

INSPECTION SERVICES NORTHWEST

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**CONFIDENTIAL INSPECTION REPORT FOR THE PROPERTY LOCATED
AT:**

44325 181th Ave SE, Bellevue, WA

INSPECTION COMPLETED ON: JANUARY 10, 2017



EXCLUSIVELY PREPARED FOR:
World Real Estate Inc.

THIS AGREEMENT IS NOT TRANSFERABLE AND IS FOR THE SOLE USE OF THE CLIENT NAMED ABOVE.



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3210 SW 166th Street - Seattle, WA 98166

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SUMMARY

PRESENT AT INSPECTION:

Mr. Justin Cong

Mr. Brian Allemand

Mr. Matt Stewart

Mr. Jason Carver

Purchasers' Representative

Inspector

Inspector

Inspector

PROPERTY SUMMARY: This summary sheet is provided for the purchaser's convenience. The purchaser must read the full report, do his or her own investigation and draw his or her own conclusions as to whether the property meets his or her needs. This report only details the condition onsite at the time of inspection. No assessment of future conditions is stated or implied. This report is limited to the findings made by a visual inspection of the home. Any items that are hidden from view are not covered in this report. If this report calls for a re-inspection, then this report must be considered incomplete and all information supplied in this report is subject to revision. It is the purchaser's obligation to call for re-inspection of any areas that were inaccessible at the time of the inspection.

Building outline: This property consists of two multi story buildings. The 275 building is a two story structure supported by a re-enforced poured concrete foundation at the front & sides and concrete columns at the back with a wood post & beam floor support system and a crawlspace with concrete slab. The 325 building is a three story structure with the same support system, only the lower floor is a concrete basement slab with no crawlspace. According to the King county records the buildings were constructed in 1984.

THE FOLLOWING DATA WAS GATHERED FROM THE KING COUNTY ASSESSORS OFFICE AND NOT INDEPENDENTLY CONFIRMED. THE PURCHASER SHOULD VERIFY AS PART OF THE DUE DILIGENCE PROCESS:

Parcel	804610-0041
Name	JMS VENTURES-BELLE VIEW LLC
Site Address	325 118TH AVE SE 98005
Geo Area	80-70
Spec Area	
Property Name	BELLE VIEW OFC PARK

Jurisdiction	BELLEVUE
Levy Code	0330
Property Type	C
Plat Block / Building Number	
Plat Lot / Unit Number	3-4
Quarter-Section-Township-Range	SW-33-25-5

Legal Description

STRAWBERRY LAWN ADD LOT 2 CITY OF BELLEVUE BOUNDARY LINE ADJUSTMENT NO BLA-99-965 REC NO 19990722900006 BEING PORTION PARCELS 1 & 2 CITY OF BELLEVUE SHORT PLAT NO 83-20 REC NO 8311229001 IN NW QTR OF SW QTR STR 33-25-05 (ALSO BEING PORTION LOTS 3 & 4 STRAWBERRY LAWN)
PLat Block:
Plat Lot: 3-4

LAND DATA



Highest & Best Use As If Vacant	COMMERCIAL SERVICE
Highest & Best Use As Improved	PRESENT USE
Present Use	Office Building
Land SqFt	103,110
Acres	2.37

Percentage Unusable	0
Unbuildable	NO
Restrictive Size Shape	NO
Zoning	O
Water	WATER DISTRICT
Sewer/Septic	PUBLIC
Road Access	PUBLIC
Parking	ADEQUATE
Street Surface	PAVED

Views

Rainier	
Territorial	
Olympics	
Cascades	
Seattle Skyline	
Puget Sound	
Lake Washington	
Lake Sammamish	
Lake/River/Creek	

Waterfront

Waterfront Location	
Waterfront Footage	0
Lot Depth Factor	0
Waterfront Bank	
Tide/Shore	
Waterfront Restricted Access	
Waterfront Access Rights	NO
Poor Quality	NO
Proximity Influence	NO

Other View	
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Designations

Historic Site	
Current Use	(none)
Nbr Bldg Sites	
Adjacent to Golf Fairway	NO
Adjacent to Greenbelt	NO
Other Designation	NO
Deed Restrictions	NO
Development Rights Purchased	NO
Easements	NO
Native Growth Protection Easement	NO
DNR Lease	NO

Nuisances

Topography	
Traffic Noise	
Airport Noise	
Power Lines	NO
Other Nuisances	NO

Problems

Water Problems	NO
Transportation Concurrency	NO
Other Problems	NO

Environmental

Environmental	NO
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BUILDING

Building Number	1
Building Description	OFFICE BUILDING
Number Of Buildings Aggregated	1
Predominant Use	OFFICE BUILDING (344)
Shape	Rect or Slight Irreg
Construction Class	WOOD FRAME
Building Quality	AVERAGE



Click the camera to see more pictures.

Stories	2
Building Gross Sq Ft	37,606
Building Net Sq Ft	37,106
Year Built	1984
Eff. Year	1989
Percentage Complete	100
Heating System	HEAT PUMP
Sprinklers	Yes
Elevators	

Picture of Building 1



Section(s) Of Building Number: 1

Section Number	Section Use	Description	Stories	Height	Floor Number	Gross Sq Ft	Net Sq Ft
1	OFFICE BUILDING (344)		2	12		28,676	28,676
2	BASEMENT, OFFICE (705)		1	10	0	8,930	8,430

Landscaping: Trim all trees and shrubs back to provide a minimum of eighteen inches of separation from the siding and ten feet from the roof.

Several areas of damaged asphalt and curbing were located in the parking lot. Small areas of cracked and damaged sidewalk were also located. The parking lot area should be properly graded. All damaged paving must be replaced, the parking stalls repainted and existing curbing should be replaced as needed cracked and damaged sidewalks should also be inspected and repaired or replaced as needed. Repair all trip hazards and ensure all runoff is properly routed away from the structure.

Outdoor spaces: Locate and replace any and all damaged and or decayed decking and framing material at the deck between the north and south buildings as found to be required.

Exterior sidewall systems: Locate and replace any loose, damaged and or decayed vertical siding and t-111 siding material at the sidewall areas as found to be required on the roof, south end of the building and wood pecker damaged material at the south end of the building. Any further damage that is revealed after the siding is removed must also be replaced as found to be required.

Roofing system: The tar and gravel roofing material on the low slope sections and torchdown materials over the front entrances show signs of wear and patching and are at or near the end of its useful life and damaged cement tiles were located in several locations. The roofing materials, downspouts, gutters and flashing material must be analyzed by a licensed roofing contractor and repaired as found to be required to warranty the roof for a minimum of five years. The repairs must include but not be limited to replacing all damaged or decayed roofing material, repairing and replacing all damaged flashing and caulking, low pressure washing the roof to remove moss growth and wind blown debris, repairing or replacing all damaged or missing gutters and downspouts, properly directing the roof runoff away from the structure and completing any other repairs as recommended by the roofing contractor.

Clean the gutters, downspouts and the tightlines, repair all leaks and ensure the system is properly draining and directing all roof runoff away from the structure.

Interior systems: Replace the windows with failed seals in the southeast office, middle west and office south of there in suite 209 and as located by a licensed window repair company.

Active leaks were located on the ceiling near the east sprinkler head at the 3rd floor reception desk and above the door to the 1st room northwest of the reception desk area using thermography (see photos) and confirmed with a moisture meter but the cause was unknown. Remove the drywall in these areas to determine the cause of the leak, if it is a roof leak have a licensed roofing contractor inspect the roofing systems and complete all repairs found to be required to ensure there are no active roof leaks if it is a plumbing leak have a plumbing contractor make all repairs found to be required to ensure there are no active plumbing leaks. Replace all damaged or decayed building materials as located and complete any other necessary repairs as found to be required.

HVAC Systems: The HVAC systems must be inspected, tuned and repaired as found to be required by a licensed service contractor. Repairs must include but not be limited to a general tune up as recommended by the manufacturer, filter replacement, general cleaning, duct inspection, carbon monoxide testing, air flow and heat rise test in all living spaces and any other repairs found to be required by the service technician. Gather all maintenance documentation from the seller.

Electrical system: Repair the damaged exterior yard lights and exposed and damaged wiring as found to be required at the exterior of building 325.

Plumbing System: A sewer scope was being completed at the time of the inspection. This report excludes the waste line condition, please see the separate sewer scope report for analysis of the waste lines: all repairs found to be required to ensure the proper operation of the waste system must be completed as recommended by the plumbing contractor. Please be aware that the scope of the repairs that may be required cannot always be determined even by scoping the line.

Signs of corrosion were located at shutoff valves in the boiler room on the 1st floor. Refer to the mechanical section of the report for further information.

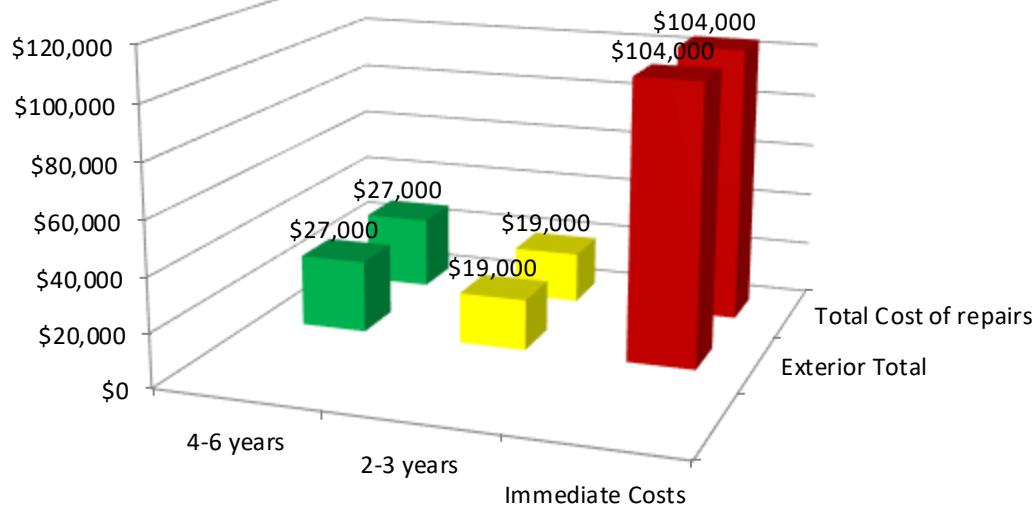
Evidence of high moisture meter readings and mold were located on the wall below the north break room sink on the first floor. Remove the drywall, repair the leak and replace all damaged materials as found to be required.

Hot Water System: The hot water tank in the north 1st floor office is 12 years old, 106 is 10 years old and the water heater in suite 104 is 17 years old and is past its expected life. The tanks must be replaced at this time to avoid the chance of water damage from the tanks failure.

Install proper earthquake straps to secure all hot water tanks as found to be required to the wall framing system.

Estimated Total Building Repair Costs Over Time

	4-6 years	2-3 years	Immediate Costs
Landscaping / paving	\$10,000	\$15,000	\$80,000
Decking / Railing/ Framing/ Stairs			\$3,000
Replace decayed siding / Fascia at all sides / repaint	\$5,000		\$7,000
Clean gutters downspouts	\$500	\$500	\$1,000
Replace all windows w/ failed seals	\$8,000	\$3,000	\$2,000
Roofing repairs		Contractors bid required	
Crawl space repairs			\$1,000
Attic repairs			\$2,500
HVAC / tune / repair / replacement		Contractors bid required	
Plumbing repairs	\$500	\$500	\$500
Hot water tank replacement			\$4,000
Electrical	\$3,000		\$3,000
Exterior Total	\$27,000	\$19,000	\$104,000
Total Cost of repairs	\$27,000	\$19,000	\$104,000



Although the cost estimates listed in this report are completed using cost estimating software and approximated quantities they are only for use as guidelines and are based on rough estimates of the quantity of materials and the scope of work required to complete the job, you must gather estimates from qualified contractors available to complete the work to determine the actual costs of the repairs. The scope of the work cannot be determined in some until demolition has been completed.

When a contractors bid is required we were unable to determine the scope of the work required. No estimate could be provided, it is recommended you gather estimates as part of your due diligence process.

IMMEDIATE REPAIRS SUGGESTED:

SECTION 1: LANDSCAPING: TRIM ALL TREES AND SHRUBS BACK TO PROVIDE A MINIMUM OF EIGHTEEN INCHES OF SEPARATION FROM THE SIDING AND TEN FEET FROM THE ROOF.

SEVERAL AREAS OF DAMAGED ASPHALT AND CURBING WERE LOCATED IN THE PARKING LOT. SMALL AREAS OF CRACKED AND DAMAGED SIDEWALK WERE ALSO LOCATED. THE PARKING LOT AREA SHOULD BE PROPERLY GRADED. ALL DAMAGED PAVING MUST BE REPLACED, THE PARKING STALLS REPAINTED AND EXISTING CURBING SHOULD BE REPLACED AS NEEDED. CRACKED AND DAMAGED SIDEWALKS SHOULD ALSO BE INSPECTED AND REPAIRED OR REPLACED AS NEEDED. REPAIR ALL TRIP HAZARDS AND ENSURE ALL RUNOFF IS PROPERLY ROUTED AWAY FROM THE STRUCTURE. TOTAL ASPHALT 80,000 SQ FT. REPLACE – 8000 SQ FT ASPHALT, REPLACE 150 LINEAL FT CURBING, REPAIR/REPLACE 300 SQ FT CONCRETE SIDEWALK, 294 REGULAR PARKING STALLS, 6 HANDI CAP STALLS. CONTRACTOR BID REQUIRED.

SECTION 2: DECKS PORCHES: LOCATE AND REPLACE ANY AND ALL DAMAGED AND OR DECAYED DECKING AND FRAMING MATERIAL AT THE DECK BETWEEN THE NORTH AND SOUTH BUILDINGS AS FOUND TO BE REQUIRED. \$1,500

SECTION 3: EXTERIOR: LOCATE AND REPLACE ANY LOOSE, DAMAGED AND OR DECAYED VERTICAL SIDING AND T-111 SIDING MATERIAL AT THE SIDEWALL AREAS AS FOUND TO BE REQUIRED ON THE ROOF, SOUTH END OF THE BUILDING AND WOOD PECKER DAMAGED MATERIAL AT THE SOUTH END OF THE BUILDING. ANY FURTHER DAMAGE THAT IS REVEALED AFTER THE SIDING IS REMOVED MUST ALSO BE REPLACED AS FOUND TO BE REQUIRED. \$3,500

SECTION 4: ROOFING: THE TAR AND GRAVEL ROOFING MATERIAL ON THE LOW SLOPE SECTIONS AND TORCHDOWN MATERIALS OVER THE FRONT ENTRANCES SHOWS SIGNS OF WEAR AND PATCHING AND ARE AT OR NEAR THE END OF ITS USEFUL LIFE AND DAMAGED CEMENT TILES WERE LOCATED IN SEVERAL LOCATIONS. THE ROOFING MATERIALS, DOWNSPOUTS, GUTTERS AND FLASHING MATERIAL MUST BE ANALYZED BY A LICENSED ROOFING CONTRACTOR AND REPAIRED AS FOUND TO BE REQUIRED TO WARRANTY THE ROOF FOR A MINIMUM OF FIVE YEARS. THE REPAIRS MUST INCLUDE BUT NOT BE LIMITED TO REPLACING ALL DAMAGED OR DECAYED ROOFING MATERIAL, REPAIRING AND REPLACING ALL DAMAGED FLASHING AND CAULKING, LOW PRESSURE WASHING THE ROOF TO REMOVE MOSS GROWTH AND WIND BLOWN DEBRIS, REPAIRING OR REPLACING ALL DAMAGED OR MISSING GUTTERS AND DOWNSPOUTS, PROPERLY DIRECTING THE ROOF RUNOFF AWAY FROM THE STRUCTURE AND COMPLETING ANY OTHER REPAIRS AS RECOMMENDED BY THE ROOFING CONTRACTOR. CONTRACTOR BID REQUIRED.

CLEAN THE GUTTERS, DOWNSPOUTS AND THE TIGHTLINES, REPAIR ALL LEAKS AND ENSURE THE SYSTEM IS PROPERLY DRAINING AND DIRECTING ALL ROOF RUNOFF AWAY FROM THE STRUCTURE.

SECTION 8: INTERIOR: REPLACE THE WINDOWS WITH FAILED SEALS IN THE SOUTHEAST OFFICE, MIDDLE WEST AND OFFICE SOUTH OF THERE IN SUITE 209 AND AS LOCATED BY A LICENSED WINDOW REPAIR COMPANY.

ACTIVE LEAKS WERE LOCATED ON THE CEILING NEAR THE EAST SPRINKLER HEAD AT THE 3RD FLOOR RECEPTION DESK AND ABOVE THE DOOR TO THE 1ST ROOM NORTHWEST OF THE RECEPTION DESK AREA USING THERMOGRAPHY (SEE PHOTOS) AND CONFIRMED WITH A MOISTURE METER BUT THE CAUSE WAS UNKNOWN. REMOVE THE DRYWALL IN THESE AREAS TO DETERMINE THE CAUSE OF THE LEAK, IF IT IS A ROOF LEAK HAVE A LICENSED ROOFING CONTRACTOR INSPECT THE ROOFING SYSTEMS AND COMPLETE ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THERE ARE NO ACTIVE ROOF LEAKS IF IT IS A PLUMBING LEAK HAVE A PLUMBING CONTRACTOR MAKE ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THERE ARE NO ACTIVE PLUMBING LEAKS. REPLACE ALL DAMAGED OR DECAYED BUILDING MATERIALS AS LOCATED AND COMPLETE ANY OTHER NECESSARY REPAIRS AS FOUND TO BE REQUIRED. CONTRACTOR BID REQUIRED.

SECTION 9: BATHROOMS: THE HANDICAP STALL IN THE 3rd FLOOR MENS BATHROOM IS MARKED OUT OF ORDER. PERFORM ALL REPAIRS AS FOUND TO BE REQUIRED. CONTRACTOR BID REQUIRED.

SECTION 12: HEATING: RECOMMEND GATHERING ALL SERVICE AND MAINTENANCE RECORDS FROM THE SELLER FOR THE HVAC SYSTEMS. THE HVAC SYSTEMS MUST BE INSPECTED, TUNED AND REPAIRED AS FOUND TO BE REQUIRED BY A LICENSED SERVICE CONTRACTOR. REPAIRS MUST INCLUDE BUT NOT BE LIMITED TO A GENERAL TUNE UP AS RECOMMENDED BY THE MANUFACTURER, FILTER REPLACEMENT, GENERAL CLEANING, DUCT INSPECTION, AIR FLOW AND HEAT RISE TEST IN ALL LIVING SPACES AND ANY OTHER REPAIRS FOUND TO BE REQUIRED BY THE SERVICE TECHNICIAN.

SECTION 13: ELECTRICAL: REPAIR THE DAMAGED EXTERIOR YARD LIGHTS AND EXPOSED AND DAMAGED WIRING AS FOUND TO BE REQUIRED AT THE EXTERIOR OF BUILDING 325.
\$2,000

SECTION 14: PLUMBING: A SEWER SCOPE WAS BEING COMPLETED AT THE TIME OF THE INSPECTION. THIS REPORT EXCLUDES THE WASTE LINE CONDITION, PLEASE SEE THE SEPARATE SEWER SCOPE REPORT FOR ANALYSIS OF THE WASTE LINES: ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THE PROPER OPERATION OF THE WASTE SYSTEM MUST BE COMPLETED AS RECOMMENDED BY THE PLUMBING CONTRACTOR. PLEASE BE AWARE THAT THE SCOPE OF THE REPAIRS THAT MAY BE REQUIRED CANNOT ALWAYS BE DETERMINED EVEN BY SCOPING THE LINE.

SIGNS OF CORROSION WERE LOCATED AT SHUTOFF VALVES IN THE BOILER ROOM ON THE 1ST FLOOR. REFER TO THE MECHANICAL SECTION OF THE REPORT FOR FURTHER INFORMATION.

EVIDENCE OF HIGH MOISTURE METER READINGS AND MOLD WERE LOCATED ON THE WALL BELOW THE NORTH BREAK ROOM SINK ON THE FIRST FLOOR. REMOVE THE DRYWALL, REPAIR THE LEAK AND REPLACE ALL DAMAGED MATERIALS AS FOUND TO BE REQUIRED.

SECTION 15: HOT WATER: THE HOT WATER TANK IN THE NORTH 1ST FLOOR OFFICE IS 12 YEARS OLD, 106 IS 10 YEARS OLD AND THE WATER HEATER IN SUITE 104 IS 17 YEARS OLD AND IS PAST ITS EXPECTED LIFE. THE TANKS MUST BE REPLACED AT THIS TIME TO AVOID THE CHANCE OF WATER DAMAGE FROM THE TANKS FAILURE.

INSTALL PROPER EARTHQUAKE STRAPS TO SECURE ALL HOT WATER TANKS AS FOUND TO BE REQUIRED TO THE WALL FRAMING SYSTEM.

MAIN CONTROL LOCATIONS

Electrical service location:

Electrical room

Attic access location:

Rooftop

Water main shut off valve:

Janitor Closet

Gas meters and shut off location:

N/A

For the purposes of this report, the structure faces:

East

Weather conditions:

Light rain, Approximately 35 degrees

GROUPS AND OUTDOOR SPACES

1. LANDSCAPING, DRIVES, FENCING, GRADING

The landscaping is inspected for any unsafe conditions including dead or dying tree branches, plant or shrubs too close to the structure, pitch of the land in relation to the structure, abnormal cracking, sinking drives or walks and the general condition of fences. It is beyond the scope of this report to comment on any property boundaries. Deciduous trees cannot be analyzed for dead branches at certain times of the year.

IRRIGATION SYSTEMS ARE EXCLUDED FROM THIS REPORT, ANY FURTHER INFORMATION IS REQUIRED IT SHOULD BE GATHERED FROM THE SELLER OR AN EXPERT IN THE FIELD.

Condition of the lawn and landscaping: General landscaping conditions are noted to recognize adverse conditions that relate to the condition of the structure.



Trees and shrubs: Trees and shrubs that are a safety hazard to the structure will be noted.



Trees overhanging the roof surface and against siding: Trees overhanging the roof surface increase roof maintenance and may be a safety concern. All branches overhanging the roof surface should be removed.



TRIM ALL TREES AND SHRUBS BACK TO PROVIDE A MINIMUM OF EIGHTEEN INCHES OF SEPARATION FROM THE SIDING AND TEN FEET FROM THE ROOF.

Condition of fences: Fences in poor condition and in need of repair will be noted, but not listed for repair. Fencing does not affect the living structure.



Condition of driveways and other impervious surfaces: Cracking and settling of driveways and walks is normal, particularly in older homes. Large cement pours without expansion joints will crack and settle with age. Only severe adverse conditions will be noted for immediate repair.



Driveway repairs: Repair existing driveway. Minor cracking should be repaired. Major cracking and holes should be filled with the proper material. Driveway should be properly graded and curbing should be replaced as needed. Sidewalks should also be inspected and repaired or replaced as needed.











SEVERAL AREAS OF DAMAGED ASPHALT AND CURBING WERE LOCATED IN THE PARKING LOT. SMALL AREAS OF CRACKED AND DAMAGED SIDEWALK WERE ALSO LOCATED. THE PARKING LOT AREA SHOULD BE PROPERLY GRADED. ALL DAMAGED PAVING MUST BE REPLACED, THE PARKING STALLS REPAINTED AND EXISTING CURBING SHOULD BE REPLACED AS NEEDED. CRACKED AND DAMAGED SIDEWALKS SHOULD ALSO BE INSPECTED AND REPAIRED OR REPLACED AS NEEDED. REPAIR ALL TRIP HAZARDS AND ENSURE ALL RUNOFF IS PROPERLY ROUTED AWAY FROM THE STRUCTURE.

Grading: Proper grading of the landscape requires that all ground be positively sloped away from the structure. This is to ensure ground water is directed away from the structure and does not either pool against the foundation or enter the foundation crawl space. In some cases, the landscape has matured with an improper slope but has not had any adverse effect. In this case, no repair will be suggested.



Earth to wood contact: Earth to wood contact occurs when the finish ground grade level is too high around the perimeter of the structure. This allows moisture to migrate from the ground or landscape material into the siding and framing material and will over time cause fungal decay of the materials. This repair will be noted even if damage has not yet occurred to avoid future damage.

NONE

Exterior plumbing protected from freezing:

NO

IMMEDIATE REPAIRS SUGGESTED:

SECTION 1: LANDSCAPING: TRIM ALL TREES AND SHRUBS BACK TO PROVIDE A MINIMUM OF EIGHTEEN INCHES OF SEPARATION FROM THE SIDING AND TEN FEET FROM THE ROOF.

SEVERAL AREAS OF DAMAGED ASPHALT AND CURBING WERE LOCATED IN THE PARKING LOT. SMALL AREAS OF CRACKED AND DAMAGED SIDEWALK WERE ALSO LOCATED. THE PARKING LOT AREA SHOULD BE PROPERLY GRADED. ALL DAMAGED PAVING MUST BE REPLACED, THE PARKING STALLS REPAINTED AND EXISTING CURBING SHOULD BE REPLACED AS NEEDED. CRACKED AND DAMAGED SIDEWALKS SHOULD ALSO BE INSPECTED AND REPAIRED OR REPLACED AS NEEDED. REPAIR ALL TRIP HAZARDS AND ENSURE ALL RUNOFF IS PROPERLY ROUTED AWAY FROM THE STRUCTURE.

2. OUTDOOR SPACES, ENTRYWAYS, PORTICO'S, WALKWAYS:

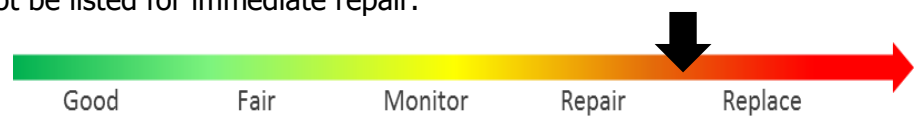
This area lists all information on porches, decking, gazebos, and any other outdoor structures attached to the main structure. Outbuildings are not included in this report. The general condition of the deck, porch, or patio is inspected for any decay or damaged material. Inaccessible, unsafe or decks less than five feet off the ground will not be inspected and or excluded from this report.



Structure type:

Entryway / Deck

Condition of flooring: The visible deck flooring material is inspected for damage and decay. In most cases, some sections of the deck structure will be inaccessible because of grade or enclosures. Inaccessible areas are excluded from this report. Minor decay that does not affect the structural integrity or use of the deck system will not be listed for immediate repair.



Decayed deck / porch and stair material located: Decayed material was located at the south side and front porches during the course of the inspection. The exact extent of the damaged material and repair required cannot usually be determined until the area has been dismantled to reveal the underlying structure.

All damaged material that is located during the process of repair must be replaced.



LOCATE AND REPLACE ANY AND ALL DAMAGED AND OR DECAYED DECKING AND FRAMING MATERIAL AT THE DECK BETWEEN THE NORTH AND SOUTH BUILDINGS AS FOUND TO BE REQUIRED.

Was the deck substructure accessible?

Inaccessible decks area are excluded from this report.

The deck structure was not accessible

General condition of structure: A complete analysis of the structural integrity of the deck and components is beyond the scope of this inspection. If any deck is to be used for any purpose that increases the deck loads, the deck should be checked by a licensed contractor using load calculations to determine if the deck meets the proposed needs.



SEE ABOVE.

IMMEDIATE REPAIRS SUGGESTED:

SECTION 2: DECKS PORCHES: LOCATE AND REPLACE ANY AND ALL DAMAGED AND OR DECAYED DECKING AND FRAMING MATERIAL AT THE DECK BETWEEN THE NORTH AND SOUTH BUILDINGS AS FOUND TO BE REQUIRED.

3. EXTERNAL WALL COVERINGS

The external wall coverings are inspected from the ground for general condition, condition of paint, any missing components or flashing, and excessive gaps between the siding and window trim. The fascia and soffit systems are inspected from the ground for venting and any signs of moisture buildup in the attic area.

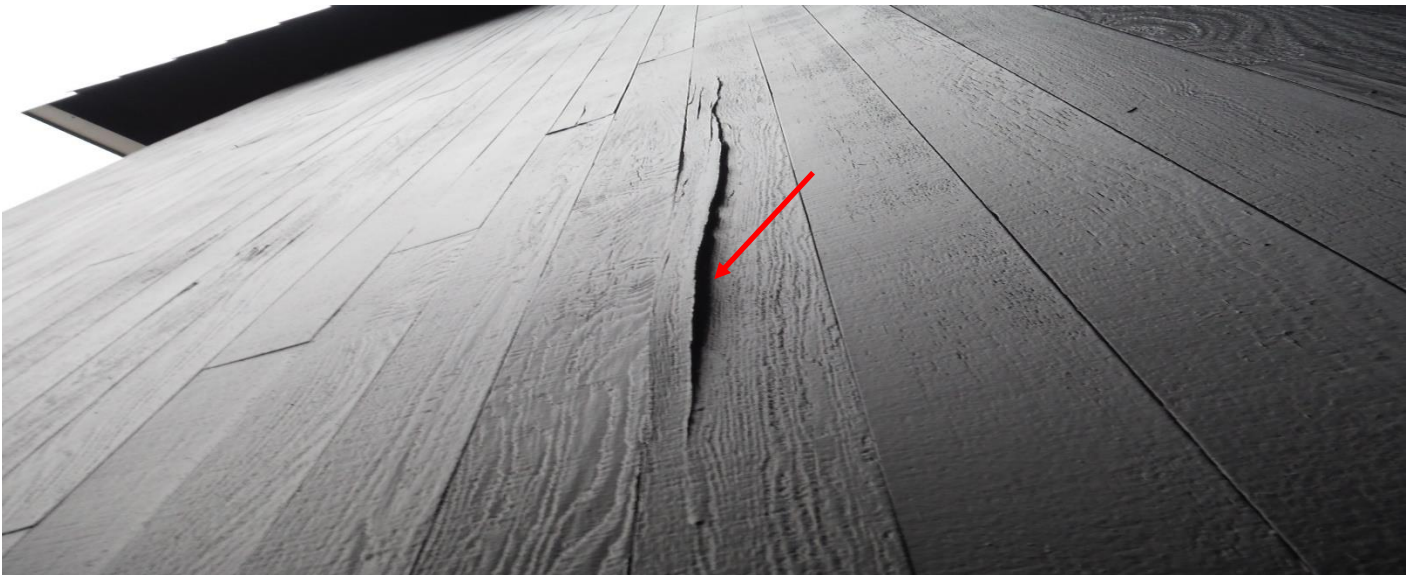
Siding Material: Destructive testing or dismantling of the siding system is beyond the scope of this inspection. Problems related to wall flashing, window flashing, and house moisture barrier must be excluded from this report because of their hidden nature. If our visual analysis of the exterior or interior building components indicates a problem related to the siding or moisture barrier, invasive testing of the system should be performed by a licensed contractor or expert in the field. Older homes that have been upgraded with the installation of a second layer of siding over the original layer limit the effectiveness of a visual inspection. The original siding material may have damage that is hidden from view.

Vertical Cedar / T-11

Condition: The siding material is inspected for any substantial damage, missing components signs of material failure, decay or other visible damage. Identification of the type of material used and the manufacturer will be attempted if it is a manmade composite material. If the material is subject to a known class action suit, the appropriate contact information will be listed. It is outside the scope of the inspection to determine if a material is or is not eligible for a claim or monetary compensation.



Decayed siding material located: Decayed siding material was located during the course of the inspection. The exact extent of the damaged material and repair required cannot usually be determined until the area has been dismantled to reveal the underlying structure. All damaged material that is located during the process of repair must be replaced.





LOCATE AND REPLACE ANY LOOSE, DAMAGED AND OR DECAYED VERTICAL SIDING AND T-111 SIDING MATERIAL AT THE SIDEWALL AREAS AS FOUND TO BE REQUIRED ON THE ROOF, SOUTH END OF THE BUILDING AND WOOD PECKER DAMAGED MATERIAL AT THE SOUTH END OF THE BUILDING. ANY FURTHER DAMAGE THAT IS REVEALED AFTER THE SIDING IS REMOVED MUST ALSO BE REPLACED AS FOUND TO BE REQUIRED.

Paint: The general paint condition is noted. Any areas of failing paint will be listed for immediate repainting.



Eaves, soffit and fascia condition:

The roof eave system is inspected for any water damage, bird damage or attic vent screen damage.



Window material:

Aluminum

Window glazing:

Double pane

Decay:

None visible

Caulking condition:



Exterior outlets:

Yes



IMMEDIATE REPAIRS SUGGESTED:

SECTION 3: EXTERIOR: LOCATE AND REPLACE ANY LOOSE, DAMAGED AND OR DECAYED VERTICAL SIDING AND T-111 SIDING MATERIAL AT THE SIDEWALL AREAS AS FOUND TO BE REQUIRED ON THE ROOF, SOUTH END OF THE BUILDING AND WOOD PECKER DAMAGED MATERIAL AT THE SOUTH END OF THE BUILDING. ANY FURTHER DAMAGE THAT IS REVEALED AFTER THE SIDING IS REMOVED MUST ALSO BE REPLACED AS FOUND TO BE REQUIRED.

4. ROOFING, CHIMNEY EXTERIOR AND GUTTERS

The roofing is inspected for signs of excessive wear, cracked or missing flashing, sub-standard application of roofing material, and sub-standard roof penetrations. This inspection should in no way be taken as a warranty that the roof is or will be free of leaks. Some roofs are inaccessible because of weather conditions or pitch. Weather conditions limit the effectiveness of a visual inspection; active leaks could be hidden from view.

IT IS AT THE SOLE DISCRETION OF THE INSPECTOR TO DETERMINE IF THE ONSITE CONDITIONS AT THE TIME OF THE INSPECTION ALLOW THE ROOF TO BE WALKED OR ANALYZED FROM THE GROUND.



Roofing material:

Torchdown / Cement tile

Number of roofing layers: Because of the hidden nature of multiple coats of roofing material, it may not be possible to determine the number of roofing layers on some houses. Therefore, this number is an estimate based on both visual analysis and the inspector's best professional opinion.

1

Type of layers:

Tar & Gravel / Cement tile / Torchdown

Condition: The roofing material is inspected for any signs of severe wear, cracking, missing material, pooling, excessive debris, flashing condition, skylight condition, and venting, general wear. Our analysis is severely limited because of the short amount of time of site. Weather conditions at the time of the inspection can severely limit the chance of finding active roofing leaks.



Decay and Wear and damage noted at roofing surface: The roofing surface is showing signs of wear in limited areas. A roof in this condition must be analyzed by a licensed roofing contractor and repaired as found to be required to warranty a minimum expected life of five years.







THE TAR AND GRAVEL ROOFING MATERIAL ON THE LOW SLOPE SECTIONS AND TORCHDOWN MATERIALS OVER THE FRONT ENTRANCES SHOWS SIGNS OF WEAR AND PATCHING AND ARE AT OR NEAR THE END OF ITS USEFUL LIFE AND DAMAGED CEMENT TILES WERE LOCATED IN SEVERAL LOCATIONS. THE ROOFING MATERIALS, DOWNSPOUTS, GUTTERS AND FLASHING MATERIAL MUST BE ANALYZED BY A LICENSED ROOFING CONTRACTOR AND REPAIRED AS FOUND TO BE REQUIRED TO WARRANTY THE ROOF FOR A MINIMUM OF FIVE YEARS. THE REPAIRS MUST INCLUDE BUT NOT BE LIMITED TO REPLACING ALL DAMAGED OR DECAYED ROOFING MATERIAL, REPAIRING AND REPLACING ALL DAMAGED FLASHING AND CAULKING, LOW PRESSURE WASHING THE ROOF TO REMOVE MOSS GROWTH AND WIND BLOWN DEBRIS, REPAIRING OR REPLACING ALL DAMAGED OR MISSING GUTTERS AND DOWNSPOUTS, PROPERLY DIRECTING THE ROOF RUNOFF AWAY FROM THE STRUCTURE AND COMPLETING ANY OTHER REPAIRS AS RECOMMENDED BY THE ROOFING CONTRACTOR.

Pitch: The pitch of the roof surface is the steepness of the roof. Roof system pitch dictates the roofing materials used. A low pitch roof, less the 3/12 (3 inches of rise for every 12 inches of run) does not have adequate pitch for a typical asphalt tab roofing material and must have a torchdown or tar roofing material.

Moderate & Low

Roofing material in relation to pitch:

Good

Flashing: The roof flashing material is the material that protects the roof from leaks at the roof penetrations such as the plumbing stacks, chimneys, skylights, etc. The area is inspected for general condition, signs of previous repairs and is inspected from the attic space for previous leaks if the areas are accessible.



SEE ABOVE.

Ventilation: Older roofs will not be required to be brought to current standards if there are no visible signs of damage to the structure. The ventilation system will be inspected to determine if it is adequate for the site conditions and to determine if there is any sign of excessive heat or moisture build up occurring in the attic space



Chimney type and condition: Analysis of the chimney system is limited in nature because in most cases only the exterior components and a small area of the interior sections of the chimney are visible. The chimney is inspected for signs of severely damaged or missing mortar, settling, cracking or water damage. Testing the system for proper draft is outside the scope of this inspection.

N/A

Skylights: Skylights are inspected from the exterior and interior. Minor moisture staining in the skylight chase area is common. This is particularly true on older skylights or in damp areas of the home such as bathrooms.

None

Method of inspection: Because of steep pitches, weather conditions, type of roofing system, or other reasons, walking the roof surface may not be possible. If analysis must be made from the ground or ladder, the analysis will be limited to the areas visible from the ground. Inspection is for general wear and damage to the roofing components. No statement of life expectancy is stated or implied. It is not possible to determine the exact chronological age or life expectancy of any roofing material.

The roof was inspected from the roofing surface.

Scuppers, gutters & downspouts: Gutters and downspouts are inspected for general condition and any visible signs of blockage or soil erosion from blocked tight lines.



Gutters and downspouts: The gutters and downspouts were not in operating condition because of a build up of debris in the system. Gutters and downspouts must be maintained to ensure proper operation at all times. Water damage to the eaves and sidewalls will occur if the systems are not maintained.





CLEAN THE GUTTERS, DOWNSPOUTS AND THE TIGHTLINES, REPAIR ALL LEAKS AND ENSURE THE SYSTEM IS PROPERLY DRAINING AND DIRECTING ALL ROOF RUNOFF AWAY FROM THE STRUCTURE.

IMMEDIATE REPAIRS SUGGESTED:

SECTION 4: ROOFING: THE TAR AND GRAVEL ROOFING MATERIAL ON THE LOW SLOPE SECTIONS AND TORCHDOWN MATERIALS OVER THE FRONT ENTRANCES SHOWS SIGNS OF WEAR AND PATCHING AND ARE AT OR NEAR THE END OF ITS USEFUL LIFE AND DAMAGED CEMENT TILES WERE LOCATED IN SEVERAL LOCATIONS. THE ROOFING MATERIALS, DOWNSPOUTS, GUTTERS AND FLASHING MATERIAL MUST BE ANALYZED BY A LICENSED ROOFING CONTRACTOR AND REPAIRED AS FOUND TO BE REQUIRED TO WARRANTY THE ROOF FOR A MINIMUM OF FIVE YEARS. THE REPAIRS MUST INCLUDE BUT NOT BE LIMITED TO REPLACING ALL DAMAGED OR DECAYED ROOFING MATERIAL, REPAIRING AND REPLACING ALL DAMAGED FLASHING AND CAULKING, LOW PRESSURE WASHING THE ROOF TO REMOVE MOSS GROWTH AND WIND BLOWN DEBRIS, REPAIRING OR REPLACING ALL DAMAGED OR MISSING GUTTERS AND DOWNSPOUTS, PROPERLY DIRECTING THE ROOF RUNOFF AWAY FROM THE STRUCTURE AND COMPLETING ANY OTHER REPAIRS AS RECOMMENDED BY THE ROOFING CONTRACTOR.

CLEAN THE GUTTERS, DOWNSPOUTS AND THE TIGHTLINES, REPAIR ALL LEAKS AND ENSURE THE SYSTEM IS PROPERLY DRAINING AND DIRECTING ALL ROOF RUNOFF AWAY FROM THE STRUCTURE.

5. THE GARAGE OR PARKING AREA:

N/A

IMMEDIATE REPAIRS SUGGESTED:

SECTION 5: GARAGE: NONE

BUILDING INTERIOR

6. FOUNDATION AND STRUCTURAL SYSTEM

This area includes all sub-structures, footings and support structures. It must be noted that under most circumstances inspection of all portions of the sub-structures is not possible. Any problems that are visible during the inspection will be noted, and a structural inspection may be required if there are potential problem areas. No representations as to the conditions or stability of soils, footings or foundations are made, other than to note any shifting or sinking that may have occurred as of the date of this inspection. The subflooring may not be accessible. Any area that is determined to be unsafe or inaccessible by the inspector will not be inspected. If any area of the crawl space is inaccessible, it is the client's responsibility to call for re-inspection after access has been provided. Failure of the client to call for re-inspection shall deem this inspection incomplete. The client agrees to assume the risk for any damage incurred.

The analysis of foundation systems will not include bringing older structures to current standards. Older structures may show signs of substantial settling or compression of materials that have occurred over the years that do not require repair or replacement under current use, but may require substantial repair or even replacement if any work is completed that affects the current conditions. Older foundation systems will not meet current workmanship standards. This report cannot identify or report the upgrading or repairs required to bring older foundations to current standards.

Nature of foundation: Slab on grade

Foundation material: Poured concrete

Exterior wall type: Wood

Floor Structure: Concrete

Dampness and decay: Weather conditions at the time of the inspection will affect the amount of water in the crawl space. It is common for small amounts of migratory water to be present in the crawl space during the rainy season. This report only covers the condition of the crawl space at the time of the inspection.

None visible

Basement walls: Minor settling noted: no repair required at this time

Subflooring: It is common for some areas of the subflooring to be inaccessible because of insulation or for other reasons. These areas are excluded from this report.

Inaccessible in some areas, inaccessible areas are outside the scope of this inspection.

General condition of foundation: Good

Sump pump present:

No

IMMEDIATE REPAIRS SUGGESTED:

SECTION 6: FOUNDATION: NONE

7. INTERIOR

Cosmetic damage will not be noted during this inspection. The purchaser should make his or her own observations of cosmetic damage and any required repairs. Areas blocked by personal property, including but not limited to wall and floor surfaces, cannot be inspected and are excluded from this report.



Window operation: Only a representative number of windows will be tested for proper operation.

Fair

Window condition: This refers to the general condition of the windows. Cosmetic damage including damaged or missing screens will not be included as repairs. In older homes inoperable windows may be noted but will not be called out for repairs.



Failed window seals: Double pane windows that show signs of condensation between the two panes of glass have a degraded window seal that is allowing moisture to migrate into the space between the panes of glass. This condition does not allow water in from the exterior but does cause condensation to form on the interior glass of the unit and will fog over in humid or cold weather conditions.

Further information: http://www.ehow.com/how_4860844_to-fix-failed-window-seal.html

REPLACE THE WINDOWS WITH FAILED SEALS IN THE SOUTHEAST OFFICE, MIDDLE WEST AND OFFICE SOUTH OF THERE IN SUITE 209 AND AS LOCATED BY A LICENSED WINDOW REPAIR COMPANY.

ACCESS WAS GAINED TO SUITE 210 BUT THERE WAS NO ACCESS TO THE 3 OFFICE AREAS INSIDE THE SUITE. THESE AREAS ARE THEREFORE EXCLUDED FROM THE REPORT.

Finish flooring materials:

Carpet, Vinyl, Wood, Tile

Finish wall material:

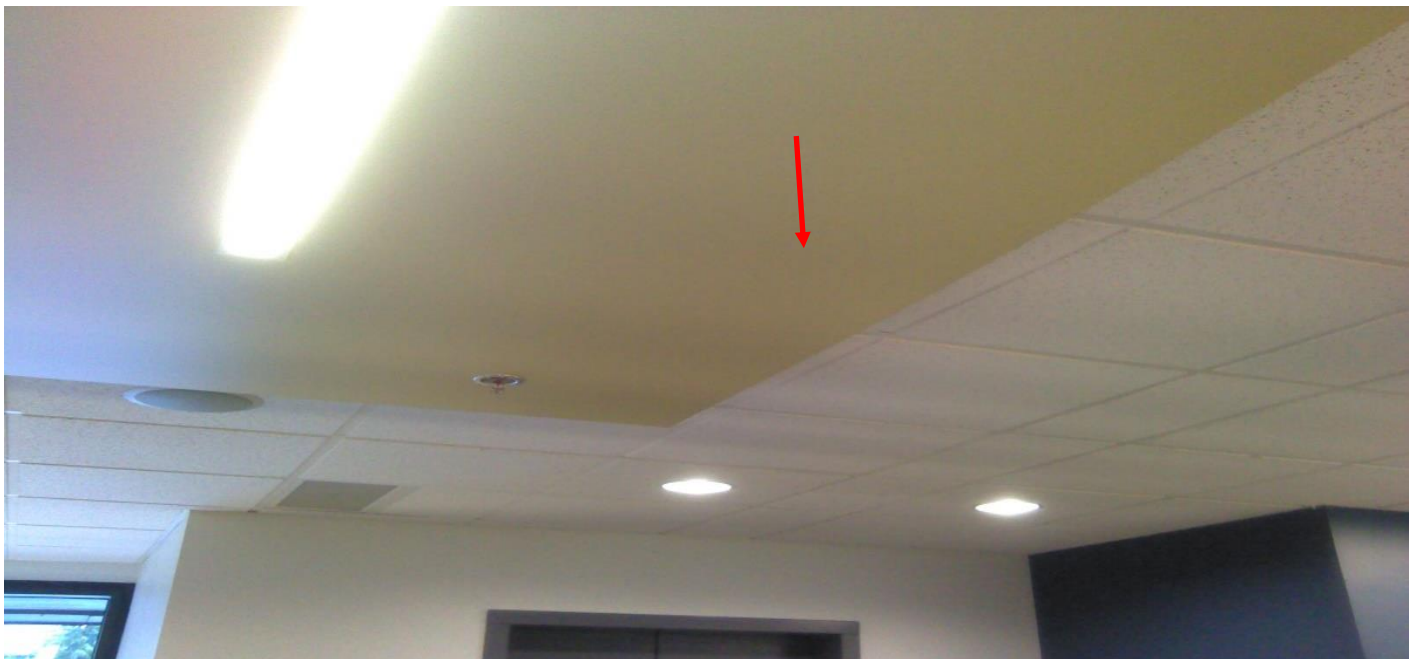
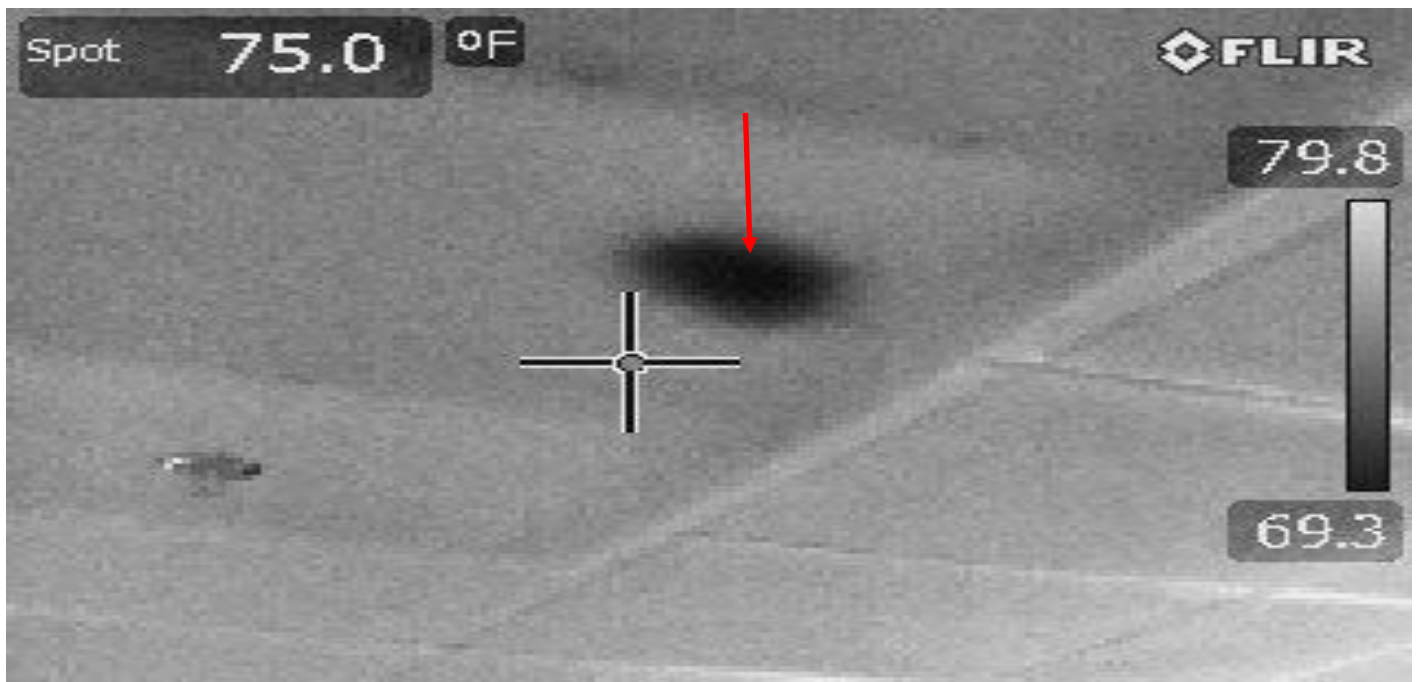
Gypsum

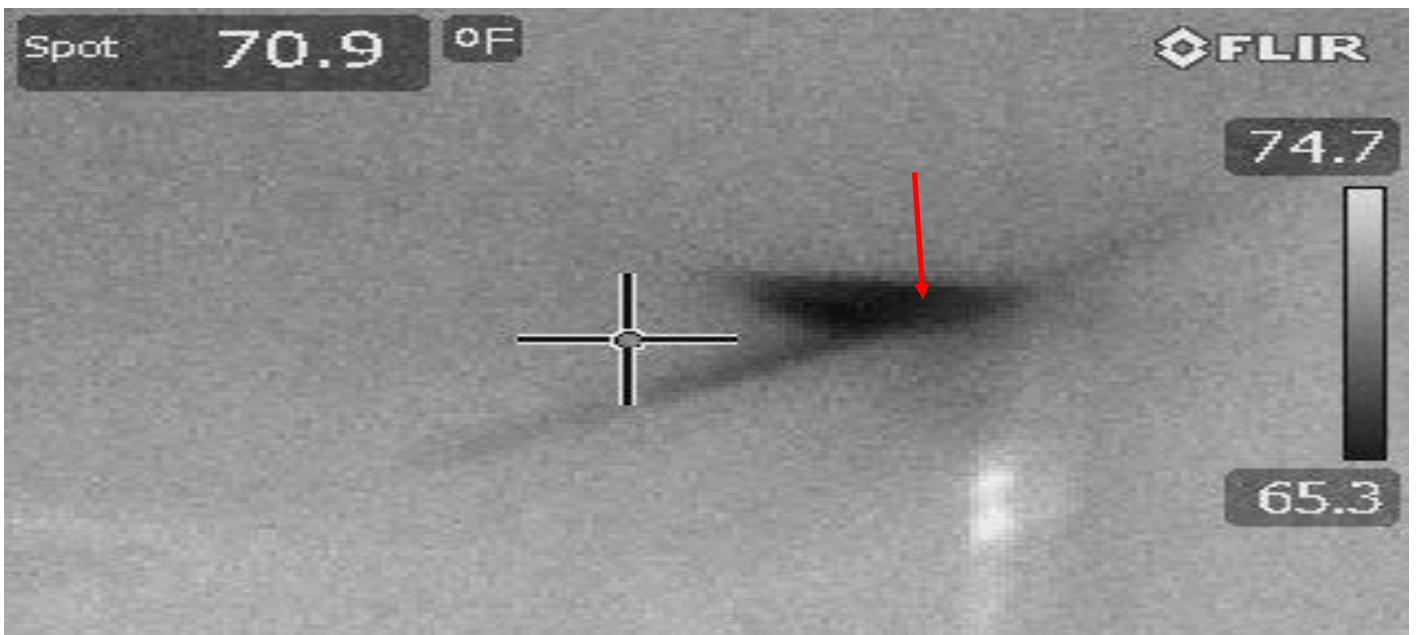
Surface condition of the walls:



Surface condition of the ceilings:









ACTIVE LEAKS WERE LOCATED ON THE CEILING NEAR THE EAST SPRINKLER HEAD AT THE 3RD FLOOR RECEPTION DESK AND ABOVE THE DOOR TO THE 1ST ROOM NORTHWEST OF THE RECEPTION DESK AREA USING THERMOGRAPHY (SEE PHOTOS) AND CONFIRMED WITH A MOISTURE METER BUT THE CAUSE WAS UNKNOWN. REMOVE THE DRYWALL IN THESE AREAS TO DETERMINE THE CAUSE OF THE LEAK, IF IT IS A ROOF LEAK HAVE A LICENSED ROOFING CONTRACTOR INSPECT THE ROOFING SYSTEMS AND COMPLETE ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THERE ARE NO ACTIVE ROOF LEAKS IF IT IS A PLUMBING LEAK HAVE A PLUMBING CONTRACTOR MAKE ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THERE ARE NO ACTIVE PLUMBING LEAKS. REPLACE ALL DAMAGED OR DECAYED BUILDING MATERIALS AS LOCATED AND COMPLETE ANY OTHER NECESSARY REPAIRS AS FOUND TO BE REQUIRED.

EVIDENCE OF WATER STAINING WAS LOCATED ON THE WALL OF THE SOUTH STAIRWELL TO THE ROOF AND AT SEVERAL CEILING TILES BUT WAS DRY AT THE TIME OF THE INSPECTION. THESE AREAS SHOULD BE MONITORED ONCE THE AIR CONDITIONING SYSTEMS ARE ACTIVE. REFER TO THE HVAC SYSTEMS SECTION FOR FURTHER INFORMATION.

Further information: <http://weatherization.com/siteindex.html>

Stairs:



Doors:



Carpets:



IMMEDIATE REPAIRS SUGGESTED:

SECTION 8: INTERIOR: REPLACE THE WINDOWS WITH FAILED SEALS IN THE SOUTHEAST OFFICE, MIDDLE WEST AND OFFICE SOUTH OF THERE IN SUITE 209 AND AS LOCATED BY A LICENSED WINDOW REPAIR COMPANY.

ACTIVE LEAKS WERE LOCATED ON THE CEILING NEAR THE EAST SPRINKLER HEAD AT THE 3RD FLOOR RECEPTION DESK AND ABOVE THE DOOR TO THE 1ST ROOM NORTHWEST OF THE RECEPTION DESK AREA USING THERMOGRAPHY (SEE PHOTOS) AND CONFIRMED WITH A MOISTURE METER BUT THE CAUSE WAS UNKNOWN. REMOVE THE DRYWALL IN THESE AREAS TO DETERMINE THE CAUSE OF THE LEAK, IF IT IS A ROOF LEAK HAVE A LICENSED ROOFING CONTRACTOR INSPECT THE ROOFING SYSTEMS AND COMPLETE ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THERE ARE NO ACTIVE ROOF LEAKS IF IT IS A PLUMBING LEAK HAVE A PLUMBING CONTRACTOR MAKE ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THERE ARE NO ACTIVE PLUMBING LEAKS. REPLACE ALL DAMAGED OR DECAYED BUILDING MATERIALS AS LOCATED AND COMPLETE ANY OTHER NECESSARY REPAIRS AS FOUND TO BE REQUIRED.

9. BATHROOMS

Bathrooms are inspected for any signs of water damage, moisture damage, water leaks, material decay or rot, and missing or separated caulking. Items concealed from view for any reason are not included in this report.

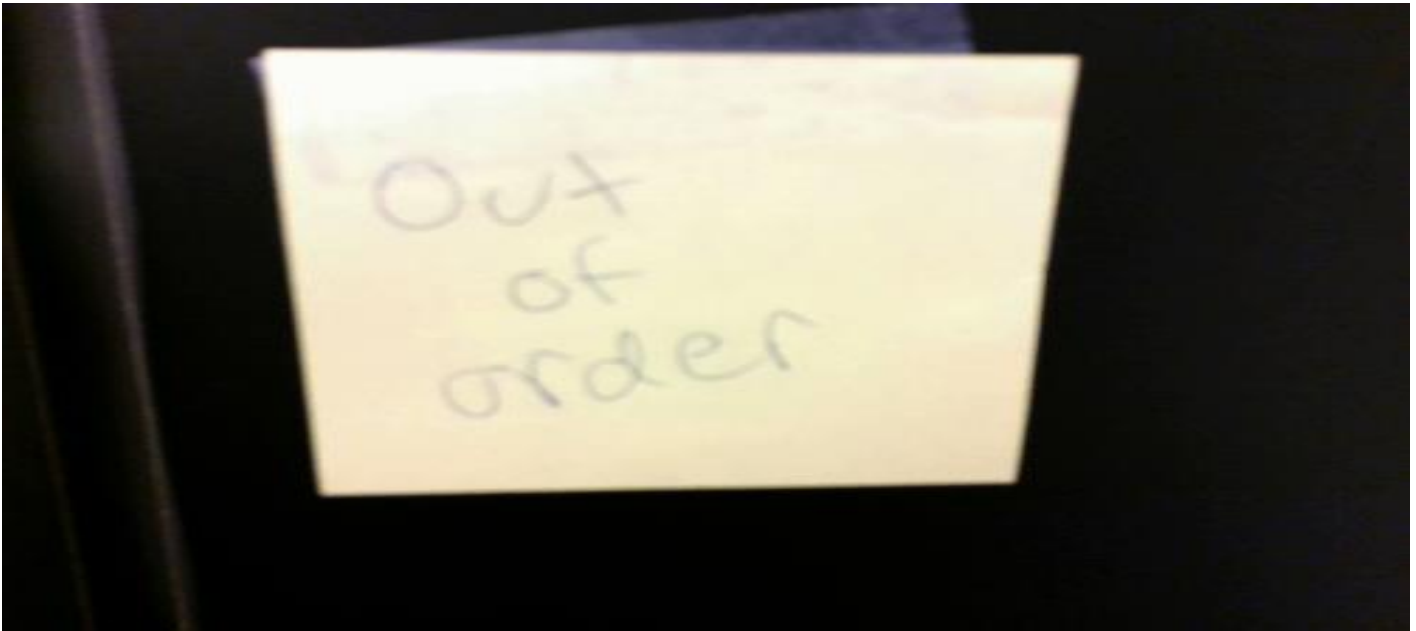


Plumbing fixture condition:



www.inspectionservicesnorthwest.com

3210 SW 166th Street - Seattle, WA 98166



THE HANDICAP STALL IN THE 3rd FLOOR MENS BATHROOM IS MARKED OUT OF ORDER. PERFORM ALL REPAIRS AS FOUND TO BE REQUIRED.

Water closet flush valve condition:



Water pressure test:

Good

Shutoff valves for fixtures:

Yes

Electric outlets: All electrical outlets in reach of a water source should be protected by a Ground Fault Circuit Interrupt. This circuit will cut the power to the outlet in the case of an electrical short.

Protected

IMMEDIATE REPAIRS SUGGESTED:

SECTION 9: BATHROOMS: THE HANDICAP STALL IN THE 3rd FLOOR MENS BATHROOM IS MARKED OUT OF ORDER. PERFORM ALL REPAIRS AS FOUND TO BE REQUIRED.

10. BREAK ROOM



Refrigerator:



Dishwasher:



Garbage disposal:



Counter top condition:



Cabinet condition:



Sink:



Faucets:



Ventilation:



Outlets:

All electrical outlets in reach of a water source should be protected by a Ground Fault Circuit Interrupt. This circuit will cut the power to the outlet in the case of an electrical short.

Protected

IMMEDIATE REPAIRS SUGGESTED:

SECTION 10: BREAK ROOM: NONE

11. ATTIC AREA

The attic area consists of the area between the top finished ceiling area and the underside of the roofing. This area is inspected for any signs of past or present water damage, moisture buildup, decayed material, and insect infestation. All accessible areas are visually inspected and the insulation depth and adequacy of ventilation are noted. All attics have some inaccessible areas; low-pitched attics may be inaccessible. ATTIC AREAS WITH LOOSE FILL INSULATION ARE NOT SAFE TO WALK, INACCESSIBLE AREAS ARE EXCLUDED FROM THIS REPORT.



Access type:

Sidewall hatch

Access location:

Rooftop

Access percentage and access method:

Approximately 70% visible, viewed from Attic space

Leak evidence: During dry periods it may be impossible to determine if previous leaks are have been properly repaired. It is impossible determine that the roof will be free of leaks in all weather conditions. Repair will be required if there are indications that leaks have not been repaired.

None

Rafters:

Good

Sheathing:

Plywood

Ceiling joists:

Good

Ventilation:

Fair

Insulation type and approximate r-value:

Fiberglass Unfaced batts, Approximate R-Value: 30

IMMEDIATE REPAIRS SUGGESTED:

SECTION 11: ATTIC: NONE

MECHANICAL SYSTEMS

12. HVAC SYSTEMS

The representative number of the HVAC system has been inspected for general operation including the operation of thermostats, the condition of venting systems and the general condition of the motor and blower unit. Any visible adverse conditions will be noted. It is beyond the scope of this inspection to determine the effective age of the system. The system was not tested for any combustible gases. Heat exchanger analysis is beyond the scope of this inspection.

HVAC UNITS:

Location: Exterior between both buildings

Brand: BAC

Type: Cooling tower

Fuel: Electric

Size:

Serial number: U147248601-01

Age: 2 YEARS (ACCORDING TO THE OWNER)



HVAC UNITS:

Location: ROOFTOP ATTIC MUA-1

Brand: UNKNOWN

Type: AIR HANDLER

Fuel: ELECTRIC

Age: UNABLE TO DETERMINE



HVAC UNITS:

Location: ROOFTOP

Brand: FUJITSU

Type: SPLIT SYSTEM

Fuel: ELECTRICAL

Size: 30,000 BTU

Serial number: JPN 015157

Age: UNABLE TO DETERMINE

**HVAC UNITS:**

Location: ROOFTOP ATTIC EF-1

Brand: UNKNOWN

Type: AIR HANDLER

Fuel: ELECTRIC

Age: UNABLE TO DETERMINE

HVAC UNITS:

Location: 1ST FLOOR SPRINKLER ROOM

Type: BOILER SYSTEM

Fuel: ELECTRIC



Older boiler systems: The life expectancy of older boiler systems cannot be determined. The requirement for repair or replacement can occur at any time. It is highly recommended that the purchaser contract for an annual repair contract through the local heating company.

Monitor this item: This component is likely to require substantial repair or replacement at any time. Although in working condition and not requiring, any known or visible repair at this time its status may change at any time. It is impossible during the course of the inspection to determine when repair or replacement will be required.

HVAC UNITS:

Location: SOUTH EXTERIOR

Brand: FUJITSU

Type: MINI-SPLIT

Fuel: ELECTRIC

Size: 21,600

Serial number: KSN 023493



RECOMMEND GATHERING ALL SERVICE AND MAINTENANCE RECORDS FROM THE SELLER FOR THE HVAC SYSTEMS. THE HVAC SYSTEMS MUST BE INSPECTED, TUNED AND REPAIRED AS FOUND TO BE REQUIRED BY A LICENSED SERVICE CONTRACTOR. REPAIRS MUST INCLUDE BUT NOT BE LIMITED TO A GENERAL TUNE UP AS RECOMMENDED BY THE MANUFACTURER, FILTER REPLACEMENT, GENERAL CLEANING, DUCT INSPECTION, AIR FLOW AND HEAT RISE TEST IN ALL LIVING SPACES AND ANY OTHER REPAIRS FOUND TO BE REQUIRED BY THE SERVICE TECHNICIAN.

Automatic safety controls:

Yes

Oil tank type:

Because of the hidden nature of underground oil storage tanks, it is beyond the scope of this inspection to determine if a tank is located on the property. If any visual indications are present, decommissioning the tank will be required.

If the property has an in use underground storage tank, it may qualify for coverage under the Washington State Pollution Liability Insurance Agency. This insurance protects you in the case of soil contamination from your tank. Please call 1-800-822-3905 to determine if your tank qualifies.

None known

Other heating repairs:

None

IMMEDIATE REPAIRS SUGGESTED:

SECTION 12: HEATING: RECOMMEND GATHERING ALL SERVICE AND MAINTENANCE RECORDS FROM THE SELLER FOR THE HVAC SYSTEMS. THE HVAC SYSTEMS MUST BE INSPECTED, TUNED AND REPAIRED AS FOUND TO BE REQUIRED BY A LICENSED SERVICE CONTRACTOR. REPAIRS MUST INCLUDE BUT NOT BE LIMITED TO A GENERAL TUNE UP AS RECOMMENDED BY THE MANUFACTURER, FILTER REPLACEMENT, GENERAL CLEANING, DUCT INSPECTION, AIR FLOW AND HEAT RISE TEST IN ALL LIVING SPACES AND ANY OTHER REPAIRS FOUND TO BE REQUIRED BY THE SERVICE TECHNICIAN.

13. ELECTRICAL SYSTEM

All electrical components are inspected with regard to their operating condition. A representative number of switches, outlets and fixtures are inspected for general operating condition. Adverse conditions that are visible at the time of inspection will be noted. Due to the inaccessibility of major wiring components, hidden adverse conditions may exist. Load, code or service calculations are not performed. If further analysis of the system is required, a licensed electrical contractor should be hired.



Service location: 1ST FLOOR ELECTRICAL ROOM

Service entrance: 1600 Amps

Aluminum Branches noted: No

Service entrance type: Underground

Capacity available: 240 (3 Wire)

Type: Circuit Breaker

PANEL- B6

Number of 20 amp circuits: 42

Number of 30 amp circuits: 1



Type: Circuit Breaker

PANEL- B5

Number of 20 amp circuits: 5

Number of triple pole circuits: 2

Number of double pole circuits: 14



Type: Circuit Breaker

PANEL- B7

Number of 20 amp circuits: 9

Number of triple pole circuits: 1

Number of double pole circuits: 2



Type: Circuit Breaker

PANEL- B4

Number of 20 amp circuits: 35

Number of triple pole circuits: 1

Number of double pole circuits: 2

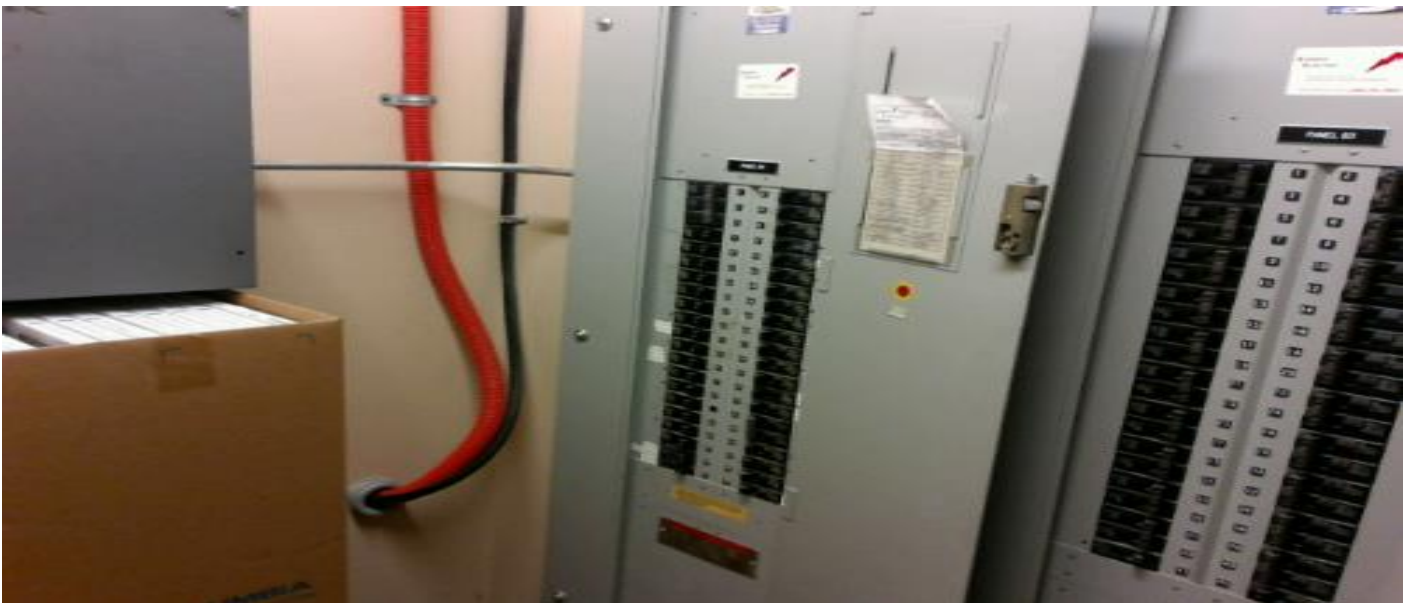


Type: Circuit Breaker

PANEL- B3

Number of 20 amp circuits: 2

Number of double pole circuits: 20



Type: Circuit Breaker

PANEL- MORRIS

Number of 20 amp circuits: 8

Number of double pole circuits: 1

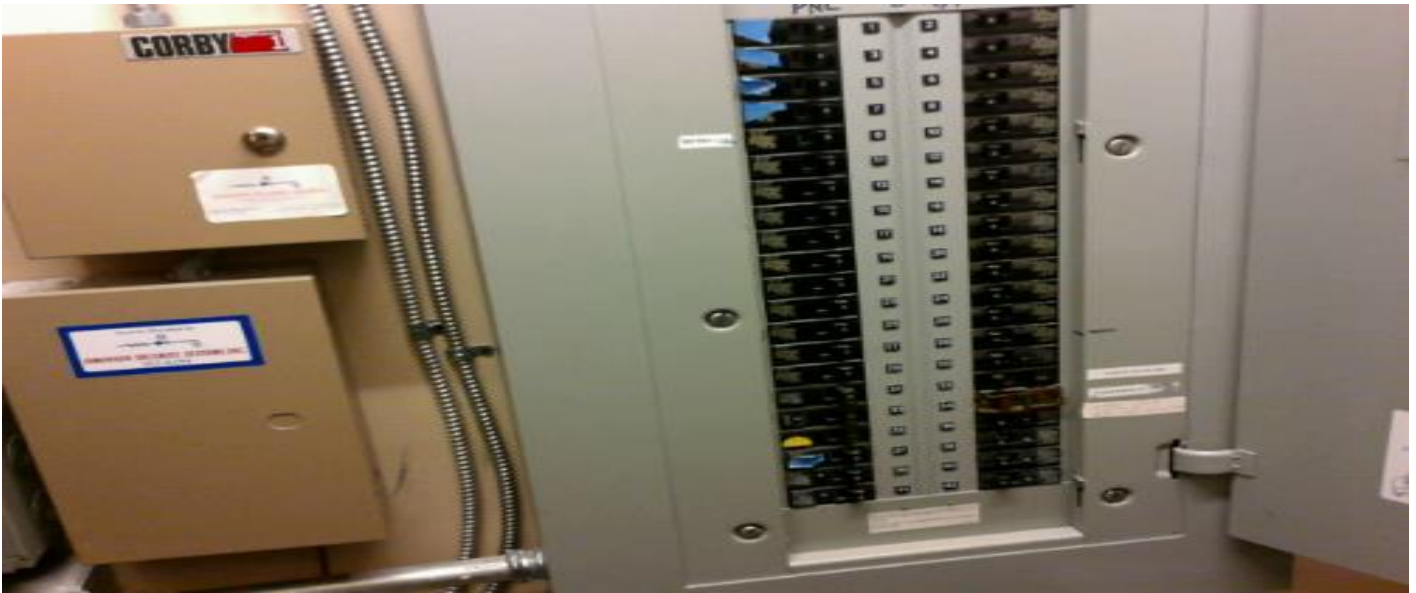


Type: Circuit Breaker

PANEL-B4A

Number of 20 amp circuits: 39

Number of triple pole circuits: 1



Type: Circuit Breaker

PANEL-B1

Number of 20 amp circuits: 6

Number of double pole circuits: 18



Type: Circuit Breaker

PANEL-B2

- Number of 15 amp circuits: 1
- Number of 20 amp circuits: 36
- Number of triple pole circuits: 1
- Number of double pole circuits: 1



Type: Circuit Breaker

PANEL- HB2

- Number of 20 amp circuits:37
- Number of triple pole circuits: 1
- Number of double pole circuits: 1



Wire insulation: Romex:NM, BX: Metallic

GFCI Circuits in the electrical panel: No

Grounding source: Unknown

Main wiring material: Copper

Main breaker: Yes

Service capacity for house size: Good

Service entrance wire size: 4/0

Exposed safety hazards:





REPAIR THE DAMAGED EXTERIOR YARD LIGHTS AND EXPOSED AND DAMAGED WIRING AS FOUND TO BE REQUIRED AT THE EXTERIOR OF BUILDING 325.

IMMEDIATE REPAIRS SUGGESTED:

SECTION 13: ELECTRICAL: REPAIR THE DAMAGED EXTERIOR YARD LIGHTS AND EXPOSED AND DAMAGED WIRING AS FOUND TO BE REQUIRED AT THE EXTERIOR OF BUILDING 325.

14. PLUMBING SYSTEM

The plumbing system includes the domestic water supply, drainage, and vent and waste lines. These items are inspected for general condition, excessive wear, leaks, sub-standard water pressure, inadequate drainage and proper function.

HIDDEN PARTS OF THE SYSTEM, INCLUDING BUT NOT LIMITED TO UNDERGROUND SUPPLY LINES AND PRIVATE SUPPLY OR WASTE SYSTEMS, ARE EXCLUDED FROM THIS INSPECTION. PRIVATE WASTE AND WATER SYSTEMS ARE EXCLUDED FROM THIS REPORT. IF DESIRED, A PLUMBING EXPERT SHOULD BE RETAINED FOR THIS TYPE OF INSPECTION.

Shut off valves:

Located at the main and at the fixtures

Main shut off valve location: 1ST FLOOR JANITOR CLOSET



Source of water:

Municipal

A SEWER SCOPE WAS BEING COMPLETED AT THE TIME OF THE INSPECTION. THIS REPORT EXCLUDES THE WASTE LINE CONDITION, PLEASE SEE THE SEPARATE SEWER SCOPE REPORT FOR ANALYSIS OF THE WASTE LINES: ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THE PROPER OPERATION OF THE WASTE SYSTEM MUST BE COMPLETED AS RECOMMENDED BY THE PLUMBING CONTRACTOR. PLEASE BE AWARE THAT THE SCOPE OF THE REPAIRS THAT MAY BE REQUIRED CANNOT ALWAYS BE DETERMINED EVEN BY SCOPING THE LINE.

Supply lines:

Copper

Waste lines:

Iron/ Abs

Waste disposal:

This information is provided by third parties and verification is not completed as a course of this inspection. Private waste systems are excluded from this report.

Municipal

Further information: <http://www.howstuffworks.com/sewer.htm>

Cross connections:

No

Functional drainage:



Functional flow:



Water pressure:



Vent lines:

Adequate

Leaks:

This section will list plumbing leaks visible during the course of the inspection process. Not all leaks can be found during the limited time we are onsite. **Leaks that only occur after the repeated use of a components are specifically excluded from this report.**

None

General condition of fixtures:



General condition of plumbing:



Signs of corrosion:



SIGNS OF CORROSION WERE LOCATED AT SHUTOFF VALVES IN THE BOILER ROOM ON THE 1ST FLOOR. REFER TO THE MECHANICAL SECTION OF THE REPORT FOR FURTHER INFORMATION.

Plumbing supply line leak: A supply line leak was located at the time of the inspection. If possible we will call out the fixture and line involved. Some leak sources may be hidden from view.



EVIDENCE OF HIGH MOISTURE METER READINGS AND MOLD WERE LOCATED ON THE WALL BELOW THE NORTH BREAK ROOM SINK ON THE FIRST FLOOR. REMOVE THE DRYWALL, REPAIR THE LEAK AND REPLACE ALL DAMAGED MATERIALS AS FOUND TO BE REQUIRED.

IMMEDIATE REPAIRS SUGGESTED:

SECTION 14: PLUMBING: A SEWER SCOPE WAS BEING COMPLETED AT THE TIME OF THE INSPECTION. THIS REPORT EXCLUDES THE WASTE LINE CONDITION, PLEASE SEE THE SEPARATE SEWER SCOPE REPORT FOR ANALYSIS OF THE WASTE LINES: ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THE PROPER OPERATION OF THE WASTE SYSTEM MUST BE COMPLETED AS RECOMMENDED BY THE PLUMBING CONTRACTOR. PLEASE BE AWARE THAT THE SCOPE OF THE REPAIRS THAT MAY BE REQUIRED CANNOT ALWAYS BE DETERMINED EVEN BY SCOPING THE LINE.

SIGNS OF CORROSION WERE LOCATED AT SHUTOFF VALVES IN THE BOILER ROOM ON THE 1ST FLOOR. REFER TO THE MECHANICAL SECTION OF THE REPORT FOR FURTHER INFORMATION.

EVIDENCE OF HIGH MOISTURE METER READINGS AND MOLD WERE LOCATED ON THE WALL BELOW THE NORTH BREAK ROOM SINK ON THE FIRST FLOOR. REMOVE THE DRYWALL, REPAIR THE LEAK AND REPLACE ALL DAMAGED MATERIALS AS FOUND TO BE REQUIRED.

15. DOMESTIC HOT WATER

Inspection of the domestic hot water system includes all connections made at the tank and the tank itself for any signs of leaks or overheating. The inspection is limited by the hidden nature of the plumbing system. No recovery time tests are completed.

Hot water tanks:

Location:

SOUTHWEST ROOF ATTIC

Type:

Electric

Capacity:

6 Gallons

Age:

3 years





Hot water tanks:

Location:

NORTH ROOF ATTIC

Type:

Electric

Capacity:

20 Gallons

Age:

4 years





Hot water tanks:

Location:

1ST FLOOR

Type:

Electric

Capacity:

65 Gallons

Age:

3 years





Hot water tanks:

Location:

NORTH ROOM 1ST FLOOR

Type:

Electric

Capacity:

50 Gallons

Age:

12 years



The hot water tank has reached the end of its life: Hot water tanks at or near the end of their effective life (15+ years) should be replaced as soon as possible to avoid the water damage caused by a tank failure.



THE HOT WATER TANK IN THE NORTH 1ST FLOOR OFFICE IS 12 YEARS OLD, 106 IS 10 YEARS OLD AND THE WATER HEATER IN SUITE 104 IS 17 YEARS OLD AND IS PAST ITS EXPECTED LIFE. THE TANKS MUST BE REPLACED AT THIS TIME TO AVOID THE CHANCE OF WATER DAMAGE FROM THE TANKS FAILURE.

Earthquake straps on the hot water tank: The hot water tank should have proper earthquake protection. The tank must be properly secured to the wall framing system. In the case of an earthquake the tank may fall and could cause serious injury. Also, in the case of emergency the tank is a large storage of potable water.

Further information: http://www.ehow.com/how_5594702_earthquake-proof-water-heaters.html

INSTALL PROPER EARTHQUAKE STRAPS TO SECURE ALL HOT WATER TANKS AS FOUND TO BE REQUIRED TO THE WALL FRAMING SYSTEM.

Hot water tanks:

Location:

SUITE 104

Type:

Electric

Capacity:

12 Gallons

Age:

17 years



Hot water tanks:

Location:

SUITE 106

Type:

Electric

Capacity:

6 Gallons

Age:

10 years



Hot water tanks:

Location:

SUITE 209

Type:

Electric

Capacity:

4 Gallons

Age:

UNABLE TO DETERMINE





Hot water tank temperature pressure release valve (TPR):

Routed to the exterior

Dielectric connectors:



Seismic restraint on the hot water tank: The hot water tank should have proper earthquake protection. The tank must be properly secured to the wall framing system. In the case of an earthquake the tank may fall and could cause serious injury. Also, in the case of emergency the tank is a large storage of potable water.

SEE ABOVE

IMMEDIATE REPAIRS SUGGESTED:

SECTION 15: HOT WATER: A SEWER SCOPE WAS BEING COMPLETED AT THE TIME OF THE INSPECTION. THIS REPORT EXCLUDES THE WASTE LINE CONDITION, PLEASE SEE THE SEPARATE SEWER SCOPE REPORT FOR ANALYSIS OF THE WASTE LINES: ALL REPAIRS FOUND TO BE REQUIRED TO ENSURE THE PROPER OPERATION OF THE WASTE SYSTEM MUST BE COMPLETED AS RECOMMENDED BY THE PLUMBING CONTRACTOR. PLEASE BE AWARE THAT THE SCOPE OF THE REPAIRS THAT MAY BE REQUIRED CANNOT ALWAYS BE DETERMINED EVEN BY SCOPING THE LINE.

THE HOT WATER TANK IN THE NORTH 1ST FLOOR OFFICE IS 12 YEARS OLD, 106 IS 10 YEARS OLD AND THE WATER HEATER IN SUITE 104 IS 17 YEARS OLD AND IS PAST ITS EXPECTED LIFE.

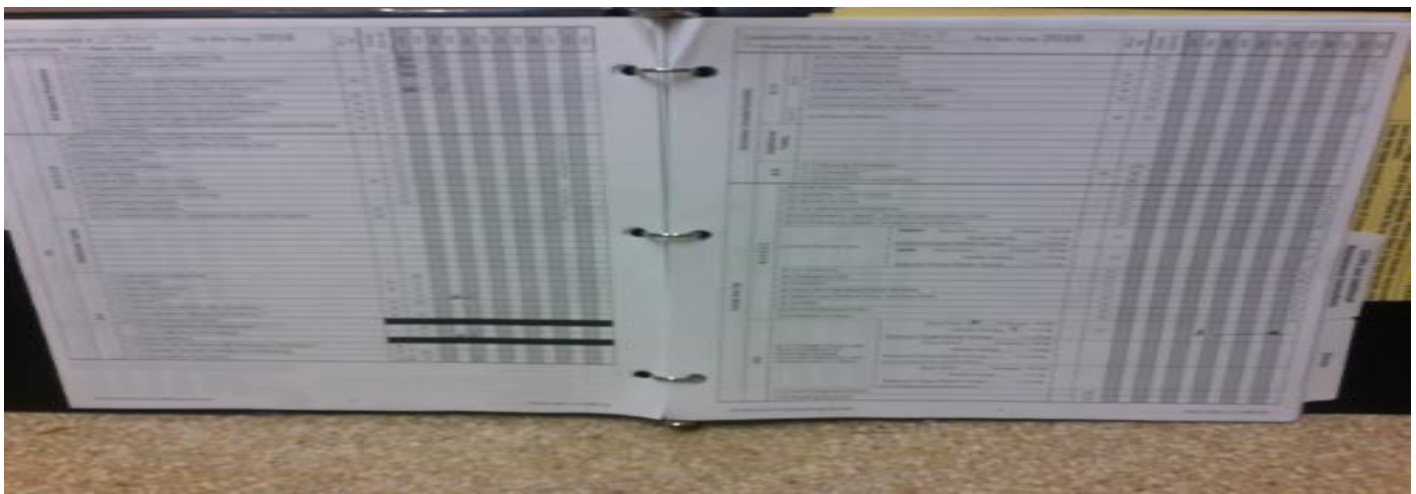
THE TANKS MUST BE REPLACED AT THIS TIME TO AVOID THE CHANCE OF WATER DAMAGE FROM THE TANKS FAILURE.

INSTALL PROPER EARTHQUAKE STRAPS TO SECURE ALL HOT WATER TANKS AS FOUND TO BE REQUIRED TO THE WALL FRAMING SYSTEM.

16. ELEVATOR GENERAL INFORMATION:

No technical analysis of the elevator is completed during the course of our visual inspection. This information is supplied for your information and your own analysis. If you require further information you should contact the service company of record. We will note if the service records are not up to current date.





State ID # 5452 PM
Operating Period Date

Testing Test tags are used to be affixed to the appropriate equipment as required by code. A test tag is required for each elevation.
Enter test dates (month) and name of company performing test in the appropriate test column in the year tested.
Include pressure relief setting with date in appropriate column.

Year	Test Date				Test Pressure				Test Result				Test Result				Test Result				Test Result				Test Result			
	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4				
2010	1/1	1/2	1/3	1/4	1/5	1/6	1/7	1/8	1/9	1/10	1/11	1/12	1/13	1/14	1/15	1/16	1/17	1/18	1/19	1/20	1/21	1/22	1/23	1/24				
2011	1/1	1/2	1/3	1/4	1/5	1/6	1/7	1/8	1/9	1/10	1/11	1/12	1/13	1/14	1/15	1/16	1/17	1/18	1/19	1/20	1/21	1/22	1/23	1/24				
2012	1/1	1/2	1/3	1/4	1/5	1/6	1/7	1/8	1/9	1/10	1/11	1/12	1/13	1/14	1/15	1/16	1/17	1/18	1/19	1/20	1/21	1/22	1/23	1/24				
2013	1/1	1/2	1/3	1/4	1/5	1/6	1/7	1/8	1/9	1/10	1/11	1/12	1/13	1/14	1/15	1/16	1/17	1/18	1/19	1/20	1/21	1/22	1/23	1/24				
2014	1/1	1/2	1/3	1/4	1/5	1/6	1/7	1/8	1/9	1/10	1/11	1/12	1/13	1/14	1/15	1/16	1/17	1/18	1/19	1/20	1/21	1/22	1/23	1/24				

Use Next Business Test Log From Machine Record.
Service Maintenance tags should not be used in this off State form.

17. SPRINKLER RAISER INFORMATION:

No technical analysis of the sprinkler system is completed during the course of our visual inspection. This information is supplied for your information and your own analysis. If you require further information you should contact the service company of record. We will note if the service records are not up to current date.

[illegible]

3210 SW 166th Street - Seattle, WA 98166

BUILDING COMPONENT LIFE CYCLE:

BUILDING COMPONENT LIFE CYCLE: HOW LONG WILL IT LAST?

Actual useful life will vary depending on the quality of the component, owner maintenance, and environmental conditions. Appliance life will also depend on the amount of use and roofing life can vary greatly with the construction differences such as the type of attic ventilation. This guide can be used to compare to current ages of components so an appropriate budget can be determined.

APPLIANCES

Dishwasher	9-12
Disposal	6-9
Refrigerator	17-20
Range	17-22
Microwave oven	10-13
Dryer	13-15
Clothes washer	12-15
Water Heater: electric	11-13
Water Heater: gas	12-15
Sump Pump	8-11

HEATING & COOLING

Central air conditioner	15-25
Window unit	10-14
Furnace: gas, oil forced air	18-25
Heat Pump	10-14
Humidifier	8-10
Boiler: gas fired cast iron	40-60
Oil burner	10-12
Circulator pump	10-12
Underground oil tank: steel	20
Underground oil tank: fiberglass	30
Electric baseboard heater	12-14
Electronic air filter	10-12
Ductwork: galvanized	30
Attic fan	20

WALLS

Drywall/plaster	30-70
Ceramic tile	100
Paneling	10-40

ROOFING

Asphalt shingles	15-25
Wood shingles, shakes	10-30
Slate	40-100+
Sheet metal	20-50
Built-up roofing	12-30

FLOORS AND STAIRS

Resilient	15-25
Ceramic tile	25-50
Carpet	10-20
Slate/Marble	100
Stairs	50-100
Rails	30-40

PLUMBING

Faucet and valve	15-20
Galvanized piping	40-50
Galvanized entrance pipe	40-50
Copper piping	80+
PVC piping	80+
Polybutylene piping	6-12
Cast iron waste line	75-100
Plastic waste line	50-75
Iron gas line	75-100

ELECTRICAL

Smoke detectors	10
Entrance cable	30-40
Electric panel	25-35
Circuit breakers	10-15
Receptacles	15-25
Ground fault breakers	5

SIDING

Aluminum siding	30-50
Vinyl siding	50
Wood siding	50-100
Hardboard/Composite	10-

MASONRY

Chimney, fireplace & brick	100+
Brick & Stone walls	100+

Cement asbestos	30-45	Stucco	100+
EPDM rubber	15-25	Mortar	25-50
Tile	50		
Gutters, downspouts		30 PAINT	
		Exterior paint	7-10
BATH		Interior paint	7-15
Tub/shower: fiberglass	15-20	Trim and door paint	5-10
Tub: cast iron	50		
Toilet	40		
Lavatory: enamel steel		5-10 FOOTINGS	
Lavatory: enamel cast iron	25-30	Poured concrete foundation	
Lavatory: porcelain	25-30	200+	
		Concrete block	
COUNTERS/CABINETS		100+	
Kitchen/bath cabinets	15-30	Termite proofing	2-5
Medicine cabinet	20		
Countertop: laminated	10-15	EXTERIOR	
Countertop: Ceramic tile		Pressure treated deck	10-20
50+		Brick & concrete patio	20-30
Countertop: Corian	50+	Concrete walk	25
		Asphalt driveway	15
		Concrete driveway	20-30
WINDOWS & DOORS			
Wood window	20-70		
Aluminum & Vinyl window	15-30		
Window glazing	20		
Interior door: hollow	30-		
100+			
Interior door : solid	30-100+		
Exterior	80-		
100			
Garage door	20-50		
Garage door opener	10-12		