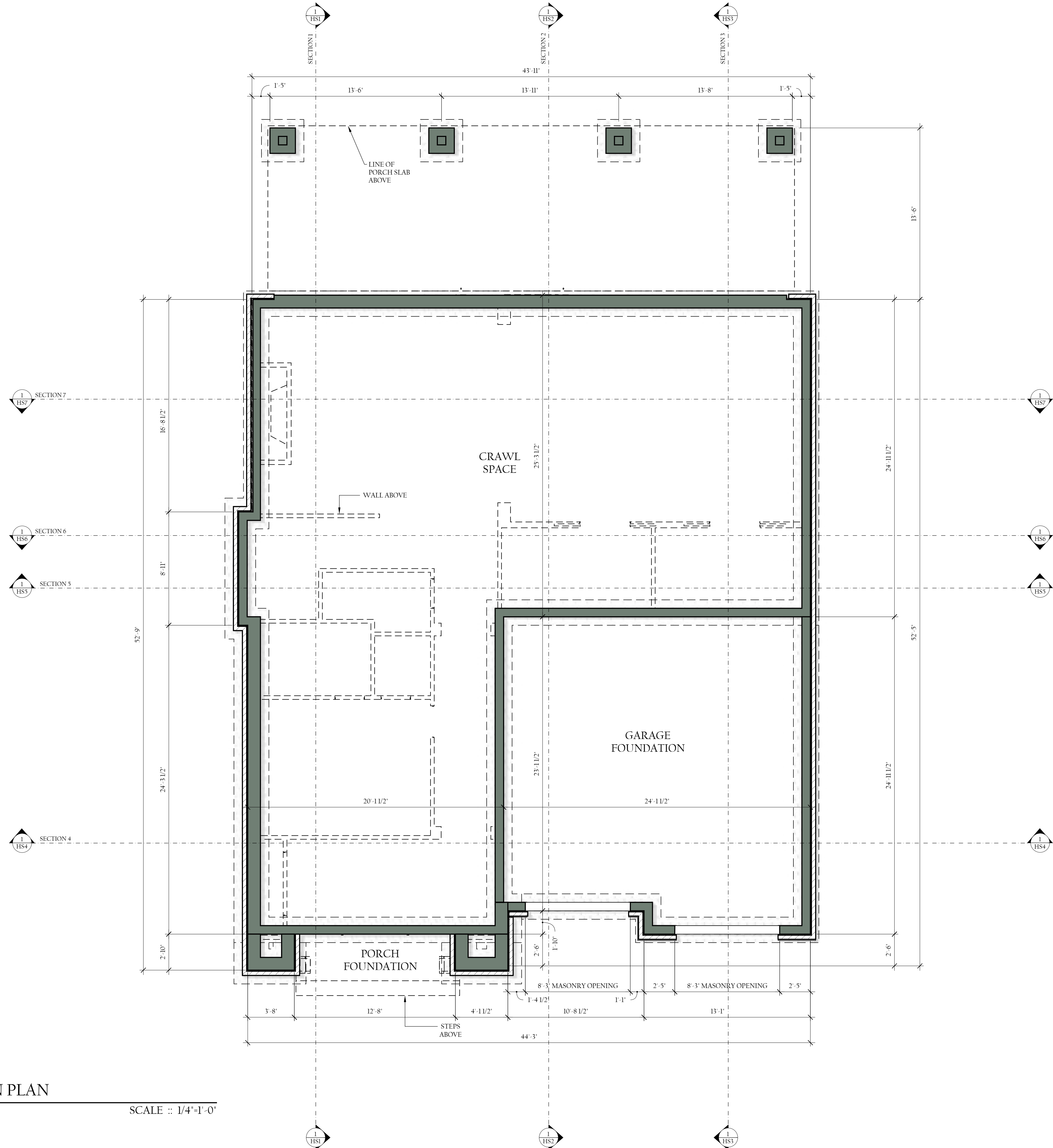
A2

SITE PLAN

808 MANHASSET ROAD

808 MANHASSET ROAD
CHARLOTTE, NC 28209
April 1, 2026-To Engineer

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GENERAL PAGE NOTES

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A3
FOUNDATION PLAN

808 MANHASSET ROAD

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April 1, 2026 -To Engineer

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DOOR SCHEDULE

NO	WIDTH	HEIGHT	DESCRIPTION
1	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR
2	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR W/ 18" HT TRANSOM
3	2'-6"	8'-0"	TWIN PANEL DOOR
4	4'-0"	8'-0"	ARCHED CASED OPENING
5	2'-6"	8'-0"	PANEL DOOR
6	2'-2"	8'-0"	PANEL DOOR
7	2'-0"	8'-0"	TWIN POCKET DOOR
8	2'-6"	7'-0"	TWIN PANEL DOOR
9	2'-4"	7'-0"	PANEL DOOR
10	2'-6"	7'-0"	PANEL DOOR
11	3'-0"	7'-0"	PANEL DOOR
12	2'-6"	7'-0"	TWIN BIFOLD DOOR
13	2'-0"	7'-0"	TWIN POCKET DOOR
14	2'-0"	7'-0"	PANEL DOOR
15	2'-0"	7'-0"	SHOWER GLASS DOOR
16	2'-6"	8'-0"	20-MIN FIRE RATED PANEL DOOR

WINDOW SCHEDULE

NO	WIDTH	HEIGHT	DESCRIPTION
A	4'-0"	8'-0"	FIXED
B	5'-0"	5'-0"	FIXED
C	4'-8"	8'-0"	FIXED W/ 18" HT TRANSOM
D	2'-6"	6'-0"	SINGLE HUNG
E	6'-8"	6'-0"	(3) CASEMENT
F	3'-0"	3'-0"	CASEMENT
G	5'-0"	3'-0"	FIXED
H	3'-6"	5'-0"	CASEMENT
I	5'-0"	5'-0"	FIXED
J	1'-8", 2'-6", 1'-8"	3'-0"	ARCHED CASEMENT, FIXED, CASEMENT (SEE DETAIL 2/A9)
K	7'-0"	8'-0"	FIXED
L	2'-0"	3'-0"	CASEMENT
M	4'-10"	5'-0"	(2) CASEMENT
N	3'-0"	6'-8"	(2) CASEMENT W/ 14" HT TRANSOM
N	5'-0"	5'-8"	(2) CASEMENT

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A4

MAIN LEVEL FLOOR PLAN

808 MANHASSET ROAD

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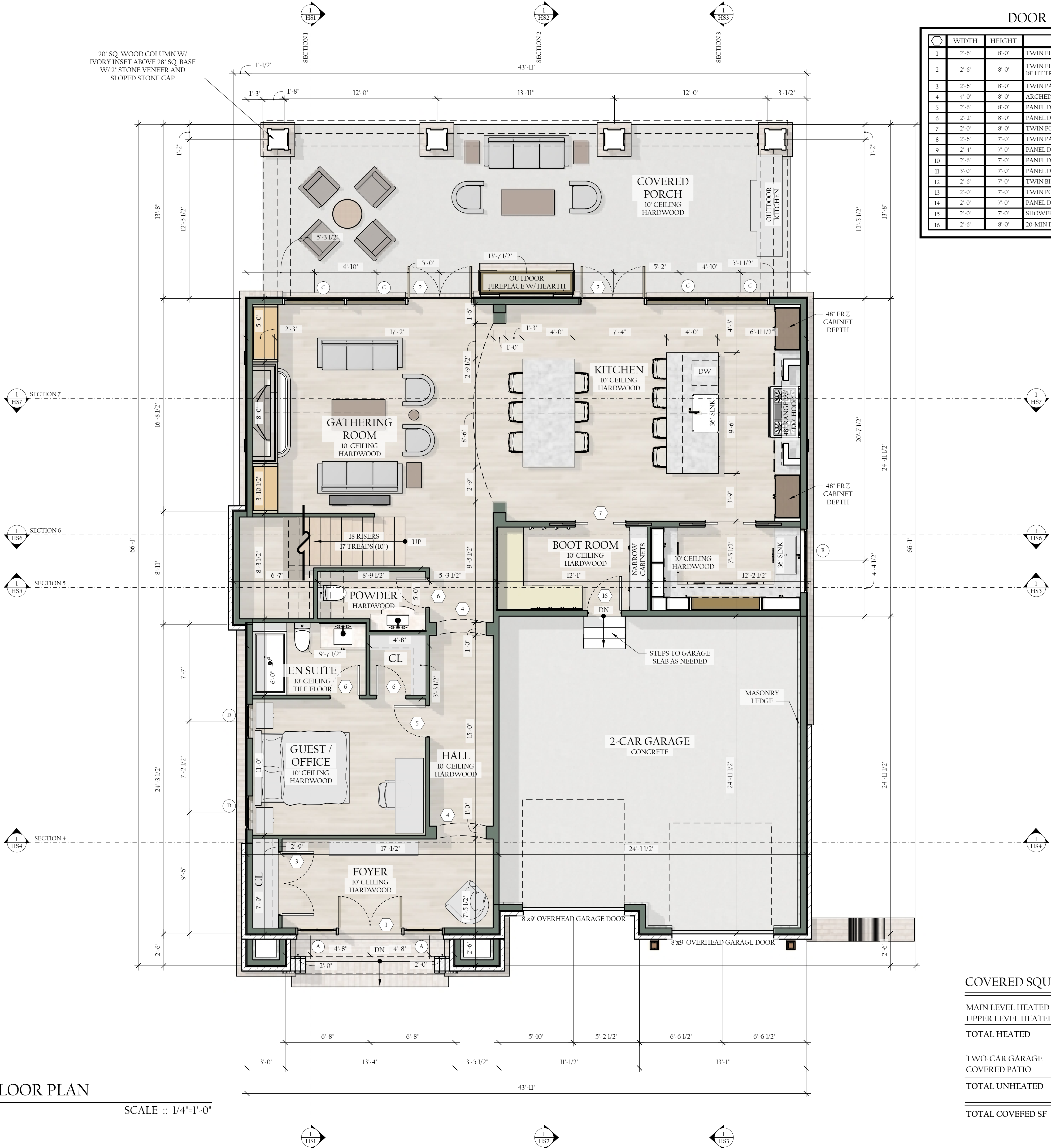
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COVERED SQUARE FOOTAGE

MAIN LEVEL HEATED	1,982 SF
UPPER LEVEL HEATED	1,590 SF
TOTAL HEATED	3,572 SF
TWO-CAR GARAGE	559 SF
COVERED PATIO	548 SF
TOTAL UNHEATED	1,107 SF
TOTAL COVEFED SF	4,679 SF

1 MAIN LEVEL FLOOR PLAN

SCALE :: 1/4"=1'-0"



DOOR SCHEDULE

○	WIDTH	HEIGHT	DESCRIPTION
1	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR
2	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR W/ 18" HT TRANSOM
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UPPER LEVEL FLOOR PLAN

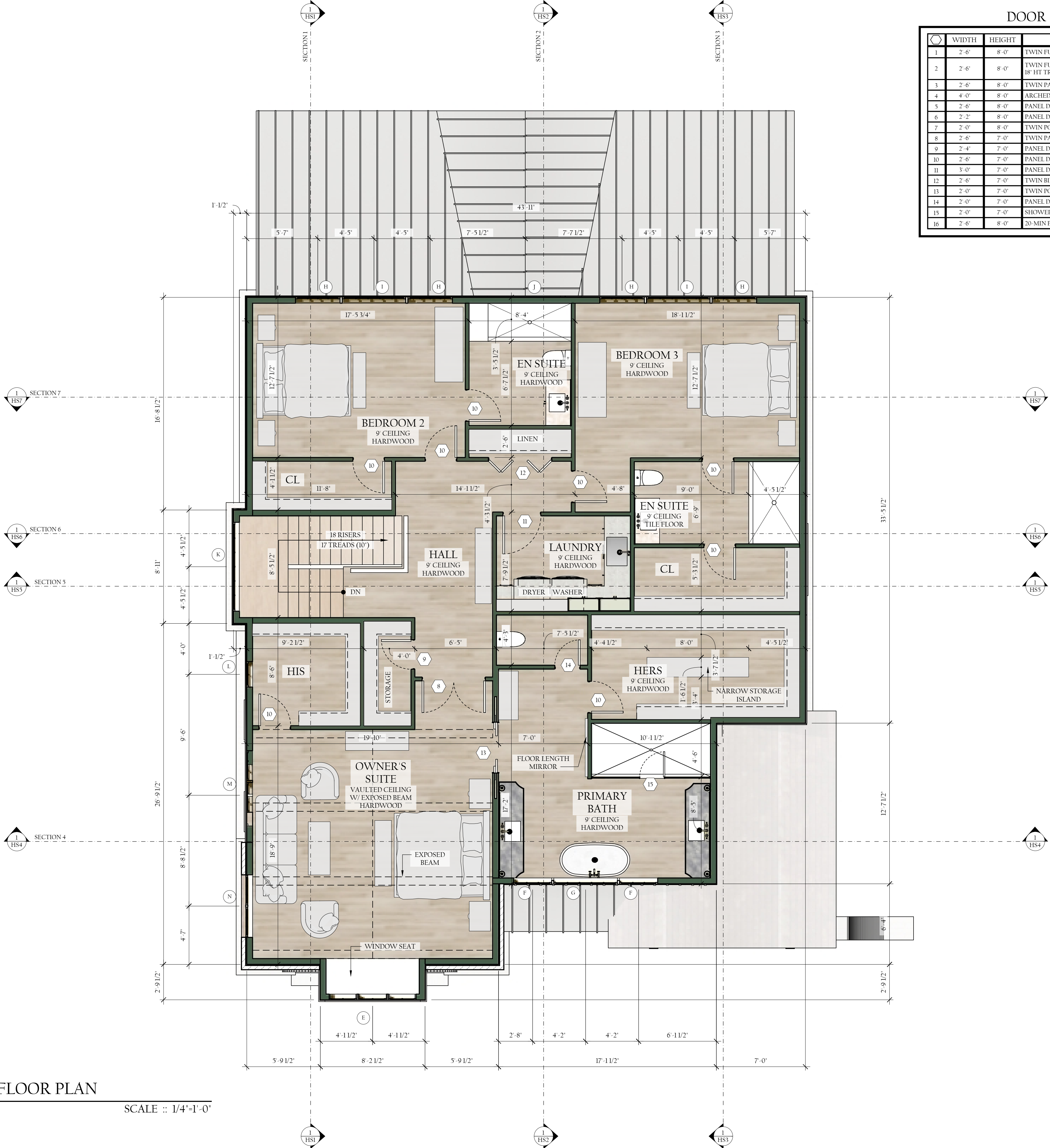
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1 UPPER LEVEL FLOOR PLAN

SCALE :: 1/4"=1'-0"





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ROOF PLAN

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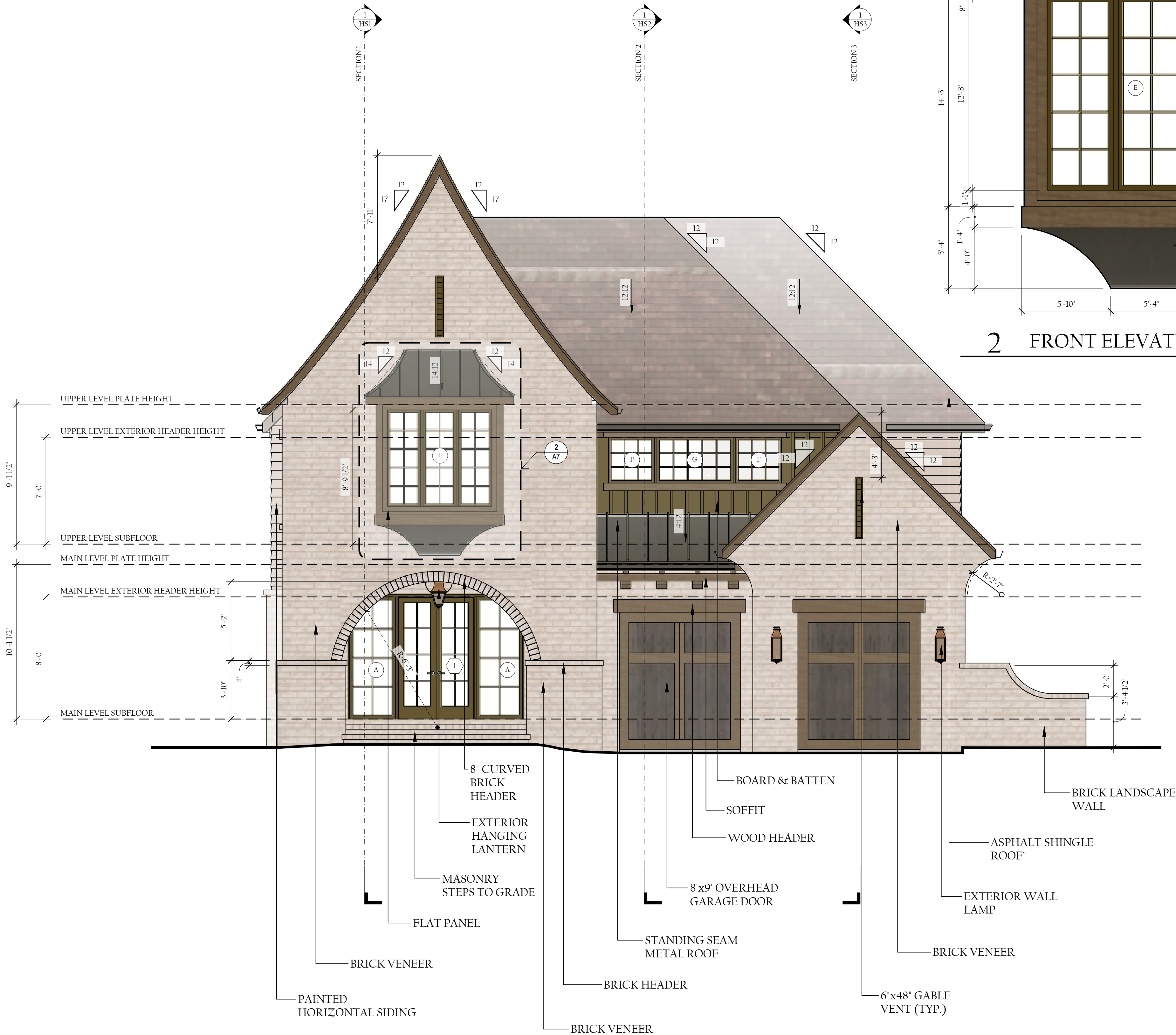
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1 ROOF PLAN

SCALE :: 1/4"=1'-0"

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2 FRONT ELEVATION

SCALE :: 1/2"=1'-0"

DOOR SCHEDULE

NO	WIDTH	HEIGHT	DESCRIPTION
1	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR
2	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR W/ 18" HT TRANSOM
3	2'-6"	8'-0"	TWIN PANEL DOOR
4	4'-0"	8'-0"	ARCHED CASED OPENING
5	2'-6"	8'-0"	PANEL DOOR
6	2'-2"	8'-0"	PANEL DOOR
7	2'-0"	8'-0"	TWIN POCKET DOOR
8	2'-6"	7'-0"	TWIN PANEL DOOR
9	2'-4"	7'-0"	PANEL DOOR
10	2'-6"	7'-0"	PANEL DOOR
11	3'-0"	7'-0"	PANEL DOOR
12	2'-6"	7'-0"	TWIN BIFOLD DOOR
13	2'-0"	7'-0"	TWIN POCKET DOOR
14	2'-0"	7'-0"	PANEL DOOR
15	2'-0"	7'-0"	SHOWER GLASS DOOR
16	2'-6"	8'-0"	20 MIN FIRE RATED PANEL DOOR

WINDOW SCHEDULE

NO	WIDTH	HEIGHT	DESCRIPTION
A	4'-0"	8'-0"	FIXED
B	5'-0"	5'-0"	FIXED
C	4'-8"	8'-0"	FIXED W/ 18" HT TRANSOM
D	2'-6"	6'-0"	SINGLE HUNG
E	6'-8"	6'-0"	(3) CASEMENT
F	3'-0"	3'-0"	CASEMENT
G	5'-0"	3'-0"	FIXED
H	3'-6"	5'-0"	CASEMENT
I	5'-0"	5'-0"	FIXED
J	1'-8", 2'-6", 1'-8"	3'-0"	ARCHED CASEMENT, FIXED, CASEMENT (SEE DETAIL 2/A9)
K	7'-0"	8'-0"	FIXED
L	2'-0"	3'-0"	CASEMENT
M	4'-10"	5'-0"	(2) CASEMENT
N	3'-0"	6'-8"	(2) CASEMENT W/ 14" HT TRANSOM
N	5'-0"	5'-8"	(2) CASEMENT

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A7

FRONT ELEVATION

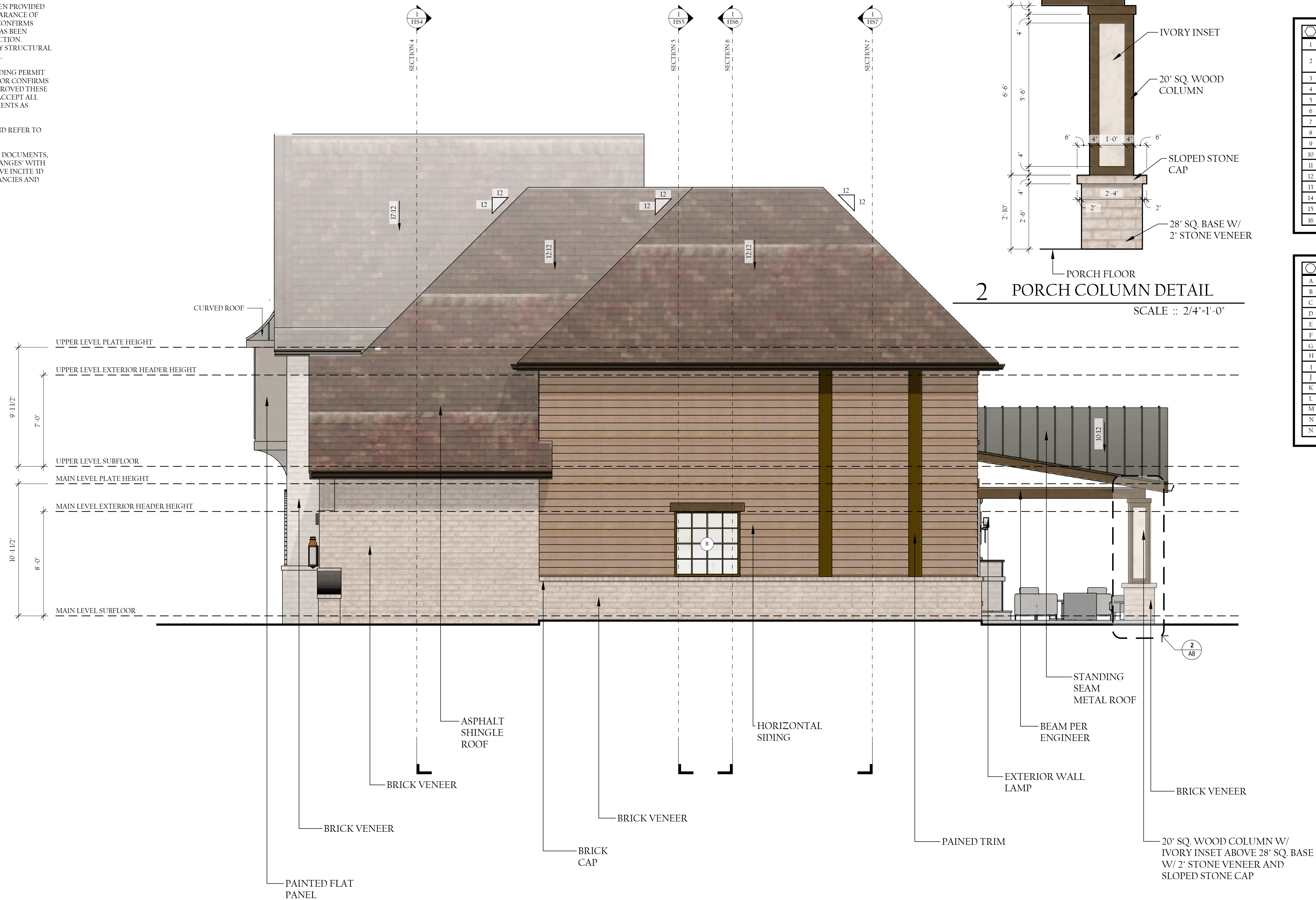
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1 RIGHT ELEVATION

SCALE :: 1/4"=1'-0"

DOOR SCHEDULE

	WIDTH	HEIGHT	DESCRIPTION
1	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR
2	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR W/ 18" HT TRANSOM
3	2'-6"	8'-0"	TWIN PANEL DOOR
4	4'-0"	8'-0"	ARCHED CASED OPENING
5	2'-6"	8'-0"	PANEL DOOR
6	2'-2"	8'-0"	PANEL DOOR
7	2'-0"	8'-0"	TWIN POCKET DOOR
8	2'-6"	7'-0"	TWIN PANEL DOOR
9	2'-4"	7'-0"	PANEL DOOR
10	2'-6"	7'-0"	PANEL DOOR
11	3'-0"	7'-0"	PANEL DOOR
12	2'-6"	7'-0"	TWIN BIFOLD DOOR
13	2'-0"	7'-0"	TWIN POCKET DOOR
14	2'-0"	7'-0"	PANEL DOOR
15	2'-0"	7'-0"	SHOWER GLASS DOOR
16	2'-6"	8'-0"	20-MIN FIRE RATED PANEL DOOR

WINDOW SCHEDULE

○	WIDTH	HEIGHT	DESCRIPTION
A	4'-0"	8'-0"	FIXED
B	5'-0"	5'-0"	FIXED
C	4'-8"	8'-0"	FIXED W/ 18" HT TRANSOM
D	2'-6"	6'-0"	SINGLE HUNG
E	6'-8"	6'-0"	(3) CASEMENT
F	3'-0"	3'-0"	CASEMENT
G	5'-0"	3'-0"	FIXED
H	3'-6"	5'-0"	CASEMENT
I	5'-0"	5'-0"	FIXED
J	1'-8", 2'-6", 1'-8"	3'-0"	ARCHED CASEMENT, FIXED, CASEMENT (SEE DETAIL 2/A9)
K	7'-0"	8'-0"	FIXED
L	2'-0"	3'-0"	CASEMENT
M	4'-10"	5'-0"	(2) CASEMENT
N	3'-0"	6'-8"	(2) CASEMENT W/ 14" HT TRANSOM
N	5'-0"	5'-8"	(2) CASEMENT

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A8

RIGHT ELEVATION

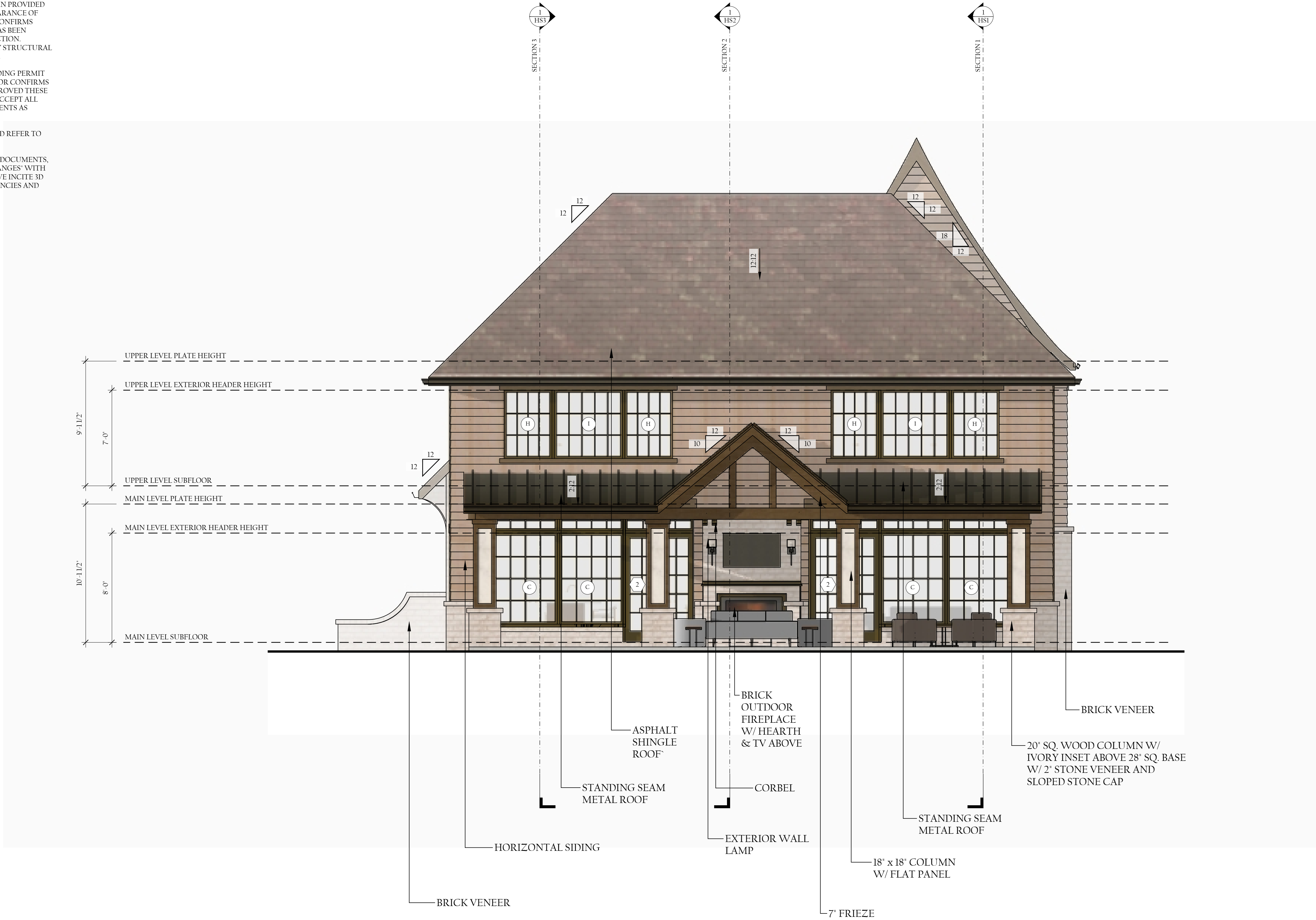
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1 REAR ELEVATION

SCALE :: 1/4"=1'-0"

DOOR SCHEDULE

NO	WIDTH	HEIGHT	DESCRIPTION
1	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR
2	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR W/ 18" HT TRANSOM
3	2'-6"	8'-0"	TWIN PANEL DOOR
4	4'-0"	8'-0"	ARCHED CASED OPENING
5	2'-6"	8'-0"	PANEL DOOR
6	2'-2"	8'-0"	PANEL DOOR
7	2'-0"	8'-0"	TWIN POCKET DOOR
8	2'-6"	7'-0"	TWIN PANEL DOOR
9	2'-4"	7'-0"	PANEL DOOR
10	2'-6"	7'-0"	PANEL DOOR
11	3'-0"	7'-0"	PANEL DOOR
12	2'-6"	7'-0"	TWIN BIFOLD DOOR
13	2'-0"	7'-0"	TWIN POCKET DOOR
14	2'-0"	7'-0"	PANEL DOOR
15	2'-0"	7'-0"	SHOWER GLASS DOOR
16	2'-6"	8'-0"	20 MIN FIRE RATED PANEL DOOR

WINDOW SCHEDULE

NO	WIDTH	HEIGHT	DESCRIPTION
A	4'-0"	8'-0"	FIXED
B	5'-0"	5'-0"	FIXED
C	4'-8"	8'-0"	FIXED W/ 18" HT TRANSOM
D	2'-6"	6'-0"	SINGLE HUNG
E	6'-8"	6'-0"	(3) CASEMENT
F	3'-0"	3'-0"	CASEMENT
G	5'-0"	3'-0"	FIXED
H	3'-6"	5'-0"	CASEMENT
I	5'-0"	5'-0"	FIXED
J	1'-8", 2'-6", 1'-8"	3'-0"	ARCHED CASEMENT, FIXED, CASEMENT (SEE DETAIL 2/A9)
K	7'-0"	8'-0"	FIXED
L	2'-0"	3'-0"	CASEMENT
M	4'-10"	5'-0"	(2) CASEMENT
N	3'-0"	6'-8"	(2) CASEMENT W/ 14" HT TRANSOM
N	5'-0"	5'-8"	(2) CASEMENT

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A9

REAR ELEVATION

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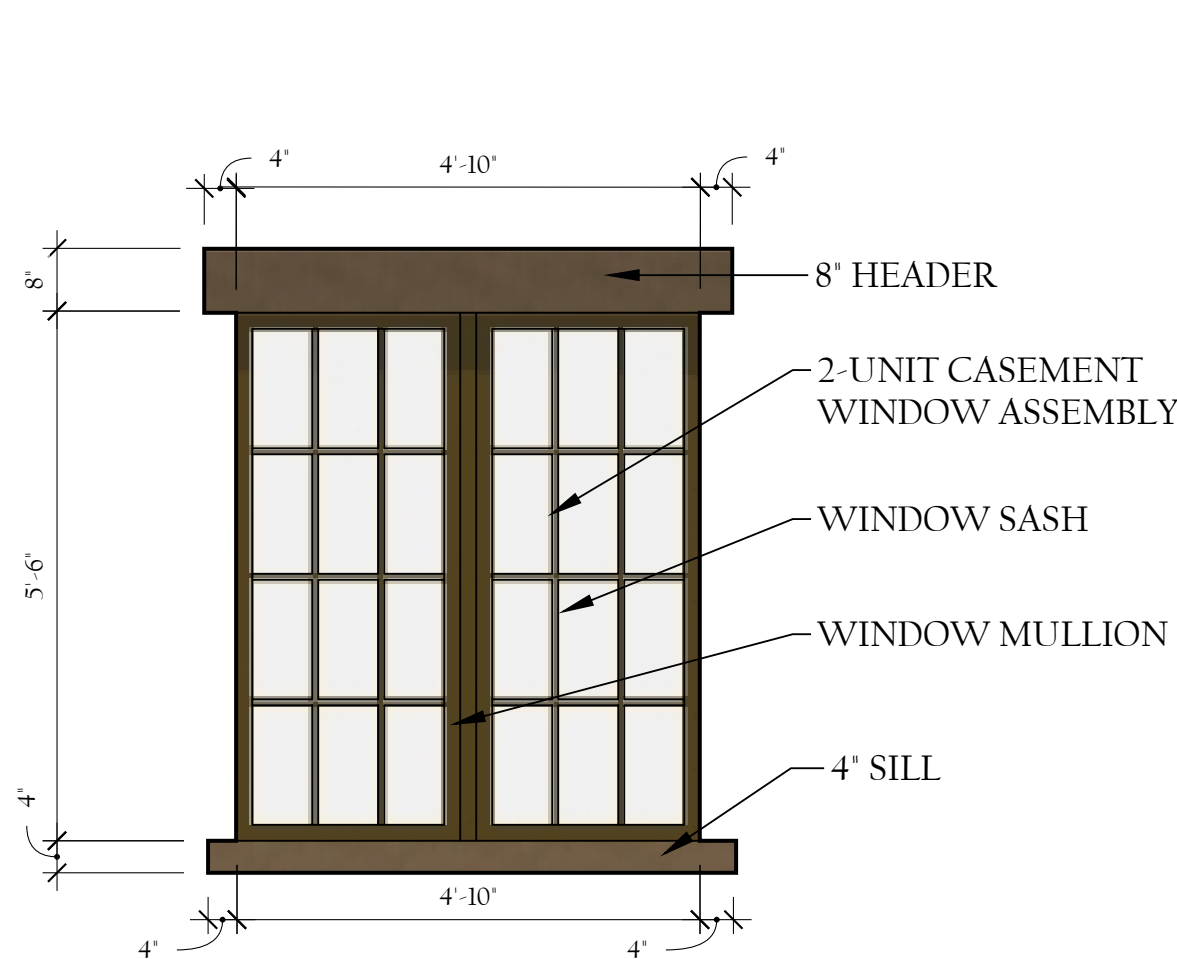
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2 WINDOW "M" DETAIL

SCALE :: 1/2"=1'-0"

	WIDTH	HEIGHT	DESCRIPTION
1	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR
2	2'-6"	8'-0"	TWIN FULL LITE EXTERIOR PANEL DOOR W/ 18" HT TRANSOM
3	2'-6"	8'-0"	TWIN PANEL DOOR
4	4'-0"	8'-0"	ARCHED CASED OPENING
5	2'-6"	8'-0"	PANEL DOOR
6	2'-2"	8'-0"	PANEL DOOR
7	2'-0"	8'-0"	TWIN POCKET DOOR
8	2'-6"	7'-0"	TWIN PANEL DOOR
9	2'-4"	7'-0"	PANEL DOOR
10	2'-6"	7'-0"	PANEL DOOR
11	3'-0"	7'-0"	PANEL DOOR
12	2'-6"	7'-0"	TWIN BIFOLD DOOR
13	2'-0"	7'-0"	TWIN POCKET DOOR
14	2'-0"	7'-0"	PANEL DOOR
15	2'-0"	7'-0"	SHOWER GLASS DOOR
16	2'-6"	8'-0"	20-MIN FIRE RATED PANEL DOOR

CIRCLE	WIDTH	HEIGHT	DESCRIPTION
A	4'-0"	8'-0"	FIXED
B	5'-0"	5'-0"	FIXED
C	4'-8"	8'-0"	FIXED W/ 18" HT TRANSOM
D	2'-6"	6'-0"	SINGLE HUNG
E	6'-8"	6'-0"	(3) CASEMENT
F	3'-0"	3'-0"	CASEMENT
G	5'-0"	3'-0"	FIXED
H	3'-6"	5'-0"	CASEMENT
I	5'-0"	5'-0"	FIXED
J	1'-8", 2'-6", 1'-8"	3'-0"	ARCHED CASEMENT, FIXED, CASEMENT (SEE DETAIL 2/A9)
K	7'-0"	8'-0"	FIXED
L	2'-0"	3'-0"	CASEMENT
M	4'-10"	5'-0"	(2) CASEMENT
N	3'-0"	6'-8"	(2) CASEMENT W/ 14" HT TRANSOM
N	5'-0"	5'-8"	(2) CASEMENT

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A10

LEFT ELEVATION

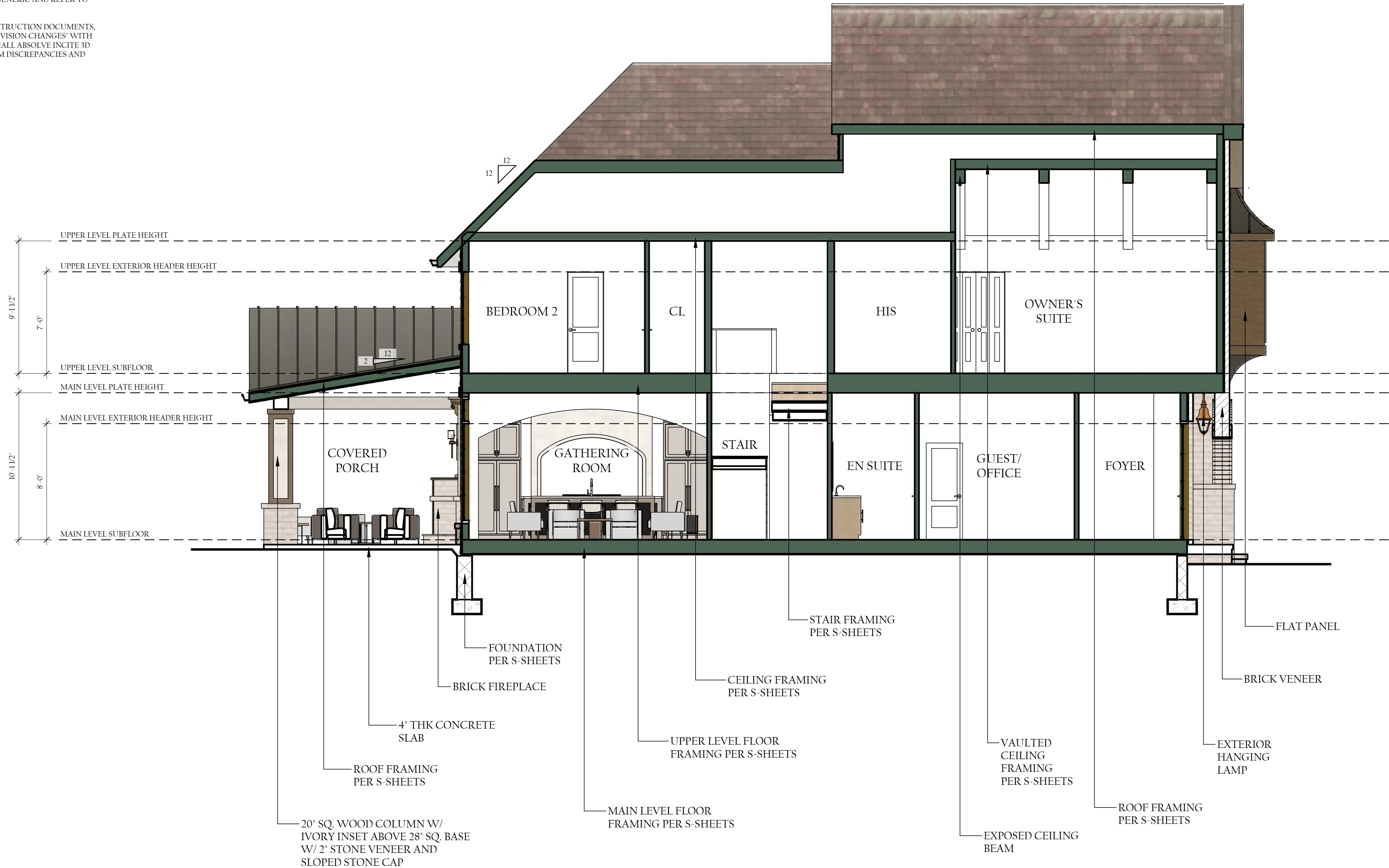
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HS1
SECTION 1

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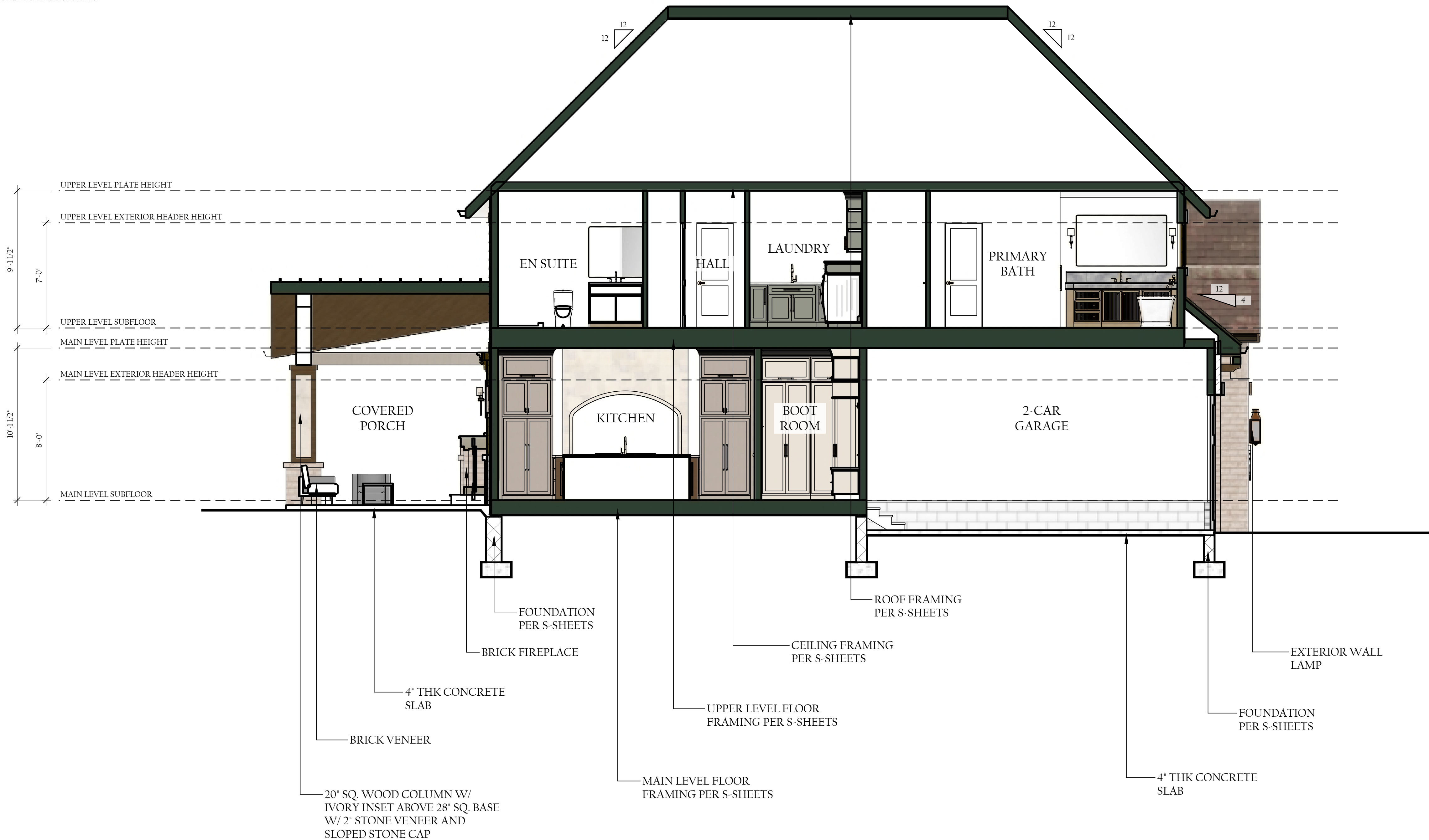
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1 SECTION 1

SCALE :: 1/4"=1'-0"

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HS2
SECTION 2

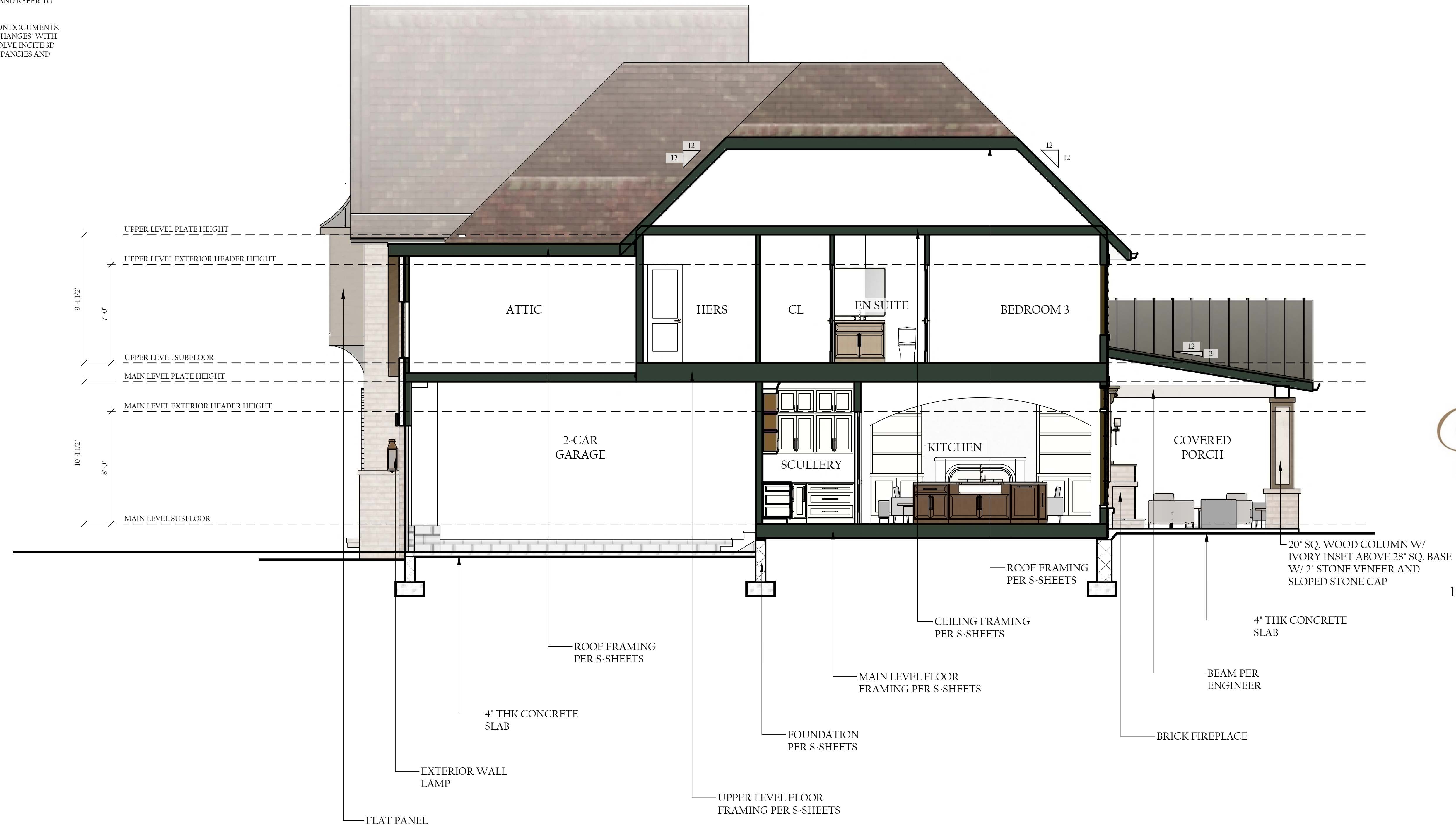
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HS3

SECTION 3

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SCALE :: 1/4"=1'-0"

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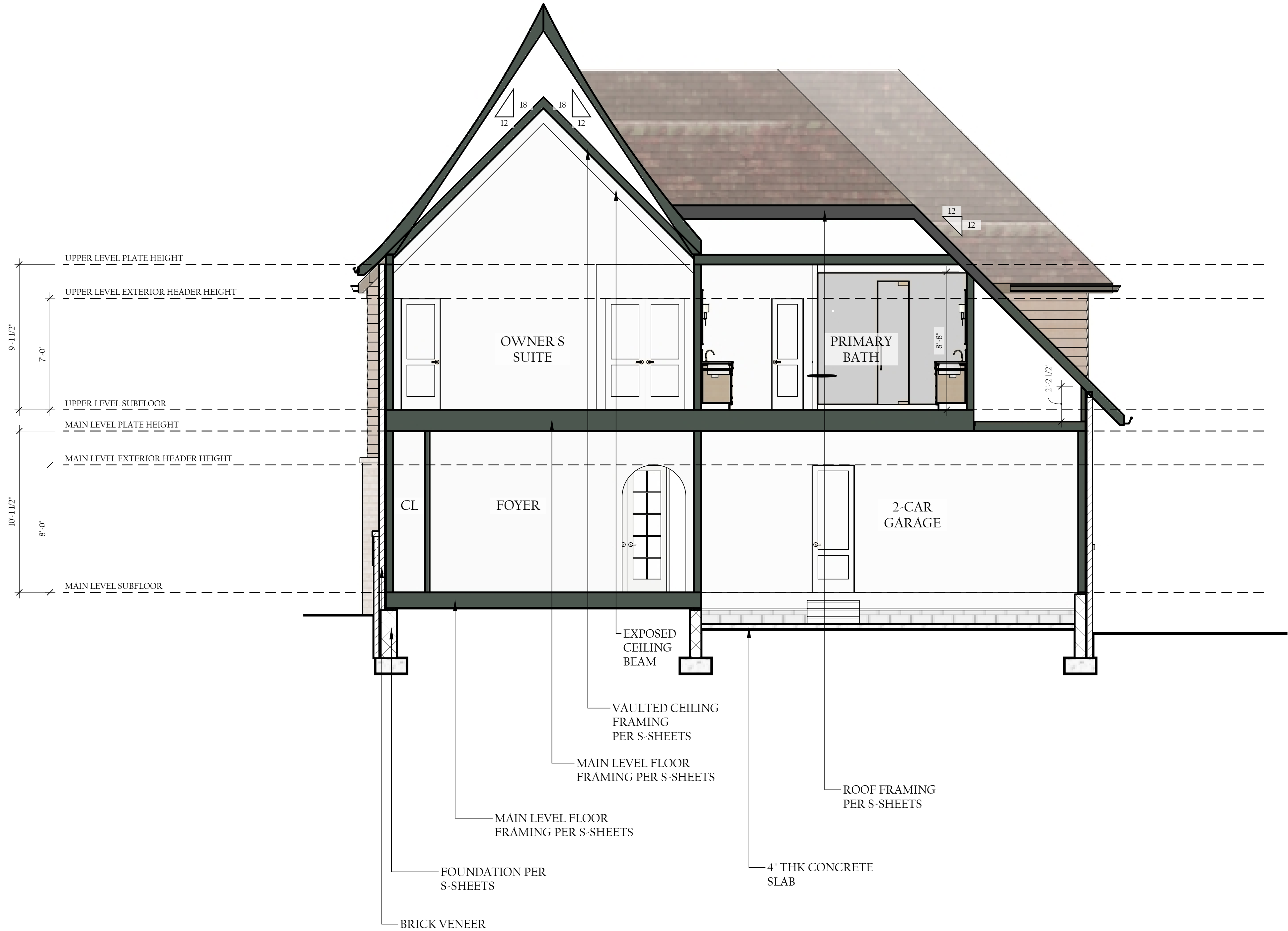
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SECTION 4

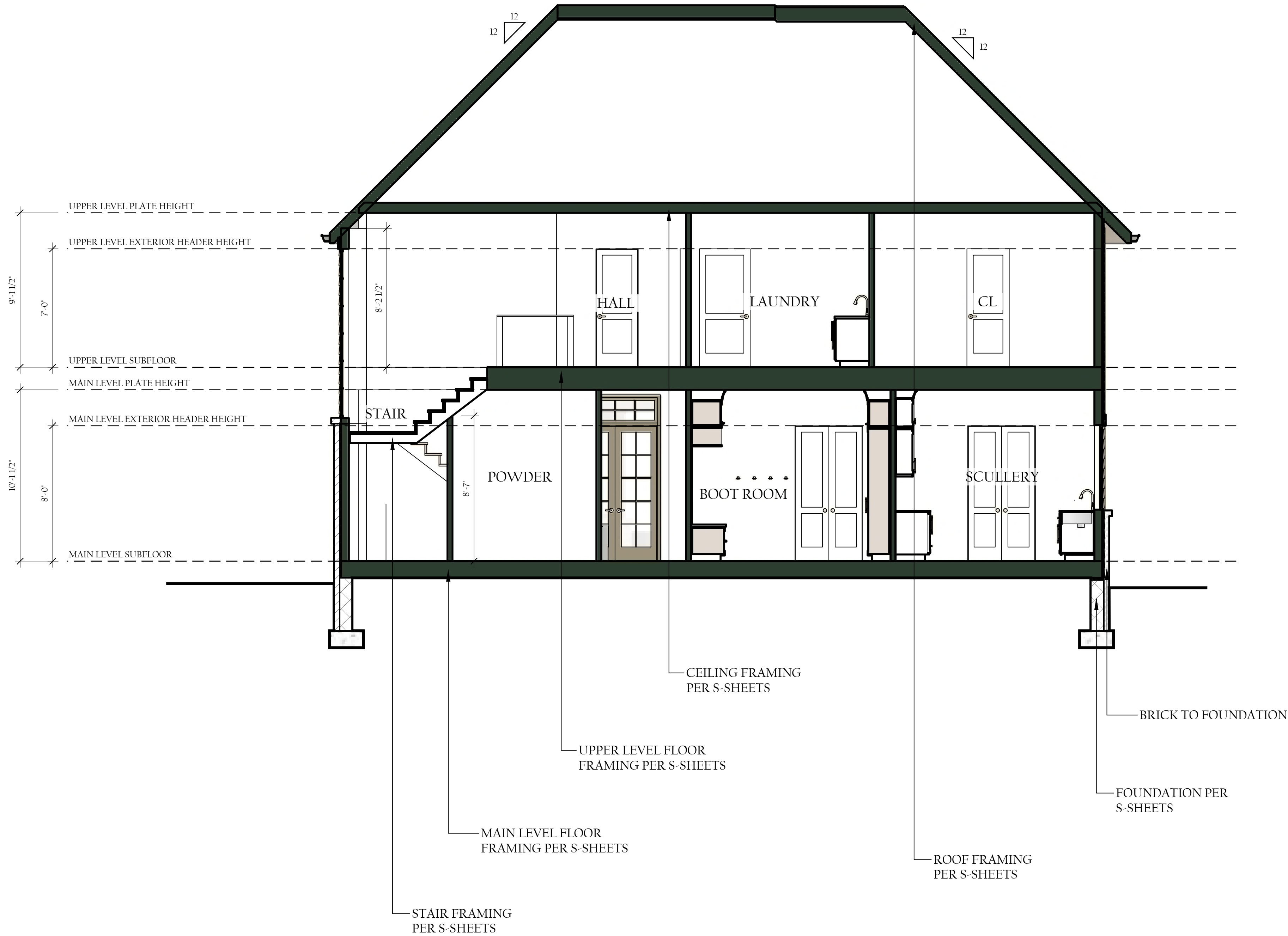
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HS5
SECTION 5

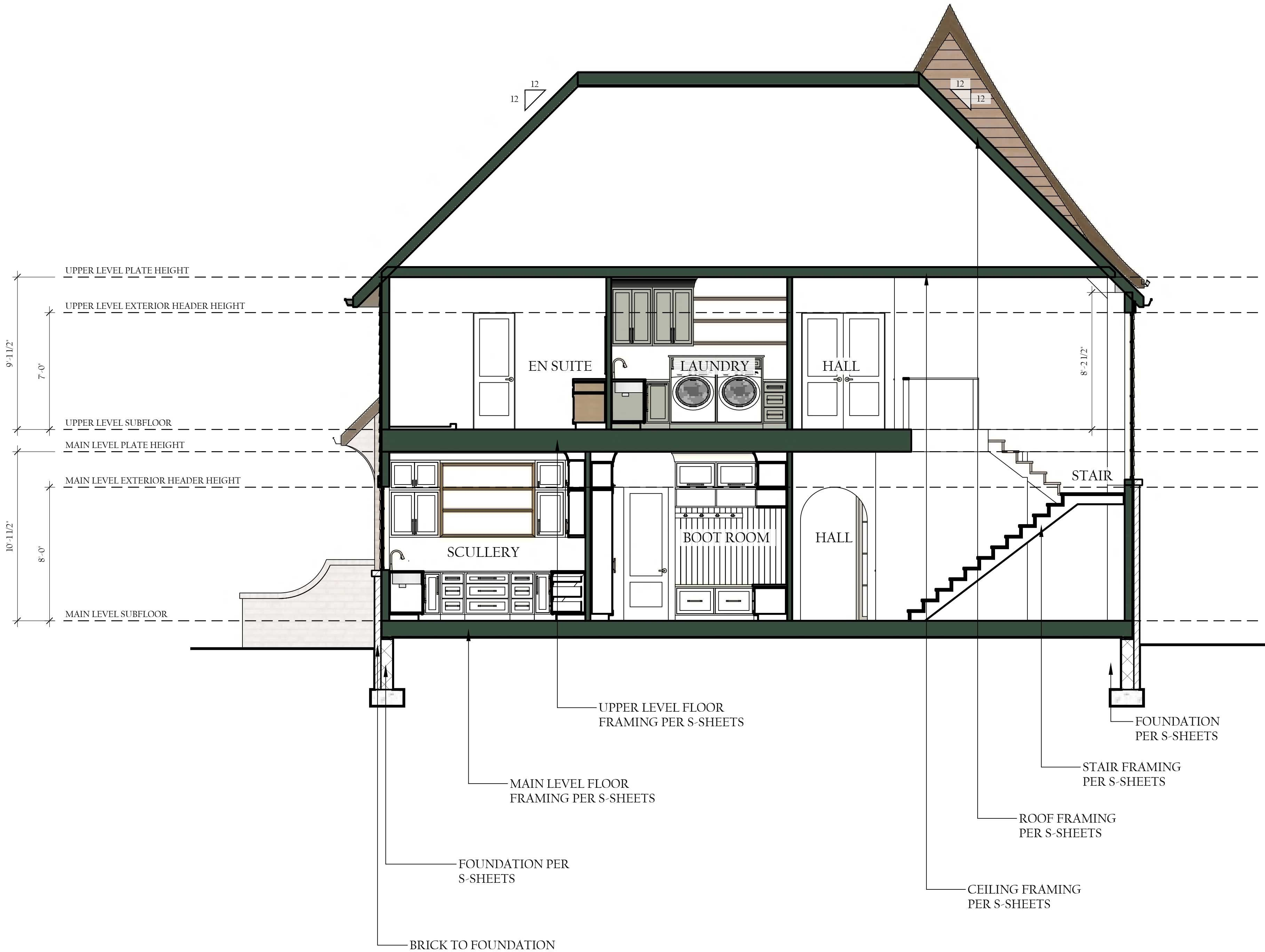
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HS6
SECTION 6

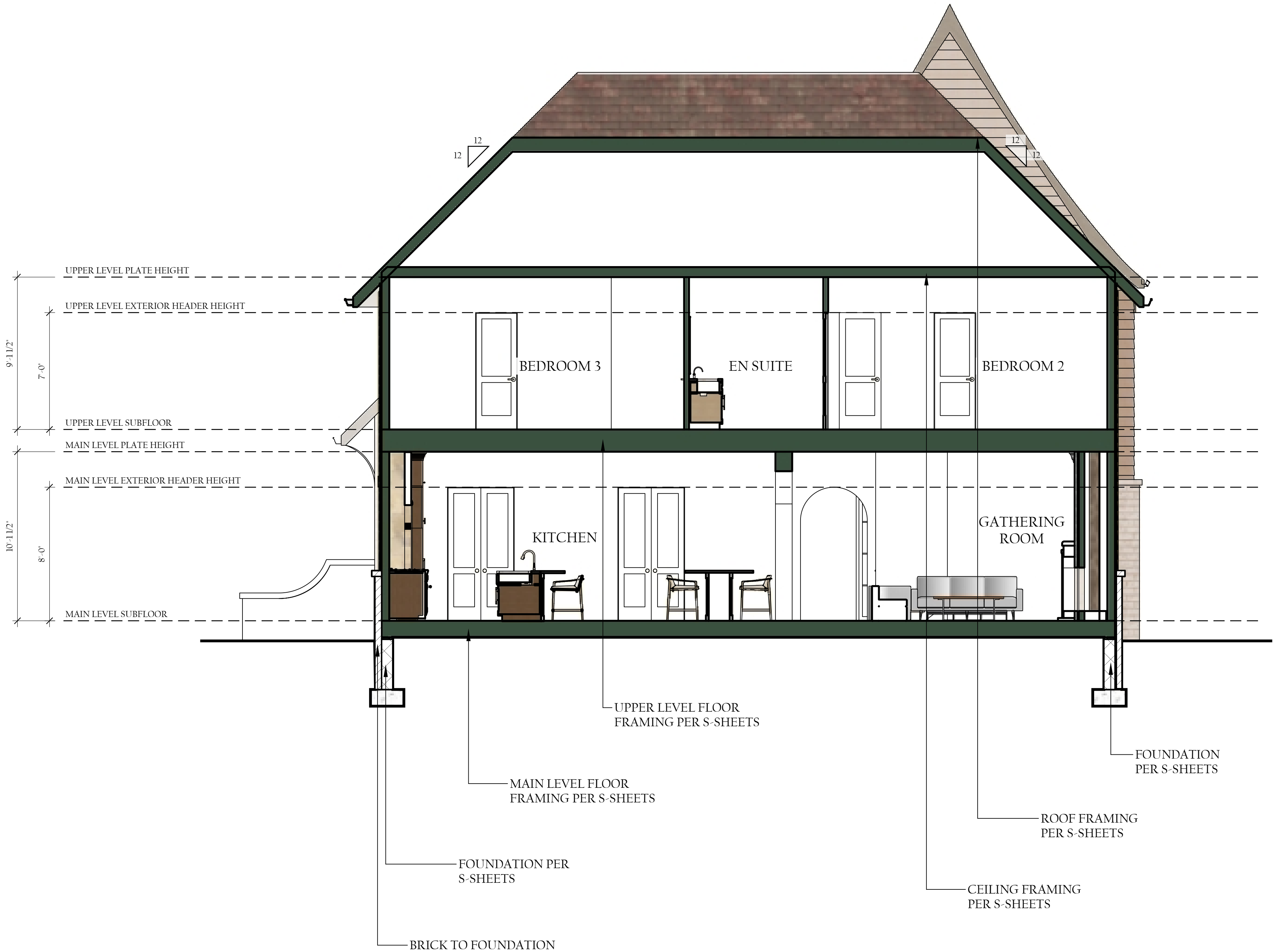
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HS7
SECTION 7

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